



**LEE COUNTY HISTORIC PRESERVATION BOARD
ADMINISTRATION EAST BUILDING
2201 SECOND STREET, FORT MYERS, FL 33901
ROOM 118 (FIRST FLOOR)**

**THURSDAY, JULY 17, 2025
1:00 PM**

AGENDA

Agenda and any back-up materials for public review will be available approximately 7 days prior to the meeting and may be found at www.leegov.com/dcd/events starting July 7, 2025.

- 1. Call to Order/Roll Call/Review of Affidavit of Publication**
- 2. Election of Officers**
- 3. Approval of 5/15/2025 Minutes**
- 4. Special Certificate of Appropriateness (SCA) Case**
 - A. SCA2025-00013, Lee Cares, 2592 Second Street, Matlacha, FL 33993**

A request to build a new elevated single-family residence to replace the previously demolished house.
 - B. SCA2025-00016, Andresen Residence, 2613 First Street, Matlacha, FL 33993**

A request to elevate the existing residence by building a second floor on top of the existing ground floor.
- 5. Items by Public; Committee Members; Staff**
- 6. Next Meeting Date: To Be Determined**

A verbatim record of the proceeding will be necessary to appeal a decision made at this hearing.

Lee County will not discriminate against individuals with disabilities. To request an accommodation, contact the ADA Coordinator, Ranice Monroe, at (239) 533-0255, ADArequests@leegov.com, or Florida Relay Service 711, at least five business days in advance. To receive agendas by e-mail, contact jmiller@leegov.com.

MINUTES REPORT
LEE COUNTY HISTORIC PRESERVATION BOARD
OLD LEE COUNTY COURTHOUSE
2120 MAIN STREET, FORT MYERS, FL 33901
EAST ROOM (SECOND FLOOR)

MAY 15, 2025

MEMBERS PRESENT:

Katherine Brownell	Joe Smith
Adam Knight	Kathleen Walsh

MEMBERS ABSENT:

Taylor Kakes	Vacancy
Annalisa Xioutas	

OUTSIDE CONSULTANTS/APPLICANTS

Charles Walczak, 11458 May Street, LLC

STAFF PRESENT

Peter Blackwell (Zoning)	Janet Miller, Recording Secretary
Mary Sue Groth (Zoning)	Amanda Swindle, Assistant County Attorney

Agenda Item 1 - Call to Order – 10:00 a.m./Review of Affidavit of Publication

Mr. Smith, Chair, called the meeting to order at 1:00 p.m.

A roll call was taken. Joe Smith, Katherine Brownell, Adam Knight, and Kathleen Walsh were present.

Ms. Swindle stated that the Attorney's Office reviewed the ad and affidavit of publication for today's meeting and determined it was legally sufficient.

NOTE: For the audio recordings for this meeting, go to:

<http://www.leegov.com/dcd/committees/committeesearch>. Once the page pulls up, click on the blue hyperlink that says "Lee County Historic Preservation Board (LCHPB)." There will be an audio recording for each item to help keep the recordings from being too large for the public to open. Contact Janet Miller at 239-533-8583 or jmiller@leegov.com if you need assistance.

Agenda Item 2 – Election of Officers

The Board opted to postpone the Election of Officers to the next meeting.

Ms. Brownell made a motion to postpone the Election of Officers to the next scheduled meeting. The motion was seconded by Ms. Walsh. The Chair called the motion, and it passed 4-0.

Agenda Item 3 – Approval of 1/16/2025 Minutes

Mr. Knight made a motion to approve the 1/16/2025 meeting minutes. The motion was seconded by Ms. Brownell. The Chair called the motion, and it passed 4-0.

Agenda Item 4 – Special Certificates of Appropriateness (SCA) Cases

A. SCA2025-00008, 11458 May Street – Duplex, 11458 May Street, Matlacha, FL 33993

Request to modify the previously approved SCA2023-00020 that approved the elevation and reconstruction of the existing quadplex, to redesign the upper level to a duplex.

Ms. Groth reviewed the staff report and recommendations.

Ms. Walsh asked for confirmation that this property was originally a quad/duplex but would now be a duplex/duplex.

Ms. Groth confirmed that was correct.

Mr. Smith asked for confirmation that this change from a quad/duplex to a duplex/duplex made it compliant with the TFC-2 zoning category.

Ms. Groth confirmed this change brought the property further into compliance with the TFC-2 zoning category.

The Chair opened to the applicant or their representative.

Mr. Walczak stated he had nothing further to add, but was available for any questions staff or the Board might have.

The Board had no further questions, so the Chair opened this item for public comment. No members of the public wished to comment, so the public comment portion was closed.

Mr. Knight made a motion to approve the Special Certificate of Appropriateness for the subject property pursuant to LDC Chapter 22 to permit the construction of the proposed elevated duplex as depicted on the site plan “received” March 7, 2025 (Attachment D), and elevations stamped “received” March 25, 2025 (Attachment E) and make a finding that the request complies with the Design Guidelines for the Matlacha Historic District and Lee County LDC Chapter 22. The motion was seconded by Ms. Brownell. The Chair called the motion and it passed 4-0.

Mr. Walczak asked if the staff and/or Lee County Historic Preservation Board would allow for minor modifications as this project moves through the permit/code processes.

Mr. Blackwell stated there are certain changes that would be allowed and could be approved by staff administratively without it having to come before the Board. Any modifications that staff finds to be de minimis can be approved administratively. Mr. Blackwell further stated this has been the new procedure since post-Ian.

Ms. Swindle confirmed there were changes made to the Land Development Code to expand staff’s authority to approve administrative changes.

Agenda Item 5 – Items by the Public; Committee Members; Staff

PowerPoint on the Historic District of Matlacha

Per Ms. Walsh's request, a hard copy of a PowerPoint presentation on the historic district of Matlacha was distributed to the Board at the beginning of today's meeting.

Ms. Swindle stated she was notified yesterday that there was an intent to do a comprehensive presentation before the Lee County Historic Preservation Board by the Matlacha Civic Association. In reviewing the document, her assessment is that the issues raised in this presentation are not within the jurisdiction or authority of the Lee County Historic Preservation Board. The presentation deals with issues on general code enforcement compliance, blight in Matlacha, damage from the hurricanes, traffic/road conditions, and drug issues in the area. She noted that none of these issues are within the jurisdiction or authority of the Lee County Historic Preservation Board and are more adequately and appropriately addressed with the Building Official, Code Enforcement, and the rest of the Community Development Department. Although there is a public comment period within the agenda, she felt it was inappropriate to use that public comment period to present a lengthy presentation on a non-agenda item that is not within the jurisdiction of the Lee County Historic Preservation Board. She suggested the Chair institute a 3-minute time limit for public comment.

Mr. Smith stated he would institute the 3-minute time limit.

Ms. Walsh stated she was the one that prepared this presentation as a board member. As a lay person reading the guidelines, she did not agree with Ms. Swindle's assessment. She cited excerpts of Section 22-242 (Corrections of deficiencies generally), Section 22-243 (Unsafe Structures), and 22-244 (Emergency Work).

Ms. Swindle stated the following: 1) This Board's purview is to review Special Certificates of Appropriateness and applications for designation. Regarding demolition, the actual role of the Lee County Historic Preservation Board is not to encourage demolition but rather to try their best to prevent demolition and save historic resources; 2) Regarding the code sections reviewed by Ms. Walsh, their intent is not to allow the Lee County Historic Preservation Board to initiate demolition or begin that process. There is a provision regarding "*Demolition by Neglect*." Ms. Swindle stated that a property owner could argue that damage from a hurricane does not necessarily constitute demolition by neglect. If the case is being made that failure to repair a property within a certain time period is neglectful, the Board's responsibility under the "*Demolition by Neglect*" section is simply to report those properties to the Building Official. This means that if this Board wanted to identify specific properties that they feel have been demolished by neglect, it would be appropriate for them to report it to the Building Official; and 3) If a property is designated as an unsafe structure and it is listed as a "*designated resource*," there is a requirement for them to consult with this Board. However, again, it is for the purpose of trying to save the property rather than trying to encourage its demolition. Ms. Swindle stated that although Ms. Walsh disagrees with this interpretation, it is the County Attorney's Office's analysis of the actual Land Development Code, which created this body and the Administrative Code which governs these meetings.

Ms. Walsh stated her specific issue falls under Section 22-243 (Unsafe Structures), which reads, "*If the Building Official determines that any designated historic resource or contributing property is unsafe pursuant to the provisions of the applicable County ordinances, the Building Official will immediately notify the Historic Preservation Board by submitting copies of such findings.*" To her knowledge, this has not been done.

Ms. Swindle stated she did not have facts before her to say that a building that has been deemed unsafe by the Building Official that is a historic designated resource has not been reported to this Board. She could not say whether or not that occurred. If it has not occurred, then it is contrary to this procedure and would need to be addressed. She stated this is something initiated by the Building Official. They make the determination that something is an unsafe structure and then this Board is consulted with the intent to save the structure rather than encourage its demolition.

Ms. Walsh stated the structures have been deemed dangerous and have orange signs on them, yet this Board was not notified.

Ms. Swindle stated that if her issue was that she wanted to encourage that these unsafe structures be demolished, then the Building Official marking them as unsafe is what the community would want to happen. The intent of them consulting with this Board is not for this Board to agree to demolish the structures but rather try to figure out ways to preserve whatever historic value might be left in that property. Having these items come before this Board will not speed up any kind of county process.

Ms. Walsh stated properties have been identified as part of the PowerPoint presentation and that she was asked by this Board to provide the list at a future meeting. She also emphasized that this has been going on for almost 3 years post-Ian.

Mr. Blackwell stated that the Zoning Manager instructed him to accept the list, and that staff would do some research on the properties.

Ms. Walsh stated that in Section 22-245 (Demolition by Neglect), it states, *“If the staff of the Historic Preservation Board or the Building Official inform the Historic Preservation Board that a designated historic resource or contributing property within a historic district is being demolished by neglect, as defined pursuant to this chapter, the Historic Preservation Board shall notify the owners of record by certified mail of its preliminary findings and intent to hold a public hearing no later than 35 calendar days from the date the notice was sent to determine evidence of neglect as identified in the certified notice.”* She noted this has not been taking place.

Ms. Swindle noted that it is a recommendation to the Building Official that requires the Building Official to make that determination. She felt the community’s complaint is regarding non-compliant property owners. The process above is a slower process. The community can provide the list of addresses to staff so that they can provide it to the Building Official or a lengthier process can take place where the Historic Preservation Board provides owners with notice and an opportunity for a hearing and an appeal process, which will end up getting referred to the same place, which is the Building Official.

Ms. Walsh stated that William Diaz from Code Enforcement already has this list of addresses, but they have not been able to get updates or responses.

Ms. Swindle stated she could not speak to this aspect because there is no representative from the Building Official’s office or Code Enforcement at today’s meeting. Her role as the attorney for this Board is to make sure they are focusing on what is in their jurisdiction and authority to handle.

Ms. Walsh stated that she felt this Board could be partners with the Building Department and Code Enforcement. According to our own rules, this Board is supposed to be working together with the Building Department and Code Enforcement. The onus is on them to alert this Board regarding which

buildings have been flagged as unsafe and slated for demolition, but this has not been done. She noted the residents of Matlacha are frustrated because they cannot get responses from Code Enforcement. She asked if this Board could help the residents by getting updates from Code Enforcement.

Ms. Swindle stated that was what she suggested earlier. This list of addresses will be provided to staff, and they will do some research and then forward it to the appropriate party.

Ms. Walsh also noted that according to Section 22-171, this Board has a responsibility to seek financial assistance from the State, County, and federal jurisdictions to assist with the funding for historic areas that need funding to help them recover. To her knowledge, this has not been done.

Ms. Brownell stated she had already looked into this matter, but there are no funding sources available.

Ms. Swindle stated that staff looked into this as well, but there are no public monies available for residential historic properties.

Ms. Walsh noted that the ones sited in the PowerPoint Presentation are commercial properties not residential.

Ms. Brownell stated that the funding sources available are focusing on specific areas that have specific backgrounds and Matlacha does not meet the criteria for most of the funding.

Ms. Swindle stated that Section 22-171 establishes that designated historic resources would be eligible for any financial assistance that is available. It creates that eligibility to the extent that there was funding. She noted there was a period of time in the past where there was such funding, but it is no longer available.

Mr. Blackwell confirmed that the Board of County Commissioners removed the grant program in approximately 2016 or 2017. For commercial properties, there is a commercial bridge loan program for historic properties, but the owner of the property has to be the advocate. Staff can inform property owners of the loan program available, but they cannot make them pursue it.

Ms. Walsh volunteered to seek a source of funds to help with Matlacha's recovery. On a separate subject, she asked if there was any relief from certain Building Code requirements for potential investors. For instance, the Old Fish House, which has historical significance and is located in the center of Matlacha. Investors have visited the site, but it is obvious that the property cannot be rehabilitated. Do they need to hire an engineer to point out that this property cannot be rebuilt?

Mr. Blackwell stated the determination needs to be performed by someone who is qualified and certified to make that determination. Staff are not qualified engineers. Unless it is rubble on the ground, staff are not qualified to say it cannot be fixed. Staff relies on a certified engineer or someone with that qualification to make such a determination.

Ms. Walsh stated that in her opinion Matlacha is destroyed because so many homeowners were denied proposals to lift their residences because previous board members wanted a diminutive old fishing village and now their structures are gone. She felt this Board had some responsibility for that. Although it was not this current list of board members, it was still this Board that denied the elevation proposals.

Mr. Smith referred to a flyer that was posted online that reads, “*Enough is Enough – Come speak out at the Lee County HPB Thursday, May 15, 1 PM, 2201 Second Street, Fort Myers, Room 118, Make Your Voice Heard!*” Mr. Smith stated he was offended by this flyer because this Board has implemented several changes to help Matlacha and he felt this Board should get credit for their efforts. Instead, there is a perception in the area that all the problems in Matlacha are due to this Board and a flyer such as this only inflames it further.

Ms. Walsh stated the community does appreciate changes made by this Board. She stated that the flyer was pointed towards Code Enforcement, the Board of County Commissioners, and this Board, but Mr. Smith did not feel the flyer was an indication of that and he further noted it had been sent to a large list of people.

Ms. Swindle stated she advised everyone on what this Board’s role is and several items that the residents are disgruntled with are not under their purview.

Ms. Walsh referred to a memorandum from Ms. Swindle that was distributed at today’s meeting. Since she has served on this Board, she never saw a memorandum like this distributed at the beginning of the meeting. She also had not seen this Board limit the public to 3 minutes.

Ms. Swindle stated she was asked by the Chair by e-mail yesterday afternoon regarding information he found on the internet (a lengthy PowerPoint presentation and a flyer that encouraged people to attend this meeting and share their voices to this Board). She was asked to provide legal guidance on whether or not this Board is required to entertain a lengthy presentation on a non-agenda item. Her legal opinion is that the issues in the PowerPoint presentation are outside of this Board’s jurisdiction. Within the Lee County Administrative Code, the Chair of an Advisory Committee meeting is allowed to decide procedures and points of order. Her recommendation to the Chair is to set a 3-minute limit per person for public comment. Since she was only asked for her input yesterday afternoon, this was the earliest she could provide the memorandum.

Mr. Blackwell stated that the use of time limits is used by the Board of County Commissioners and the Local Planning Agency.

Ms. Brownell stated for the record that this Board has received memorandums from the Attorney’s Office in the past at the beginning of a meeting. Although it has not occurred since Ms. Walsh became a member, it has been done in the past. She noted that so much of the presentation is outside this Board’s purview. Ms. Brownell noted that she had asked in the past to be added to the distribution list so she could attend future Matlacha Civic Association meetings, yet her e-mail address has never been added to the list. She was personally invited to attend one of the meetings. As it turned out, the meeting was cancelled, and she was never notified. She also follows Facebook, and the meeting was not cancelled on Facebook either. This particular Board is trying to help Matlacha. She is aware that previous board members were more antagonistic towards residents living in Matlacha and have pushed preservation at the expense of conservation and at the expense of human use of properties. She asked that further discussion be tabled until they receive public comment.

Mr. Smith noted he lived on Pine Island for a long time and could appreciate the frustration about what is taking place in Matlacha, but he did not feel this was the venue for it. He reiterated that this Board is not causing all of the problems taking place in Matlacha. He personally spearheaded change over the last 7-8 years, so he felt the perception in the community towards this Board is unfair.

Ms. Walsh felt there was a consensus among the people in Matlacha that this Board is trying. Although they are not pointing fingers at this Board, they feel this Board might be able to put some pressure on Code Enforcement. They are asking this Board to help get the historic nature of Matlacha back to what it was. They are not coming after this Board but are asking what they can do to help things progress.

The Chair opened the public comment portion of the meeting.

Mr. Michael Hannon asked for clarification about the 3-minute time limit.

Ms. Swindle stated it did not apply to Ms. Walsh because she is a Board member. The 3-minute rule is for general public comments.

Mr. Hannon asked if he was only allowed to provide public input on an item listed on the agenda.

Ms. Swindle stated that was not correct. He could bring up other issues.

Mr. Hannon stated he was on the Board of Directors for the Matlacha Civic Association. He asked what the process was for the Matlacha Civic Association to be on a future agenda to present a report prepared by the Florida Institute entitled "*Matlacha, Pine Island Road/Public Space/Parking Urban Strategy.*"

Ms. Swindle stated it would require a vote from this Board to invite the Matlacha Civic Association to be on a future agenda.

Mr. Chris Walczak stated that the struggle from the community comes from the unknowns; however, the community has been working through this and will continue to do so. Mr. Walczak noted he attempted to guide the community towards the appropriate departments because he agrees that it is not productive to address questions and concerns to the wrong party. In general, he felt there were some questions that might appease some of the community if they were answered. For instance, what is the process from the County for derelict buildings. He owns one of those buildings and is fined each day. He noted there is no clear outline on how to go through this process, which involves several departments. The community would appreciate some sort of outline on the process.

The Board recessed at 1:58 p.m. and reconvened at 2:05 p.m.

No other members of the public wished to comment, so the public comment portion was closed.

Ms. Brownell stated she would look into the process that took place when someone attempted to demolish the property she currently owns. She offered to produce a graphic if she could find some sort of easy timeline. She agreed that it would be preferable if there was communication between Code Enforcement and DCD staff for the process of relieving Code Enforcement fines. She believed Mr. Walczak could ask for relief of those fines at a Hearing Examiner hearing. She also thought staff might be in a position to advocate for him. She asked if this Board could make a written recommendation to the Hearing Examiner that the fines be mitigated.

Ms. Swindle stated that comments by the public are not allowed during Code hearings. She was also uncertain whether the Hearing Examiner would accept recommendations on code enforcement issues. She felt the following issues were made clear today: 1) DCD staff should reach out to Code Enforcement and the Building Official to get some clarity on how the process is handled and to get a

status of the properties listed in the PowerPoint presentation; 2) DCD staff should see if the Land Development Code process is being followed by Code Enforcement; and 3) DCD staff could find out what the best process is for the public and the Matlacha Civic Association to communicate their concerns to the Building Official and Code Enforcement. There may not be a perfect solution that will make everyone happy because there are rules and regulations the County cannot deviate from, especially concerning the issue of private property rights for property owners. Staff will look into these issues further and hopefully a representative from Code Enforcement or the Building Department can attend a future meeting. She agreed that an update might be in order, but it will be limited to the issues that pertain to this Board which is designated historic resources.

Ms. Walsh stated this would be very helpful. She referred to Mr. Hannon's request regarding having the Matlacha Civic Association on a future agenda. She noted they wanted to present the University of Florida Report that the University. Since Lee County officials attended the last meeting, it would be nice if this Board heard the presentation as well.

Ms. Swindle stated her recommendation is to have staff reach out to the Building Official to get information on how we might solve these problems before we venture into having the Matlacha Civic Association on a future agenda. Her suggestion was to give staff a chance to research these issues further. Once the Board hears the update from staff, they can discuss, as a Board, whether they want to entertain a special presentation and what parameters they would like the presentation to focus on. They would need to vote on it at that meeting and then the agenda item would get scheduled for a future meeting and be properly noticed. The public would be welcome to attend. She also asked that staff follow-up on whether or not the Land Development Code procedure is being followed when a designated historic resource is identified by the Building Official as being unsafe and potentially subject to demolition. Staff can investigate whether they are consulting this Board.

Due to a request by Ms. Walsh, staff agreed to distribute the report by the University to the Board members.

Resignation

Ms. Brownell announced that this meeting or the June meeting (if we have one) will be her last meeting because she and her family are moving out of Lee County.

Public

The members of the public did not have any further issues to discuss, so the public portion segment was closed.

Agenda Item 6 – Next Meeting Date

The next Lee County Historic Preservation Board meeting is scheduled for Thursday, June 19, 2025 (if there are cases to discuss) in the Old Lee County Courthouse, 2120 Main Street, East Room, Second Floor, Fort Myers, FL 33901. **Ms. Walsh made a motion to adjourn. The motion was seconded by Mr. Knight. The Chair called the motion, and it passed 4-0.** The meeting adjourned at 2:14 p.m.

**SPECIAL CERTIFICATE OF APPROPRIATENESS
SCA2025-00013 2592 SECOND STREET**

**LEE COUNTY HISTORIC PRESERVATION BOARD
JULY 17, 2025**

PROJECT ADDRESS: 2592 Second Street, Matlacha, FL 33993
STRAP NUMBER: 24-44-22-03-00004.0030
DESIGNATION: Non-Contributing

SUMMARY

The applicant requests approval to construct a new elevated residence at 2592 Second Street. Staff finds that the proposed project conforms to the character of the Matlacha Historic District and the community as a whole.

FINDINGS AND RECOMMENDATIONS:

Staff has reviewed the elevations and renderings and finds the project to be consistent with the Design Guidelines for the Matlacha Historic District and Lee County Land Development Code (LDC) Chapter 22.

Staff recommends that the Historic Preservation Board:

- **Make a finding that the proposed elevated residence is in compliance with the Design Guidelines for the Matlacha Historic District and Lee County LDC Chapter 22; and**
- **Approve the Special Certificate of Appropriateness for the subject property pursuant to LDC Chapter 22 to permit the new elevated residence as depicted in the site plan, floor plans, and elevations stamped “received” June 12, 2025.**

ANALYSIS

Subject Property

The property is currently listed as a Non-Contributing property located at 2592 Second Street, Matlacha. The property is located at the northwest side of Second Street approximately 100 feet southwest from its intersection with Matlacha Avenue. The property was originally created as part of Crows 2nd Plat of Matlacha recorded in Plat Book 8 Page 85 as lot 3.

The property is a rectangular-shaped lot that extends northwestward from Second Street to the canal in back. The lot has approximately 50 feet of frontage on Second Street. The subject property has been demolished per DEM2022-01548 and is currently undeveloped apart from the seawall. The demolition was approved by historic staff under the guidance of the County Building Official. It was previously developed with a single-family residence that was oriented with its principal façade along this roadway.

The property has a previous historic case. COA2017-00098 approved the conversion of a tri-plex to a single-family residence.

Requested Changes

The applicant proposes to construct an elevated residence to replace the previously demolished ground-level residence. The residence will be an elevated one-story structure with access stairways on the front and back of the house. This elevated design will provide greater flood resistance than the previous residence. The ground floor will be bare earth and will not be used for parking.

Proposed Residence

The proposed residence will be in the form of an elevated one-story structure configuration and will have a peak height of 24 feet, 8 inches. It will have 1,170 square feet under air. The house will be a wood-framed design with hip and gable roof sections covered with asphalt shingle. The house will be raised on posts with an open ground floor. It will be sided with horizontal Hardie-plank lap siding. There will be an open covered porch on the front and rear façades.

The front (southeast) elevation faces Second Street. It will have a single entrance and only three windows on the upper floor. There will be two windows to the west of the main entrance and a single window near the north end of the façade. An open porch under a hipped roof extension runs between the front door and the south end of the façade. The porch will have support columns visible on both corners of the structure. A staircase runs from the porch parallel to the façade.

The rear (northwest) elevation will have an entrance near the middle of the façade. A small rear porch is located under one side of the main gable roof and has a staircase extending across the west end of the façade. There will be two large single-hung windows to the north of the entrance and a single smaller single-hung window at the south end of the façade.

The right side (southwest) and left side (northeast) façades have no windows or doors. Only horizontal Hardie-plank siding and trim.

The architectural style of the proposed structure is very conservative and contains few decorative flourishes. The use of discrete single-hung windows echoes the design of the original house and is found both on Second Street and the district as a whole. Likewise, horizontal lap siding is found on both neighboring properties and the house across the street. The use of one-story over an open ground floor design is increasingly common in the historic district. Non-Contributing structures are required to elevate to FEMA standards and the practice also provides greater resistance to flooding and storm surge damage. In addition, the use of the open design on the ground floor greatly helps in reducing the visual mass of the structure. The proposed house will be 1,170 square feet which is similar to the previous house.

The overall pattern for houses on Second Street is a mix of one and two-story houses built at grade. Both of the houses neighboring the subject property were two stories tall prior to Hurricane Ian. The elevation of the property will actually bring it into closer compliance with the character of the block.

The proposed building will have a significantly reduced street setback than the previous structure. This would normally be an issue but there are some mitigating factors. First, the elevated design of the structure actually reduces crowding of the already narrow street due to the open nature of the ground floor. In addition, the proposed setback will be closer the pattern along the block, bringing the property into closer compliance with the character of the block.

Therefore, staff finds that the impact of the proposed building on the surrounding properties, the Matlacha community, and the historic district is minimal.

DESIGN GUIDELINES FOR THE MATLACHA HISTORIC DISTRICT.

1.0 Streetscape

1.1 Where feasible, building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure.

The proposed height of the building is 24 feet, 8 inches. This is closer to the height of the neighboring buildings than the previous structure.

1.2 The pattern of spaces between buildings should be maintained where feasible. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern of setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings.

The properties along Second Street are relatively small and have reduced setbacks. The proposed structure will conform to this pattern.

1.3 Additions should attempt to maintain the overall sense of size of the building.

No additions are proposed for the new structure.

1.4 Buildings at the ends of a block should be similar in height to the buildings or provide a visual transition to the next block.

The subject property is not at the end of the block.

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first- and second-story windows should respect traditional patterns of the block.

The proposed structure is very conventional in appearance and will have architectural features similar to the surrounding block. The use of horizontal siding and wooden posts especially conforms to the block.

1.6 Maintain the traditional proportions of glass in building facades.

The proposed design uses discrete, separated windows rather than ribbons of small windows or exceptionally large areas of glazing. This is similar to the style of many houses within the historic district and Second Street specifically.

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

The proposed shingle hip and gable roof has a 5 to 12 pitch. There are no protruding elements, and the porches are contained under the main roof. This is a conservative design and does not stand out as unusual on Second Street or in the historic district.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

It was not possible to retain any historic features of the previous structure.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces.

The building will maintain the same orientation to the street and water.

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the building's front façade.

Although the building will be elevated, the open-air nature of the ground-floor lets the upper floor maintain a linear orientation rather than creating a vertical tower effect. This linear visual effect is

enhanced by the use of horizontal siding. It should be remembered that the elevation of the property is intended to prevent and reduce damage from future flooding and storms.

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.

Both the front and rear porches are contained under the main roof and there are no sections of the house that extend out from the basic footprint of the residence. There are no accessory structures or service areas associated with the proposed residence.

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional.

There are no alleyways accessing the subject property.

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges.

No accessory buildings are proposed by this request.

2.7 Decks should be as unobtrusive as possible. Railings should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found.

The proposed porches on the front and rear façades of the residence will sit under the existing roof and will not extend outside the basic footprint of the structure. The railings are a simple pattern with no extra decorative feature.

2.8 Paving materials and patterns should respect traditional patterns on the block.

The applicant proposes a concrete slab parking area in front of the residence. This is in keeping with both the historic district and the block.

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible.

Landscaping is not regulated by the Land Development Code for residential structures, and no new landscaping is proposed by this request.

3.0 Additions to Existing Buildings

There are no additions proposed for the subject property.

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district.

The style and materials of the proposed residence is similar to other buildings found on the block. Other properties use horizontal siding and a mix a hip and gable roofs similar to the proposed structure.

4.2 Align the façade of the building with the historic setbacks of the block or district.

The front façade of the new building will maintain the alignment of the previous structure.

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area.

The proposed structure will be two stories tall which matches the neighboring structures on either side.

4.4 Building and roof forms should match those used historically.

The majority of the roofs on Second Street are either hip or gable in design. Therefore, the proposed design matches most of the block in roof type.

4.5 Use similar building materials to those used historically for all major surfaces.

The proposed building will be a wood frame construction. The siding will be Hardie-plank and the roof will be standard shingles. Hardie-plank has become a customary material for historic structures and the other materials are also found on Second Street.

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row.

The proposed windows and doors for the residence are similar to those found throughout the block in that they are arranged in a traditional layout of discrete, separated windows. There are no unusual window types or excessively large, glazed areas.

5.0 Relocating Buildings in a Historic District

No buildings are proposed for relocation in this project.

Conclusion

Staff finds the proposed residence is consistent with the Design Guidelines of the Matlacha Historic District and Lee County Land Development Code Chapter 22.

List of Attachments

Location Map

Aerial Photo

Applicant Packet:

Request Statement

Materials List

Site Plan

Elevations

Floor Plans

Staircase Details

SCA2025-00013

LEE CARES – 2592 SECOND STREET, MATLACHA

RESUBMITTAL DATED 06-12-2025

RECEIVED
JUN 12 2025
COMMUNITY DEVELOPMENT

The Design

The proposed New Single Family Residence with a Pier and Beam Foundation is a One Story Residence; 2 bed 2 bath House with a covered porch 95 S.F. in the Front and a rear Patio 28 S.F. in the back. This House will be stick framed with 2x6 @ 16" O.C. for exterior walls and 2x4 @ 16" O.C. for interior walls. The roof frame will be stick built with 2x members. All floor sheathing shall be 3/4" Thick Plywood Sheathing to meet APA Exposure 1 rating. All roof sheathing to be OSB Radiant Barrier. Exterior Finished Carpentry will consist of Fiber Cement Siding and Trim Manufactured by James Hardie.

- A. Fascia Boards and Trim: H210' Trim Textured Finished pre primed
- B. Lap siding H210' Hardie Plank 8-1/4" pre primed
- C. Soffit: H210' Hardie Soffit, Continuous, vented, pre-primed
- D. Board and Batton Panels, Trim Post: Shall be in compliance with Matlacha Historic District

The roof will be a shingled roof, 30 year Architectural Shingle, Fiberglass-Based Asphalt Shingle ASTM D 3161 Class F with Type 1 self-sealing: UL Rating of A and Wind Resistance Label to meet designated structural wind design pressures; 220 Minimum LB. All valleys to be woven or closed-cut to comply with windstorm guideline and per manufacturer's recommendation.

All Exterior Doors are 3'-0" x 6'-8" and are fabricated and installed to meet the engineered design and energy star per climate zone and meets the "impact" Resistant code per Lee County. All windows are single hung 3'-0" x 5'-0" or 3'-0" x 3'-0" and are fabricated and installed to meet the design and energy star per climate zone and meets the "impact" resistant code per Lee County.

All paints, coating and Finishes are to be applied in strict accordance with manufactures Directions and carry a manufacture's warranty. Exterior surfaces to be Primed and receive a minimum of two top coats of paint. Colors to be selected from Pre-Selected Color Schemes to adhere to the Matlacha Historic District Code.

Project: BUILD NEW SINGLE FAMILY RESIDENCE ON VACANT LOT

Address: 2592 SECOND ST, MATLACHA FL 33993

MATERIALS DESCRIPTION

Please refer to Elevation drawings and Exterior Finish Schedule for additional information.

Overall Height: The overall height of the proposed Single Family Residence is 24'-8".

- The Lowest Adjacent Grade is 2.8'
- All critical elevations shore per FEMA P-762 Requirements and Coastal A/V Zone Building Design Certificate. Elevations referenced to NAVD88. Final Values to be Verified in Field or Provided by Supervisor
- Please see Sheet A-2.00 Exterior Elevations

Parking: Parking will be provided on the ground floor. Please see attached Sheet C-2.00 DRAINAGE/PAVING PLAN

Roof: All roof sheathing to be CDX Plywood or OSB Radiant Barrier. Shingle Roof- 30 Year Architectural Shingle, Fiberglass Based Asphalt Shingle ASTM D3161 Class F with Type 1-Self Sealing: UL Rating of A and Wind Resistance Label to Meet Designated Structural Wind Design pressures of 220 minimum.

Sloped Roof Materials: All valleys to be woven or closed-cut to comply with windstorm guideline and per manufacturer's recommendation.

Shingle Color: Weather Wood

Exterior Wall Finish: Exterior Finish Carpentry will be Fiber Cement Siding and Trim manufactured by James Hardie. Lap Siding: H210' Hardie Plank 8-1/4" pre primed

Exterior Wall Material: Hardie Plank 8-1/4" pre primed. Stick Framed with 2"x6" @ 16" O.C. for exterior walls

Exterior Wall Color: Grey

Exterior Trim Color: Pure White

Exterior Door Color: Indigo

Gable End Wall Material: Fiber Cement Siding and Trim manufactured by James Hardie Lab Siding 8-1/4" pre primed.

James Hardie Siding Color

Windows and Doors: The windows and doors will be recessed from the face of the exterior wall, with tinted or neutral grey glazing as required in the historic district.

Windows: PGT Industries Vinyl Single Hung Window

Doors: Masonite International HPC Steel-edge Steel Side-Hinged Door Unit

Door Color:

Porches and Trim: The porch columns and railings are inspired by historical designs. The trim detailing is appropriately restrained for the architectural design intent and in keeping with district guidelines.

Porches and Trim Color:

Columns: James Hardie Siding will be used for the exterior finishes

Porch Railings: 2x4 treated materials will be used for the Porch railings and will be painted to match the vernacular of the colors in the historic area.

Soffits and Porch Ceilings: H210' Hardie Soffit, Continuous vented, pre-primed, Hardie Board and Batten Panel pre-primed.

Soffits and Porch Ceilings Color:

REQUEST STATEMENT

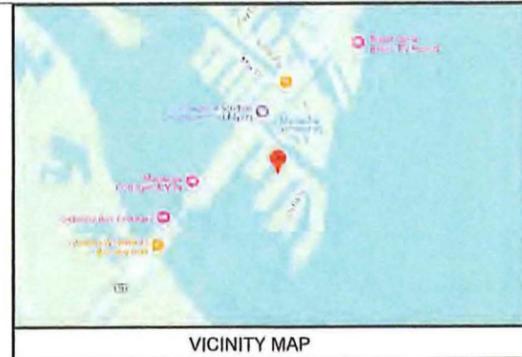
Property Location

The subject property is located at 2592 SECOND ST, MATLACHA FL 33993, is located within the Matlacha Historic District and has a residential zoning designation of Vacant Residential. The Parcel is CROWS 2ND PLAT OF MATLACHA BLK 4 PB 8 PG 85 LOT 3 using 8 and 85 for the book and page numbers.

Scope of work

The owner would like to build a new Single Family Residence on Piling & Stringer foundation on the vacant lot. The proposed SFR will maintain the Historic District's style of surrounding properties.

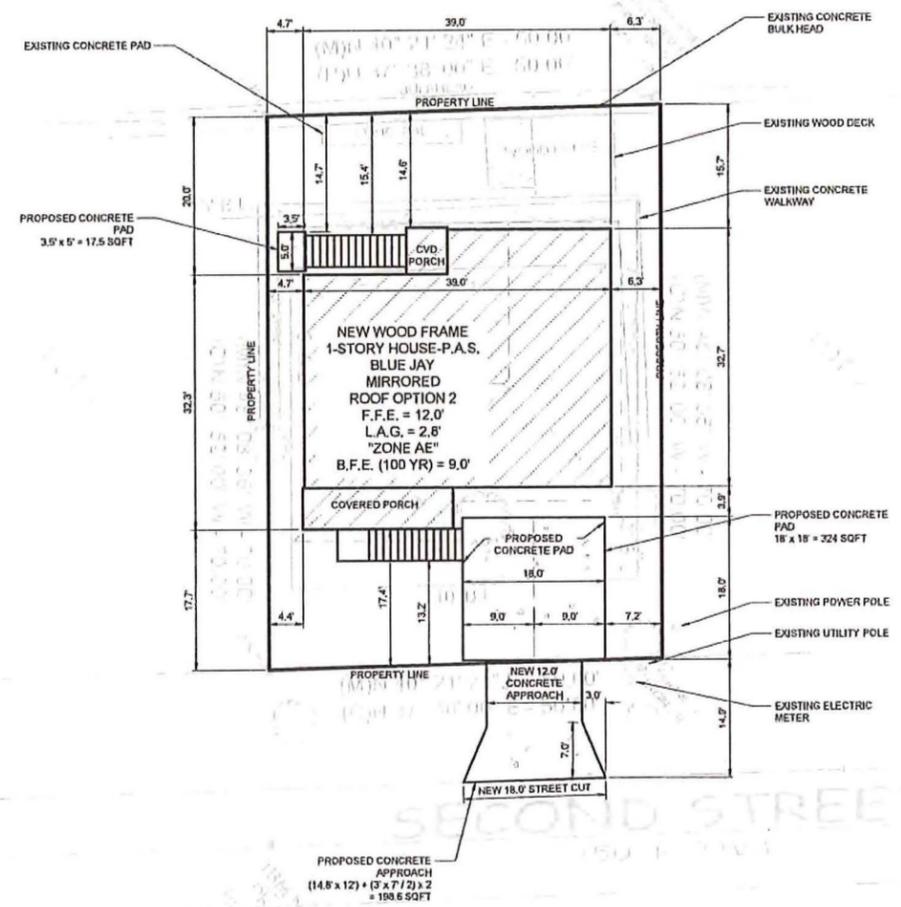
JUN 12 2025
COMMUNITY DEVELOPMENT



SCALE: 1" = 10'

LEGEND

⊕ GAS METER(M)	⊕ CORRUGATED METAL PIPE
⊕ GAS VALVE(OV)	⊕ REINFORCED CONCRETE PIPE
⊕ FIRE HYDRANT(F)	⊕ POLYETHYLENE GLYCOL PIPE
⊕ WATER METER(WM)	⊕ CORRUGATED PLASTIC PIPE
⊕ WATER VALVE(WV)	⊕ ELECTRIC TENS GROUND
⊕ GRATE INLET(G)	⊕ STORM SENSOR EASEMENT
⊕ SANITARY MANHOLE(SAN.M.H.)	⊕ ADJACENT EASEMENT
⊕ STORM MANHOLE(S.M.H.)	⊕ BACK OF CURB
⊕ PRESSURE VALVE(PV)	⊕ BUILDING LINE
⊕ LIGHT POLE(LP)	⊕ CONTROL POINT
⊕ WATER WELL(WW)	⊕ BALANCE EASEMENT
⊕ TRAFFIC SIGNAL POLE(TSP)	⊕ FINISH FLOOR ELEV.
⊕ CLEAN OUT(CO)	⊕ BUTTER
⊕ BURIED CABLE MARKER(CBM)	⊕ HIGH PILE
⊕ POWER POLE(PP)	⊕ HIGH PILE
⊕ UTILITY POLE(UP)	⊕ HIGH PILE
⊕ SERVICE POLE(SP)	⊕ TEMPORARY EASEMENT
⊕ ELECTRIC BOX(EB)	⊕ UTILITY EASEMENT
⊕ ELECTRIC METER(EM)	⊕ WATER LINE EASEMENT
⊕ SPOT ELEVATION(S)	⊕ ASPHALT
⊕ ELECTRIC JUNCTION	⊕ CONCRETE
⊕ KNOX BOX	⊕ GRAVEL
⊕ EXISTING TREE	⊕ HIGH BANK



LEGAL DESCRIPTION:
LOT 3, BLOCK 4, OF CROW'S SECOND PLAT OF MATLACHA, IN LEE COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 85, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

PARCEL ID:
24-44-22-03-00004,0030

PROPOSED CONCRETE	
PARKING PAD	324 SQFT
APPROACH	198.6 SQFT
CONCRETE PAD	17.5 SQFT
TOTAL	540.1 SQFT

IMPERVIOUS SQUARE FOOTAGE	
PROPOSED SQUARE FOOTAGE	
LOT AREA	3,498.8 SQFT
PROPOSED 1ST FLOOR	1,170 SQFT
FRONT PORCH	95 SQFT
REAR PORCH	28 SQFT
PARKING PAD	324 SQFT
CONCRETE PAD	17.5 SQFT
EXISTING WALKWAY	249.6 SQFT
EXISTING BULK HEAD	55 SQFT
EXISTING WOOD DECK	155 SQFT
EXISTING CONCRETE PAD	48.9 SQFT
TOTAL	2,144 SQFT
APPROXIMATE LAND TABULATION	
LOT AREA	3,498.8 SQFT
TOTAL	2,144 SQFT
IMPERVIOUS PERCENTAGE	61.28 %

- ### NOTES
- THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 2'-0" ABOVE B.F.E.
 - THE FINISHED GRADE AT HOUSE FOUNDATION SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AND SHALL START A MINIMUM OF 6" BELOW FINISHED FLOOR OF SLAB OR MINIMUM 6" BELOW PIER FOOTINGS FOR ELEVATED FLOOR.
 - GRADING BELOW ELEVATED FLOOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM HOUSE FOOTPRINT AND PREVENT POOLING UNDER HOUSE.
 - NO BUILD LINES OR EASEMENTS SHOWN ON PLAT BEYOND THE R.O.W.
 - FINISHED CONSTRUCTION GRADING PATTERN SHALL CONVEY WATER RUN-OFF AWAY FROM ADJACENT PROPERTIES.
 - ANY WETLAND AREA TO REMAIN UNDISTURBED DURING CONSTRUCTION.
 - IF RAMP IS REQUIRED, ITS SLOPE SHALL NOT EXCEED 1" PER FOOT, PER ACCESSIBILITY STANDARDS.
 - ALL VERTICAL DATA SHOWN IS BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD83)

ISSUANCE / REVISION		
#	DATE	DESCRIPTION
0	11/24/2024	ISSUED FOR CONSTRUCTION

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION FROM "COBALT".

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CURTIS HAMPTON ON THE DATE SPECIFIED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Curtis Hampton
Date: 2025.06.11 09:02:24 -0500

12/02/2024

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:
BRIZO CONSTRUCTION

PROJECT LOCATION OR ADDRESS:
2592 SECOND STREET,
MATLACHA, FLORIDA 33993

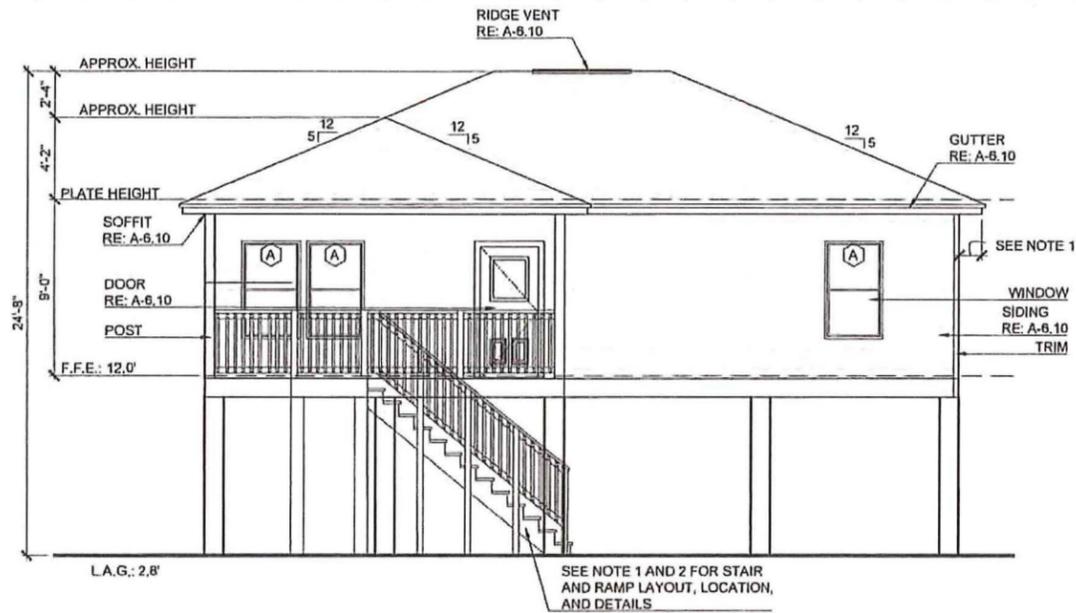
SITE PLAN

ALL CRITICAL ELEVATIONS SHOWN PER FEMA P-762 REQUIREMENTS AND COASTAL A/V ZONE BUILDING DESIGN CERTIFICATE. ELEVATIONS REFERENCED TO NAVD88. FINAL VALUES TO BE VERIFIED IN FIELD OR PROVIDED BY SURVEYOR.

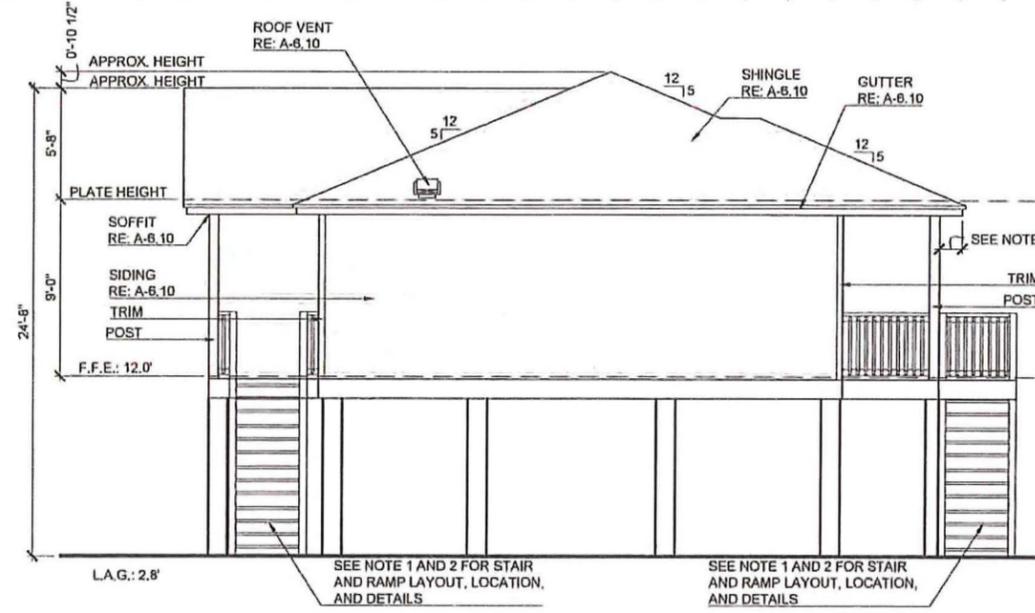
ATTIC VENTILATION CALCULATION	
AREA	SQUARE FOOTAGE
TOTAL AREA	1,170 S.F.
TOTAL REQUIRED VENTED AREA (1/150)	7.8 S.F.
REQUIRED RIDGE (HIP) VENTILATION	3.9 S.F.
REQUIRED SOFFIT VENTILATION	3.9 S.F.

NOTES

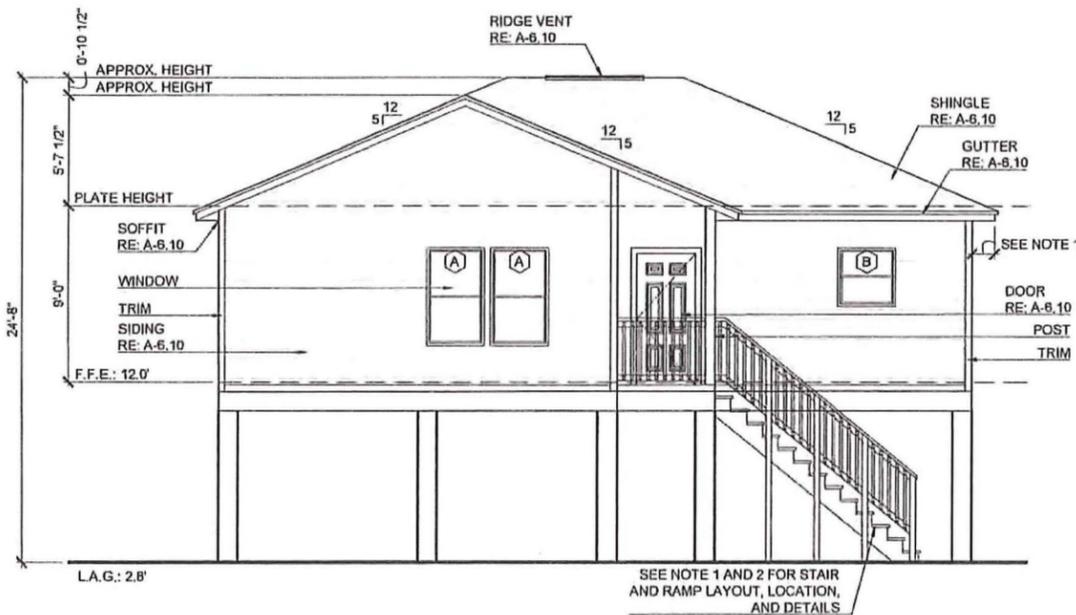
- WHEN REQUIRED SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
 - WHEN REQUIRED SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
 - ROOF OVERHANG SHALL BE A MINIMUM OF 12 INCHES (INCLUDING GUTTERS) BEYOND THE OUTER MOST PORTION IF ANY EXTERIOR VENEER. CONTRACTOR TO ADJUST RAFTER TAILS AS REQUIRED.
 - WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER FBC.
 - ALL GUTTERS SHALL HAVE DOWNSPOUTS.
 - ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
 - ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2009).
 - RAIN DIVERTER STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
- THE ATTIC ACCESS IS REQUIRED TO BE A MINIMUM OF 22"X30", ASSUMING THAT NO EQUIPMENT WILL BE INSTALLED IN THE ATTIC SPACE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFIRM SITE SPECIFIC REQUIREMENTS.
- WHEN REQUIRED REFERENCE CIVIL FOR LAYOUT AND LOCATION OF RAMP AND STAIRS.
 - WHEN REQUIRED REFERENCE STRUCTURAL FOR RAMP AND STAIR DETAILS.
 - ALL VERTICAL DATA SHOWN IS BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD88)



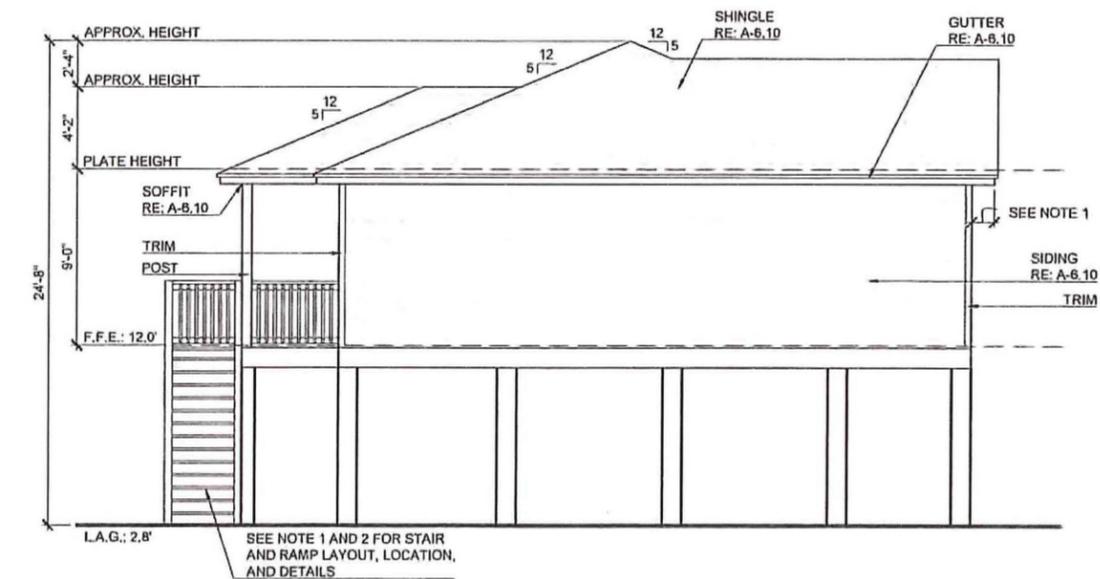
01 FRONT ELEVATION (MIRRORED)
OPTION 2 1/4" = 1'-0"



02 LEFT ELEVATION (MIRRORED)
OPTION 2 1/4" = 1'-0"



03 REAR ELEVATION (MIRRORED)
OPTION 2 1/4" = 1'-0"



04 RIGHT ELEVATION (MIRRORED)
OPTION 2 1/4" = 1'-0"

RECEIVED
JUN 12 2025
COMMUNITY DEVELOPMENT

ISSUANCE / REVISION		
#	DATE	DESCRIPTION
0	11/26/2024	ISSUED FOR CONSTRUCTION
1	04/04/2025	ADDED NAVD88 NOTES
2	08/11/2025	CITY COMMENTS

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION FROM COBALT.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CURTIS HAMPTON ON THE DATE SPECIFIED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Curtis Hampton
Date: 2025.08.12 09:06:16-0500 6/11/25

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT: BRIZO CONSTRUCTION
PROJECT LOCATION OR ADDRESS: 2592 SECOND STREET, MATLACHA, FLORIDA 33993

BLUE JAY EXTERIOR ELEVATIONS OPTION 2 (MIRRORED)

24-0255-06 A-2.00

SQUARE FOOTAGE CALCULATIONS		
LOCATION	SQUARE FOOTAGE	REMARKS
FLOOR PLAN	1,170 S.F.	
COVERED PORCH	95 S.F.	
REAR PATIO	28 S.F.	

WINDOW SCHEDULE			
MARK	QTY.	DESCRIPTIONS	REMARKS
A	5	3'-0" X 5'-0"	SINGLE HUNG
B	1	3'-0" X 3'-0"	SINGLE HUNG

DOOR SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
01	1	3'-0" X 6'-8"	1/2 LITE EXTERIOR
02	1	3'-0" X 6'-8"	EXTERIOR
03	5	3'-0" X 6'-8"	INTERIOR
04	1	(2) 2'-0" X 6'-8"	DOUBLE DOORS
05	1	2'-4" X 6'-8"	INTERIOR
06	1	22" X 30" MIN. ATTIC ACCESS	250 POUND LADDER RATING
07	1	3'-0" X 6'-8"	SELF CLOSING WITH A MINIMUM OF 20 MINUTE FIRE RATING (VENTED)
08	1	2'-0" X 6'-8"	VENTED
09	1	3'-0" X 6'-8"	VENTED (IF GAS APPLIANCES)

RECEIVED
JUN 12 2025
COMMUNITY DEVELOPMENT

NOTES

- WHEN REQUIRED SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
 - WHEN REQUIRED SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
 - ROOF OVERHANG SHALL BE A MINIMUM OF 12 INCHES (EXCLUDING GUTTERS) BEYOND THE OUTER MOST PORTION IF ANY EXTERIOR VENEER. CONTRACTOR TO ADJUST RAFTER TAILS AS REQUIRED.
 - WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER FBC.
 - ALL EAVES SHALL HAVE 5" ALUMINUM K-STYLE GUTTERS AND DOWN SPOUTS.
 - ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
 - SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
 - RAIN DIVERTER STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
- THE ATTIC ACCESS IS REQUIRED TO BE A MINIMUM OF 22"X30", ASSUMING THAT NO EQUIPMENT WILL BE INSTALLED IN THE ATTIC SPACE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFIRM SITE SPECIFIC REQUIREMENTS.
- BUILDER SHALL EXERCISE JUDGEMENT IN PLACEMENT OF EXTERNAL LIGHTING FOR RAMP CONNECTED TO A SINGLE SWITCH LOCATED AT EITHER THE FRONT OR THE BACK DOOR.
 - SEE STRUCTURAL FOUNDATION PLAN FOR FLATWORK DIMENSIONS.
 - SEE SITE PLAN SHEET C-1.00 FOR EXTERIOR A/C LOCATION.

ISSUANCE / REVISION		
#	DATE	DESCRIPTION
0	11/26/2024	ISSUED FOR CONSTRUCTION

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION FROM COBALT.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CURTIS HAMPTON ON THE DATE SPECIFIED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Curtis Hampton
Date: 2025.06.11 09:06:14 -0500

611175

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

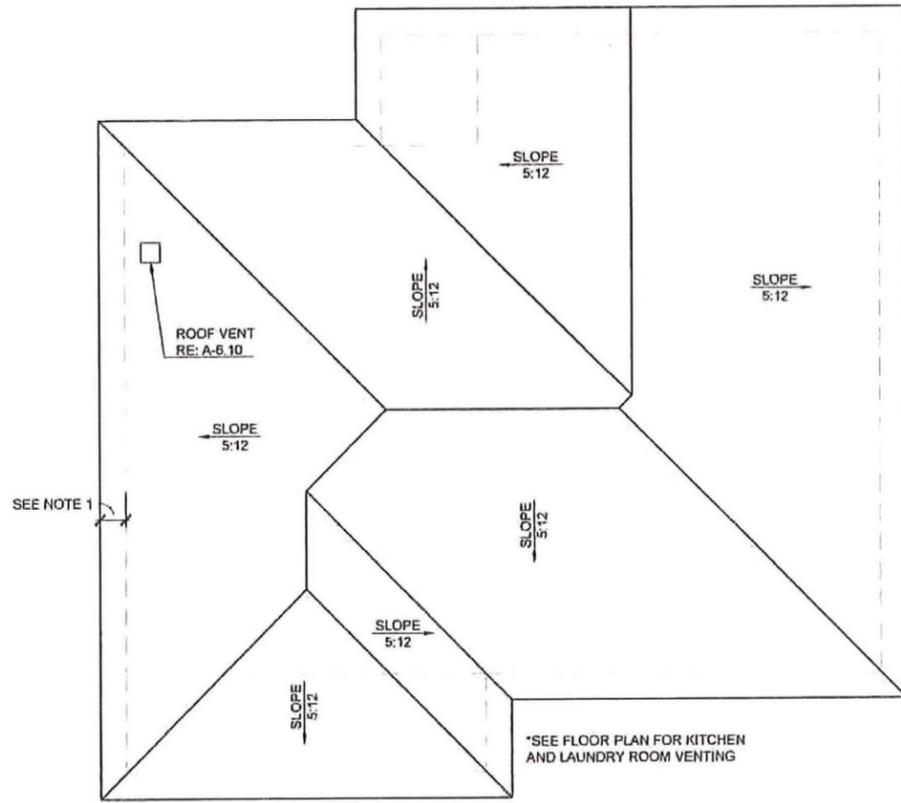


CLIENT:
BRIZO CONSTRUCTION

PROJECT LOCATION OR ADDRESS:
2592 SECOND STREET, MATLACHA, FLORIDA 33993

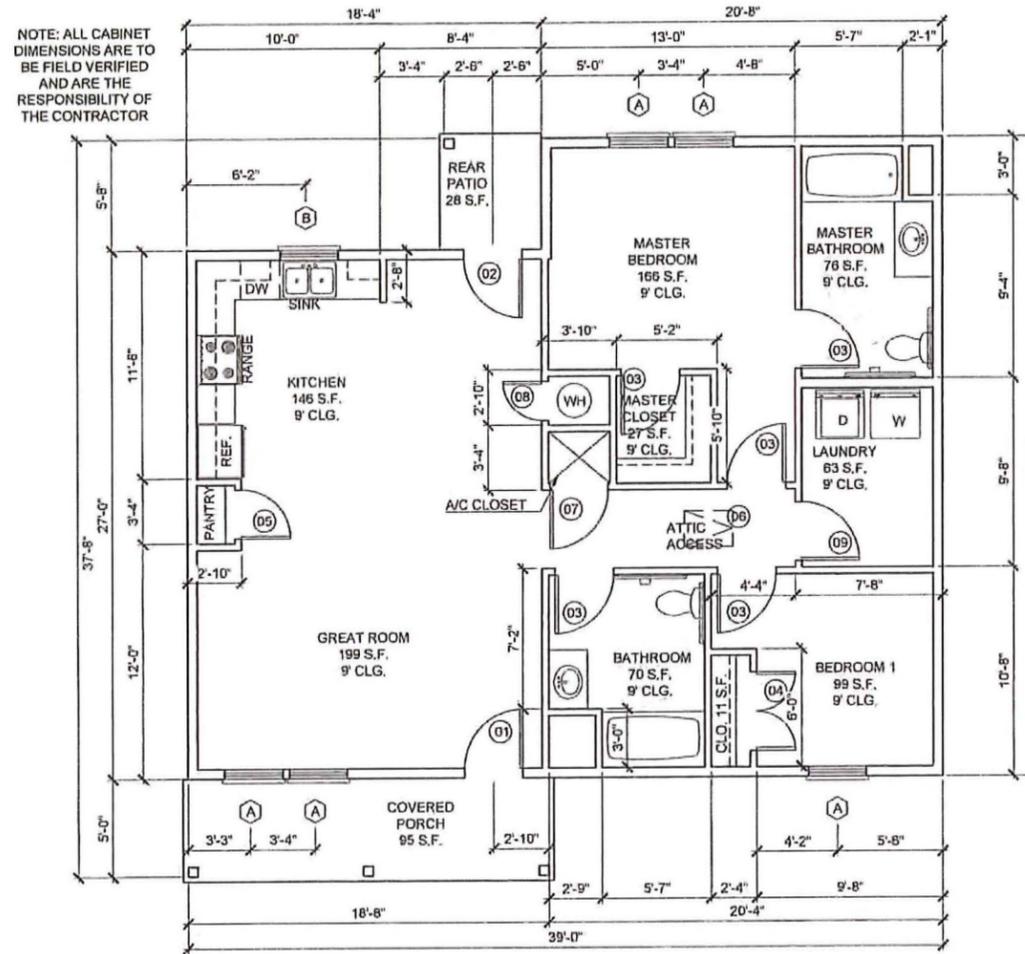
BLUE JAY
FLOOR PLAN - ROOF PLAN
OPTION 2 (MIRRORED)

24-0255-06 A-1.00



01 ROOF PLAN (MIRRORED)
OPTION 2

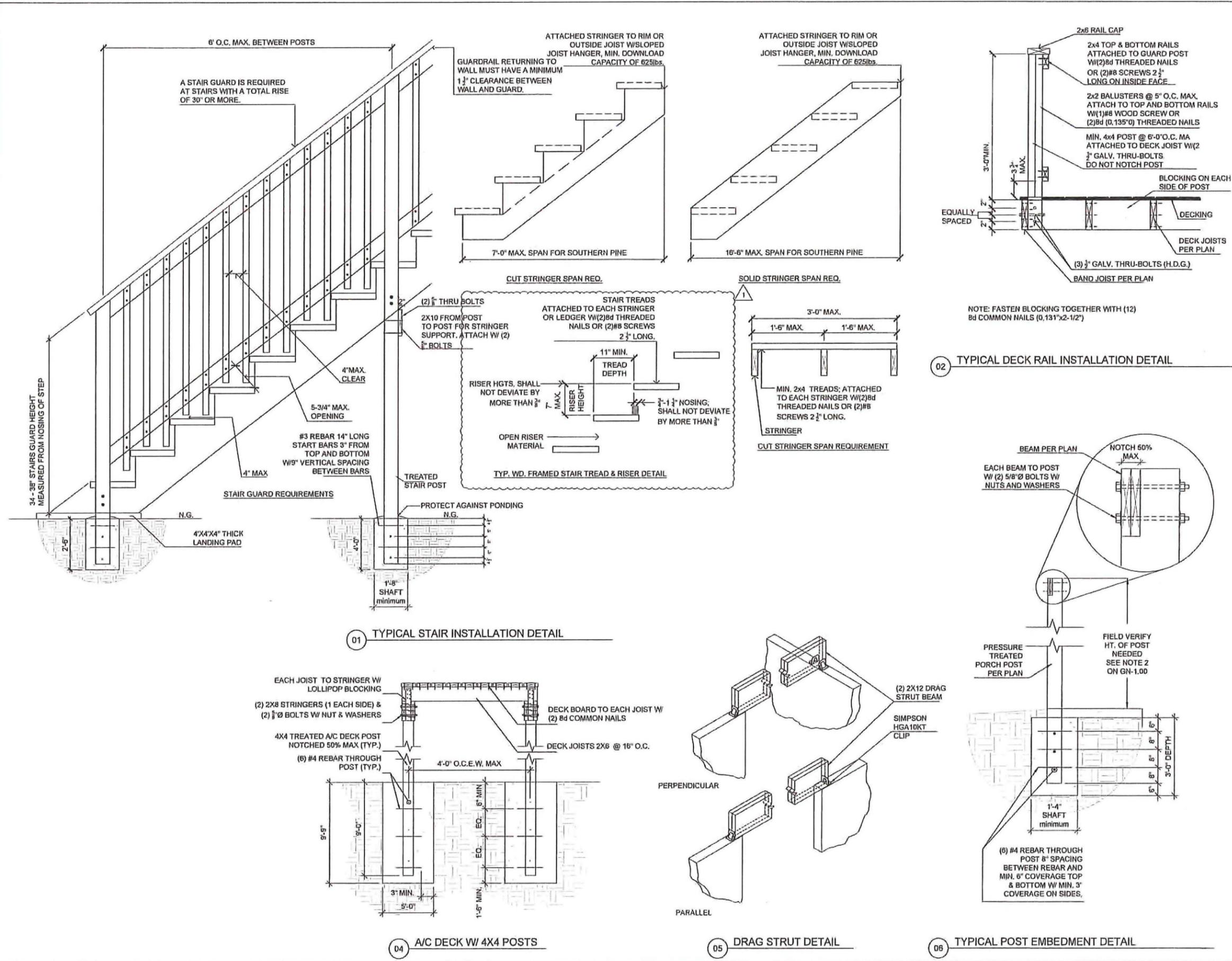
1/4" = 1'-0"



NOTE: ALL CABINET DIMENSIONS ARE TO BE FIELD VERIFIED AND ARE THE RESPONSIBILITY OF THE CONTRACTOR

02 FLOOR PLAN (MIRRORED)
OPTION 2

1/4" = 1'-0"



LEGEND

FLORIDA PRODUCT NUMBERS

PRODUCTS	APPLICATION #	PRODUCT #
SIMPSON 'LSTA' SERIES	FL10456-R8	10456.15
SIMPSON 'MSTC' SERIES	FL10456-R8	10456.25
SIMPSON CS16 (48")	FL10456-R8	10456.3
SIMPSON H2.5A	FL10456-R8	10456.7
SIMPSON H7Z	FL10456-R8	10456.7
SIMPSON 'HETA' SERIES	FL11473-R6	11473.4
SIMPSON 'HHETA' SERIES	FL11473-R6	11473.7
SIMPSON EPC6Z	FL10860-R8	10860.19
SIMPSON BCS2-3/6	FL10860-R8	10860.6
SIMPSON STHD14	FL10441-R9	10441.12
SIMPSON 'HDU' SERIES	FL10441-R9	10441.4
SIMPSON 'LUS' SERIES	FL10531-R7	10531.17
SIMPSON 'LUC' SERIES	FL10531-R7	10531.16
SIMPSON 'HUS' SERIES	FL11468-R6	10531.12
SIMPSON 'HUC' SERIES	FL10531-R7	10531.1

SOME PRODUCTS MAY NOT BE USED

DATE: JUN 12 2025

COBALT ENGINEERING AND INSPECTIONS, LLC

ISSUANCE / REVISION

#	DATE	DESCRIPTION
0	11/25/2024	ISSUED FOR CONSTRUCTION
1	04/01/2025	UPDATED OPEN RISER DETAIL

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION FROM COBALT.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CURTIS HAMPTON ON THE DATE SPECIFIED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Curtis Hampton on 2025.04.09 09:03:14 EDT

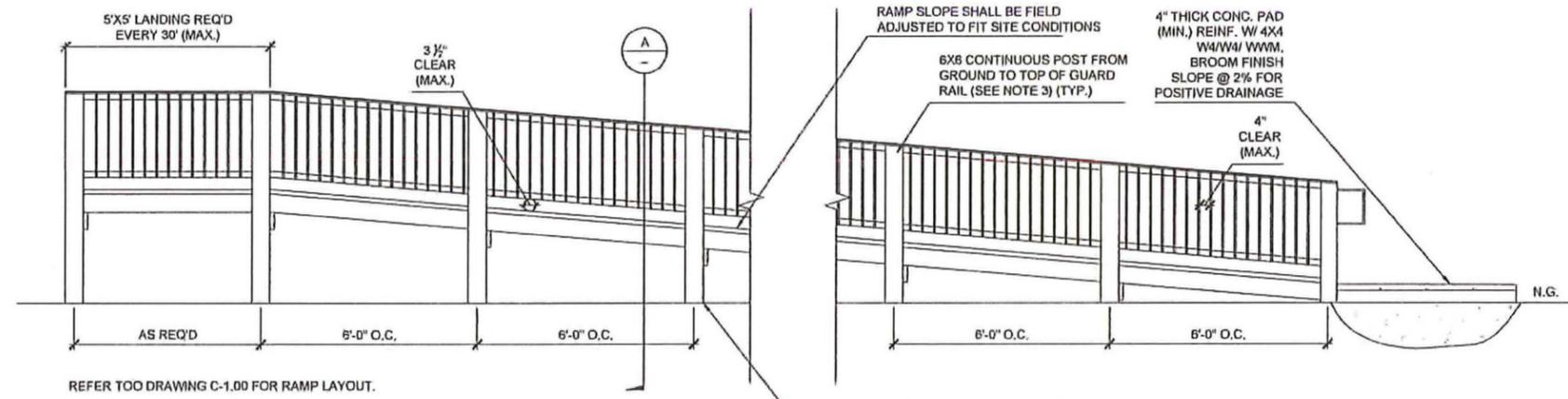
8/1/25

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

COBALT
ENGINEERING AND INSPECTIONS, LLC

CLIENT:
BRIZO CONSTRUCTION

PROJECT LOCATION OR ADDRESS:
2592 SECOND STREET, MATLACHA, FLORIDA 33893

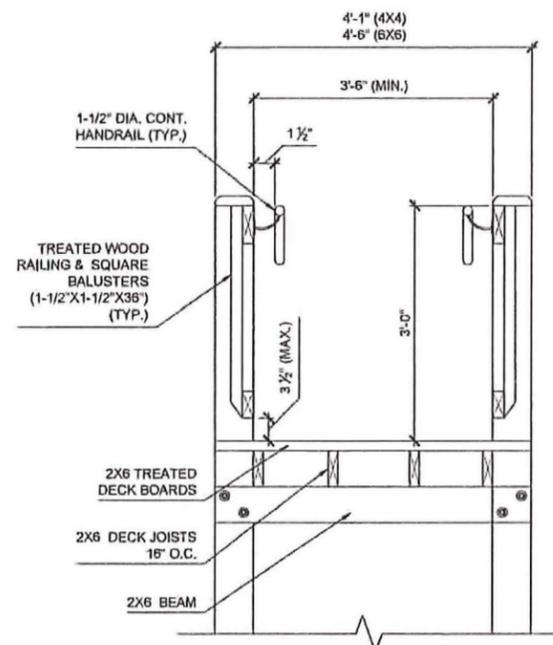


REFER TO DRAWING C-1.00 FOR RAMP LAYOUT.

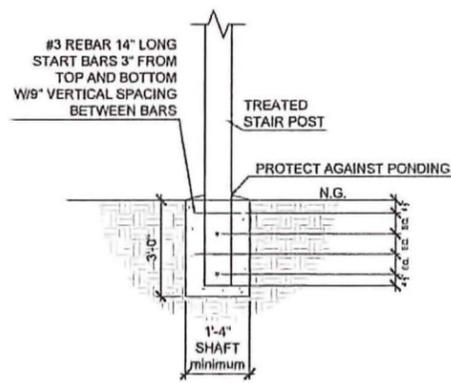
NOTES:

1. RAMP COMPLIES FBC TABLE R301.5 AND CAN RESIST A MINIMUM LIVE LOAD OF 40PSF.
2. EACH RUN OF RAMP SHALL NOT EXCEED 30' BETWEEN LANDINGS.
3. 6X6 TREATED WOOD POSTS MAY BE SUBSTITUTED WITH 4X4 TREATED POSTS WHEN FINISH FLOOR HEIGHT IS LESS THAN 72" ABOVE GRADE. EMBEDDED INTO GROUND 48" (MIN.)

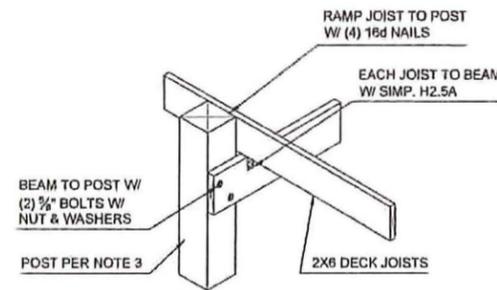
RAMP ELEVATION
N.T.S.



A SECTION
N.T.S.



FOOTING DETAIL
N.T.S.



STRINGER & FLOOR JOIST DETAIL
N.T.S.

LEGEND

FLORIDA PRODUCT NUMBERS		
PRODUCTS	APPLICATION #	PRODUCT #
SIMPSON 'LSTA' SERIES	FL10456-R8	10456.15
SIMPSON 'MSTC' SERIES	FL10456-R8	10456.25
SIMPSON CS16 (48")	FL10456-R8	10456.3
SIMPSON H2.5A	FL10456-R8	10456.7
SIMPSON H2Z	FL10456-R8	10456.7
SIMPSON 'HETA' SERIES	FL11473-R6	11473.4
SIMPSON 'HHETA' SERIES	FL11473-R6	11473.7
SIMPSON EPC6Z	FL10860-R8	10860.19
SIMPSON BCS2-3/B	FL10860-R8	10860.6
SIMPSON STHD14	FL10441-R9	10441.12
SIMPSON 'HDU' SERIES	FL10441-R9	10441.4
SIMPSON 'LUS' SERIES	FL10531-R7	10531.17
SIMPSON 'LUC' SERIES	FL10531-R7	10531.10
SIMPSON 'HUS' SERIES	FL11468-R6	10531.12
SIMPSON 'HUC' SERIES	FL10531-R7	10531.1

SOME PRODUCTS MAY NOT BE USED

ISSUANCE / REVISION		
#	DATE	DESCRIPTION
D	11/26/2024	ISSUED FOR CONSTRUCTION

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION FROM COBALT.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CURTIS HAMPTON ON THE DATE SPECIFIED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



Digitally signed by Curtis Hampton Date: 2024.11.26 09:03:18 -0500

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:
BRIZO CONSTRUCTION
PROJECT LOCATION OR ADDRESS:
2592 SECOND STREET, MATLACHA, FLORIDA 33993

STANDARD DETAILS 7

24-0255-06

SD-7.00

**SPECIAL CERTIFICATE OF APPROPRIATENESS
SCA2025-00016 ANDRESEN RESIDENCE**

**LEE COUNTY HISTORIC PRESERVATION BOARD
JULY 17, 2025**

PROJECT ADDRESS: 2613 First Street, Matlacha, FL 33993
STRAP NUMBER: 24-44-22-03-00003.0130
DESIGNATION: Non-Contributing

SUMMARY

The applicant requests approval to construct a new elevated residence at 2613 First Street by constructing a new second floor on top of the existing ground floor walls. Staff finds that the proposed project conforms to the character of the Matlacha Historic District and the community as a whole.

FINDINGS AND RECOMMENDATIONS:

Staff has reviewed the elevations and plans and finds the project to be consistent with the Design Guidelines for the Matlacha Historic District and Lee County Land Development Code (LDC) Chapter 22.

Staff recommends that the Historic Preservation Board:

- **Make a finding that the proposed elevated residence is in compliance with the Design Guidelines for the Matlacha Historic District and Lee County LDC Chapter 22; and**
- **Approve the Special Certificate of Appropriateness for the subject property pursuant to LDC Chapter 22 to permit the new elevated residence as depicted in the site plan, floor plans, and elevations stamped “received” June 11, 2025.**

ANALYSIS

Subject Property

The property is currently listed as a Non-Contributing property located at 2613 First Street, Matlacha. The property is located at the southeast side of First Street approximately 50 feet southwest from its intersection with Matlacha Avenue. The property was originally created as part of Crows 2nd Plat of Matlacha recorded in Plat Book 8 Page 85 as lot 13.

The property is a rectangular-shaped lot that extends southeastward from First Street to the canal in back. The lot has approximately 50 feet of frontage on First Street. The subject property is currently developed with a single family residence built in 1955 and described by the Lee County Property Appraiser as a 1,113 square foot Florida Ranch with 2 bedrooms and 1 bath.

The property has two previous historic cases. COA2010-00100 approved a reroof and COA2010-00099 approved electrical work.

Requested Change

The applicant proposes to construct an elevated residence to elevate the existing single story residence. The residence will be an elevated one-story structure with access stairways on the front and back of the house. This elevated design will provide greater flood resistance than the previous residence.

Proposed Upper Floor

The proposed residence will be in the form of an elevated one-story structure configuration with an enclosed ground floor and will have a mean roof height of 21 feet, 11 ½ inches. It will have 1,495 square feet under air. The house will retain the concrete block ground floor and the new upper floor will be a wood-framed design with a hip roof covered with metal. The house will be raised by constructing a new wood-framed upper floor on top of the concrete block walls of the existing residence which will then become the new ground floor. The house will be sided with horizontal Hardie-plank lap siding. There will be an open covered porch on the front and rear façades. The ground floor will contain a 12-foot by 22-foot garage but will otherwise be limited to storage space and will be rendered uninhabitable per FEMA flood regulations.

The front (northwest) elevation faces First Street. It will have a single pedestrian door and garage entrance on the ground floor. On the upper floor, there will be two windows, one on each end of the façade and the main entrance in the middle of the façade. An open porch runs between the front door and the southwest end of the façade. The porch will have two support columns, one in the middle of the façade and one at the west corner of the structure.

The rear (southeast) elevation will have a pair of French doors at the east end of the ground floor. There will be two large windows on the ground floor of the façade. On the upper floor will be two separate sliding glass doors opening onto the rear porch.

The right side (southwest) façade will have three windows on the upper floor and no features on the ground floor apart from the siding.

The left side (northeast) façade has no windows or doors on the ground floor. Only horizontal Hardie-plank siding and trim. The upper floor will have two large sash windows located at the middle and front of the façade with a small sash window at the rear and a horizontal casement window between the two larger windows.

The architectural style of the proposed structure is very conservative and contains few decorative flourishes. The use of discrete single-hung windows echoes the design of the original house and is found both on First Street and the district as a whole. Likewise, horizontal lap siding is found on multiple properties on First street. The use of one-story on top of the existing ground floor design is increasingly common in the historic district. Non-Contributing structures are required to elevate to FEMA standards and the practice also provides greater resistance to flooding and storm surge damage. In addition, The proposed house will be in the same footprint as the previous house, preventing an unnecessary increase in square footage.

The overall pattern for houses on First Street is a mix of one and two-story houses built at grade. Residences located on the northwest side of First Street were two stories tall prior to Hurricane Ian. In

addition, a trend of elevating one-story houses to two stories is current in the historic district. The elevation of the property will stay in character with the block.

The proposed building will have the same street setback as the previous structure. This will conform to the pattern of street setbacks found on the block, maintaining compliance with the character of the block.

Therefore, staff finds that the impact of the proposed building on the surrounding properties, the Matlacha community, and the historic district is minimal.

DESIGN GUIDELINES FOR THE MATLACHA HISTORIC DISTRICT.

1.0 Streetscape

1.1 Where feasible, building heights should be similar to the range of heights already found in the district and on the particular block of the subject structure.

The proposed mean roof height of the building is 21 feet, 11 ½ inches. This is within the range of heights found for the other two-story structures on the street.

1.2 The pattern of spaces between buildings should be maintained where feasible. Additions to existing buildings should be set back from the front façade so the visual quality of spacing is preserved. Maintain traditional pattern of setbacks, entrances and alignment of facades. Maintain traditional yard spaces and sense of openness, especially at the front and sides of buildings.

The properties along the southeast side of First Street all have relatively similar setbacks. The proposed structure will conform to this pattern.

1.3 Additions should attempt to maintain the overall sense of size of the building.

No additions are proposed for the new structure.

1.4 Buildings at the ends of a block should be similar in height to the buildings or provide a visual transition to the next block.

The subject property is not at the end of the block.

1.5 The traditional alignment of horizontal and vertical elements of buildings along a block should be maintained. The alignment of first- and second-story windows should respect traditional patterns of the block.

The proposed structure is very conventional in appearance and will have architectural features similar to the surrounding block. The use of horizontal siding and a metal roof especially conforms to the block.

1.6 Maintain the traditional proportions of glass in building facades.

The proposed design uses discrete, separated windows rather than ribbons of small windows or exceptionally large areas of glazing. This is similar to the style of many houses within the historic district and First Street specifically.

1.7 Maintain the traditional alignment between rooflines, porch protrusions and entrances.

The proposed shingle hip roof has a 4 to 12 pitch. There are no protruding elements, and the porches are contained under the main roof. This is a conservative design and does not stand out as unusual on First Street or in the historic district.

2.0 Building Site

2.1 Identify, retain and preserve features that are important in defining the overall historical character of the site, including driveways, walkways, lighting, fencing, signage, benches, fountains, terraces, water features, vegetation and potential archaeological features.

It was not possible to retain any historic features of the previous structure.

2.2 Maintain the traditional orientation patterns of building facades to the street or water. The front of the building should present a façade that is parallel to the street on which it faces.

The building will maintain the same orientation to the street and water.

2.3 The vertical and horizontal proportions of building mass should be maintained. Additions should preserve or maintain the traditional symmetry of the building's front façade.

The addition of the upper floor and retention of the ground floor unfortunately creates a much greater mass on the property. This is an unavoidable side effect of this means of elevation. However, there are multiple two-story residences on the block with a similar mass and as such, the proposed building will not be out of place on First Street.

2.4 Maintain traditional setback patterns. Porches, decks, solid fences or other additions should be located to respect traditional patterns or visually preserve the traditional front setback. Additions or screened service areas should be located to the side or rear of the front setback.

Both the front and rear porches are contained under the main roof and there are no sections of the house that extend out from the basic footprint of the residence. There are no accessory structures or service areas associated with the proposed residence.

2.5 Alleys, where part of the historical plat, should be used to provide access to the rear of properties for parking and service. Parking and access to parking should relate to alley systems, where present, and should be limited to the rear of structures where this pattern is traditional.

There are no alleyways accessing the subject property.

2.6 Accessory buildings such as garages or carports should be located according to the traditional development patterns of such buildings and should relate to the existing building on the site. Service areas and trash containers should be screened from view using fences, lattice screens or hedges.

No accessory buildings are proposed by this request.

2.7 Decks should be as unobtrusive as possible. Railings should express a line and spacing similar to existing balustrades. The duplication of historic styles such as widow's walks should be encouraged only where this type of architecture was traditionally found.

The proposed porches on the front and rear façades of the residence will sit under the existing roof and will not extend outside the basic footprint of the structure. The railings are a simple pattern with no extra decorative feature.

2.8 Paving materials and patterns should respect traditional patterns on the block.

The paved areas will be in character for the block.

2.9 Landscaping should respect traditional planting patterns and maintain the alignment, spacing, and type where possible.

Landscaping is not regulated by the Land Development Code for residential structures, and no new landscaping is proposed by this request.

3.0 Additions to Existing Buildings

There are no additions proposed for the subject property.

4.0 New Construction

4.1 Contemporary styles should be harmonious in form, material, and scale with the character of the block or district.

The style and materials of the proposed residence are similar to other buildings found on the block. Other properties use horizontal siding and a mix of metal hip and gable roofs similar to the proposed structure.

4.2 Align the façade of the building with the historic setbacks of the block or district.

The front façade of the new building will maintain the alignment of the previous structure.

4.3 New buildings should appear similar in mass and scale with historic structures in the block or surrounding area.

The proposed structure will be two stories tall which matches the some of the other residences on the block.

4.4 Building and roof forms should match those used historically.

A number of the roofs on First Street are either hip or gable in design. Therefore, the proposed design matches most of the block in roof type.

4.5 Use similar building materials to those used historically for all major surfaces.

The proposed upper floor will be a wood frame construction. The siding will be Hardie-plank and the roof will be metal, either standing seam or 5V crimped. Hardie-plank has become a customary material for historic structures and the other materials are also found on First Street.

4.6 Use window sizes and proportions similar to those used historically. To create larger surfaces of glass, consider combining several standard windows in a row.

The proposed windows and doors for the residence are similar to those found throughout the block in that they are arranged in a traditional layout of discrete, separated windows. There are no unusual window types or excessively large, glazed areas.

5.0 Relocating Buildings in a Historic District

No buildings are proposed for relocation in this project.

Conclusion

Staff finds the proposed residence is consistent with the Design Guidelines of the Matlacha Historic District and Lee County Land Development Code Chapter 22.

List of Attachments

Location Map

Aerial Photo

Applicant Packet:

Narrative Statement

Materials List

Site Plan

Elevations

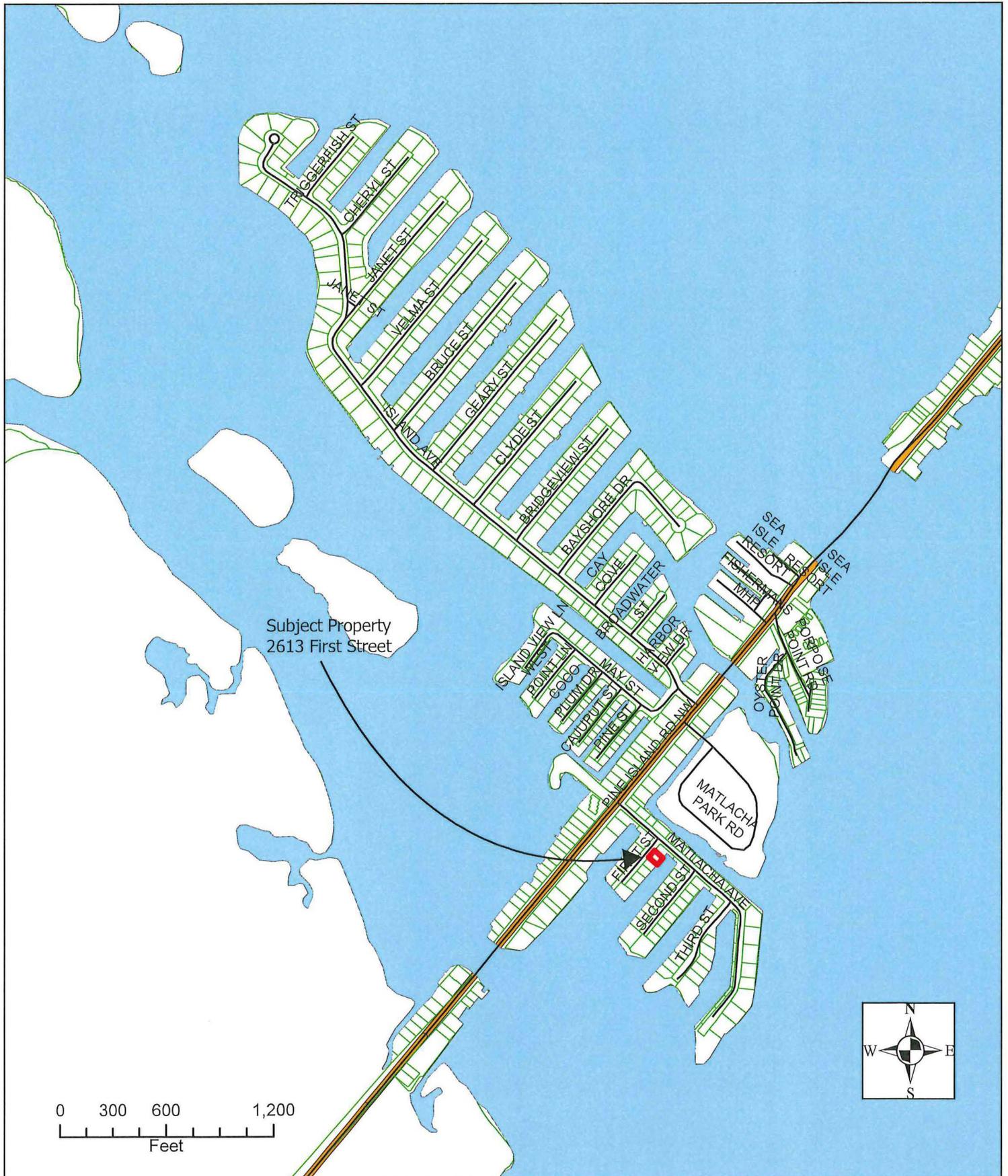
Floor Plans

Photographs

SCA2025-00016 Andresen Residence 2613 First Street



SCA2025-00016, Andresen Residence 2613 First Street



NARRATIVE STATEMENT

WE ARE REQUESTING THAT WE ARE GRANTED PERMISSION TO BUILD THE HOUSE UP TO MEET THE NEW CODES. WE WILL BE USING THE ORIGINAL HOUSE AS THE STEM WALLS AND KEEPING WITH ARCHTECTURAL FORMAT OR THE ORIGINAL HOUSE ON THE SECOND FLOOR, WHICH WILL NOW BE THE LIVING QUARTERS.

RECEIVED
JUN 11 2025

COMMUNITY DEVELOPMENT

MATERIAL LIST FOR 2613 FIRST ST MATLACHA FL

ROOF- METAL

SIDING- JAMES HARDY SIDING

COLOR- CORAL COLOR THAT IT IS PRESENTLU

WOOD FRAMED

HURRICANE IMPACT WINDOW AND DOORS

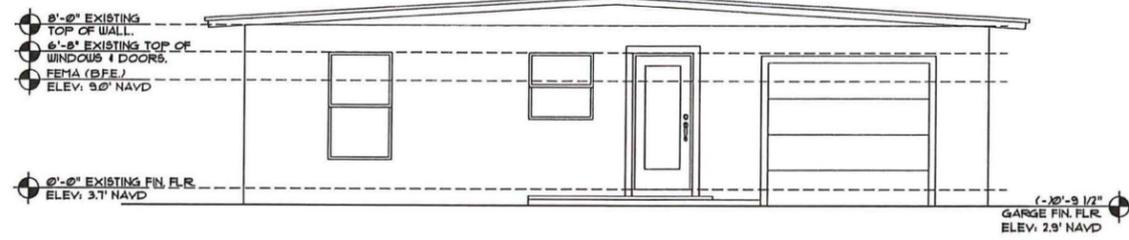
RECEIVED
JUN 11 2025

COMMUNITY DEVELOPMENT

RECEIVED

JUN 11 2025

COMMUNITY DEVELOPMENT



EXISTING FRONT ELEVATION

SCOPE OF WORK:
 DEMO PORTION OF EXISTING CMU WALLS PER PROPOSED DEMO PLAN. REMOVE ROOF, RAISE HOME PER PROPOSED PLANS AND ADD ADDITIONAL LIVING SPACE ABOVE THE BFE, PER THE PROPOSED PLANS.

FEMA BASE FLOOD:
 FEMA BASE FLOOD ELEVATION (B.F.E.) = 9.0' (N.A.V.D.)
 DESIGN FLOOD ELEVATION (D.F.E.) + 1' OF FREEBOARD = 10.0' (N.A.V.D.)

DESIGN PARAMETERS:

APPLICABLE CODES:

- FLORIDA BUILDING CODE, 8TH EDITION (2023) RESIDENTIAL
- FLORIDA BUILDING CODE, 8TH EDITION (2023) MECHANICAL
- FLORIDA BUILDING CODE, 8TH EDITION (2023) PLUMBING
- FLORIDA BUILDING CODE, 8TH EDITION (2023) ENERGY CONSERVATION
- FLORIDA BUILDING CODE, 8TH EDITION (2023) ACCESSIBILITY
- FLORIDA BUILDING CODE, 8TH EDITION (2023) EXISTING BUILDING
- FLORIDA FIRE PREVENTION CODE (2023), 8TH EDITION
- 2020 NATIONAL ELECTRICAL CODE
- NATIONAL FIRE PROTECTION CODE, NFPA 101 (LIFE SAFETY)
- NATIONAL FIRE PROTECTION CODE, NFPA 13 (FIRE SPRINKLERS)
- NATIONAL FIRE PROTECTION CODE, NFPA 12

BUILDING OCCUPANCY CLASSIFICATION:

- GROUP A - ASSEMBLY
- GROUP B - BUSINESS
- GROUP D - DAY CARE CENTER
- GROUP E - EDUCATIONAL
- GROUP F - FACTORY INDUSTRIAL
- GROUP H - HAZARDOUS
- GROUP I - INSTITUTIONAL
- GROUP M - MERCANTILE
- GROUP R - RESIDENTIAL
- GROUP S - STORAGE

BUILDING CONSTRUCTION TYPE:

- TYPE I-A
- TYPE I-B
- TYPE II-A
- TYPE II-B
- TYPE II-C
- TYPE II-D
- TYPE III-A
- TYPE III-B
- TYPE III-C
- TYPE III-D
- TYPE III-E
- TYPE III-F
- TYPE III-G
- TYPE III-H
- TYPE III-I
- TYPE III-J
- TYPE III-K
- TYPE III-L
- TYPE III-M
- TYPE III-N
- TYPE III-O
- TYPE III-P
- TYPE III-Q
- TYPE III-R
- TYPE III-S
- TYPE III-T
- TYPE III-U
- TYPE III-V
- TYPE III-W
- TYPE III-X
- TYPE III-Y
- TYPE III-Z
- TYPE V-B

CLASSIFICATION OF WORK:

- ALTERATION
- LEVEL 1
- LEVEL 2
- LEVEL 3
- CHANGE OF OCCUPANCY
- ADDITIONS
- HISTORIC BUILDINGS
- RELOCATED BUILDINGS

RISK CATEGORY:

I II III IV

WIND LOADS:
 WIND LOADS ARE BASED ON CH. 26 THRU 30 OF ASCE 7 (PER SEC. 1603.1.4 OF THE FBC, TORNADO LOADINGS IS NOT APPLICABLE FOR RISK CATEGORY I & II BUILDINGS OR OTHER STRUCTURES.)

WIND SPEED:

- 160 MPH-ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)
- 124 MPH-NOMINAL DESIGN WIND SPEED (FASTEST MILE)

SURFACE ROUGHNESS CATEGORY:

B C D

EXPOSURE CATEGORY:

B C D

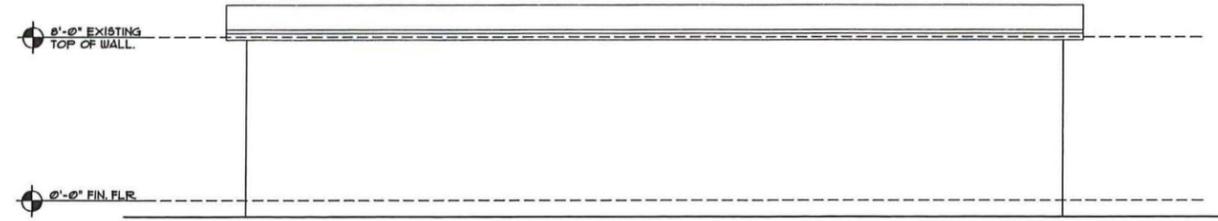
WINDBORNE DEBRIS REGION:

- NO
- YES

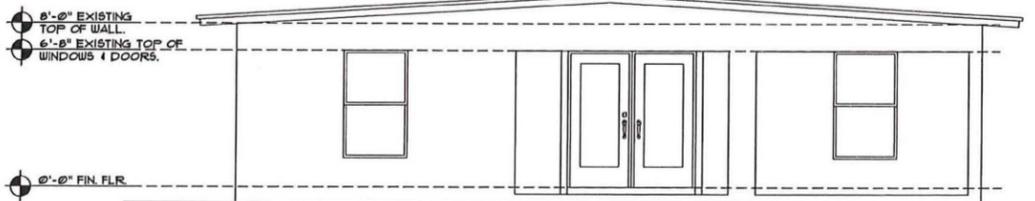
INTERNAL PRESSURE COEFFICIENTS:

- 0.00 (OPEN)
- +0.18, -0.18 (ENCLOSED)
- +0.55, -0.55 (PARTIALLY ENCLOSED)

GEOTECHNICAL INFO:
 (FOUNDATIONS ARE BASED ON A MINIMUM SOIL BEARING CAPACITY OF 2000 PSF)



EXISTING RIGHT-SIDE ELEVATION



EXISTING REAR ELEVATION

1103.2 ADDITIONAL GRAVITY LOADS:
 EXISTING STRUCTURAL ELEMENTS SUPPORTING ANY ADDITIONAL GRAVITY LOADS AS A RESULT OF ADDITIONS SHALL COMPLY WITH THE FLORIDA BUILDING CODE, BUILDING.

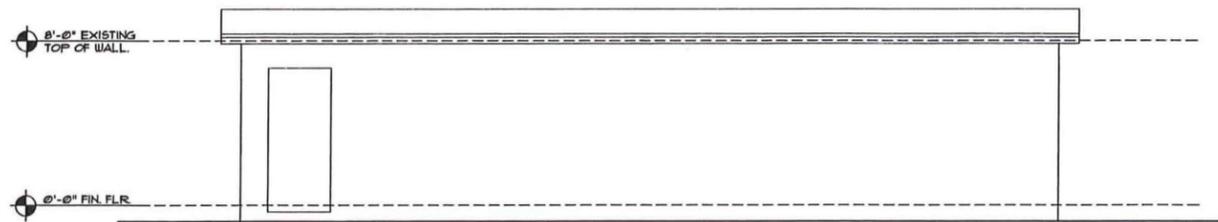
EXCEPTIONS:

- STRUCTURAL ELEMENTS WHOSE STRESS IS NOTE INCREASED BY MORE THAN 35%.

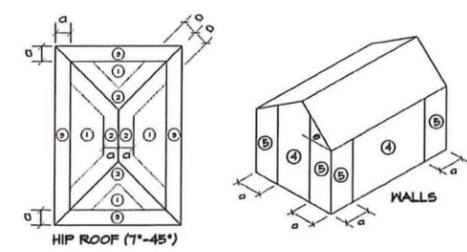
1103.3 LATERAL FORCE-RESISTING SYSTEM:
 THE LATERAL FORCE-RESISTING SYSTEM OF EXISTING BUILDINGS TO WHICH ADDITIONS ARE MADE SHALL COMPLY WITH SECTIONS 1103.3.1, 1103.3.2, AND 1103.3.

EXCEPTIONS:

- ANY EXISTING LATERAL LOAD CARRYING STRUCTURAL ELEMENT WHOSE DEMAND-CAPACITY RATIO WITH THE ADDITION CONSIDERED IS NOT MORE THAN 10 PERCENT GREATER THAN ITS DEMAND-CAPACITY RATIO WITH THE ADDITION IGNORED SHALL BE PERMITTED TO REMAIN UNALTERED. FOR PROPOSES OF THE EXCEPTION, COMPARISONS OF DEMAND-CAPACITY RATIOS AND CALCULATION OF DESIGN LATERAL LOADS, FORCES AND CAPACITIES SHALL ACCOUNT FOR THE CUMULATIVE EFFECTED OF ADDITIONS AND ALTERATIONS SINCE ORIGINAL CONSTRUCTION. FOR PROPOSES OF CALCULATING DEMAND-CAPACITY RATIOS, THE DEMAND SHALL CONSIDER APPLICABLE LOAD COMBINATIONS INVOLVING FULL SEISMIC FORCES.



EXISTING LEFT-SIDE ELEVATION



G = 4' IN ALL CASES

2023 FBC (8TH EDITION) COMPONENTS & CLADDING TABLES

HIP ROOF			
ROOF SLOPE	ZONE	POSITIVE (P)	NEGATIVE (N)
7° - 20°	1	+17.0	-40.4
	2	+17.0	-54.5
	3	+17.0	-50.6
20° - 27°	1	+17.0	-32.6
	2	+17.0	-44.0
	3	+17.0	-44.0
27° - 45°	1	+17.0	-39.7
	2	+17.0	-39.5
	3	+17.0	-50.5
WALL	4	+26.4	-28.7
	5	+26.4	-34.5

APPROVED
 CA NO. 6843
 CA NO. 2805
 RESIDENTIAL & COMMERCIAL
 ENGINEERING & DESIGN SERVICES
DLIS
 LIS ENGINEERING, LLC
 3075 Windward Lakes Blvd., Suite 10205
 Coral Gables, FL 33134
 Phone: 305-444-4444
 Fax: 305-444-4444
 www.dlis.com
 www.lis-engineering.com

ANDRESEN RESIDENCE
 2613 FIRST ST., MATLACHA, FL 33993
 EXISTING EXTERIOR ELEVATIONS

SCALE:
 1/4" = 1'-0"
 DATE:
 MAY 9, 2025
 SHEET
A1

AMPRES-01

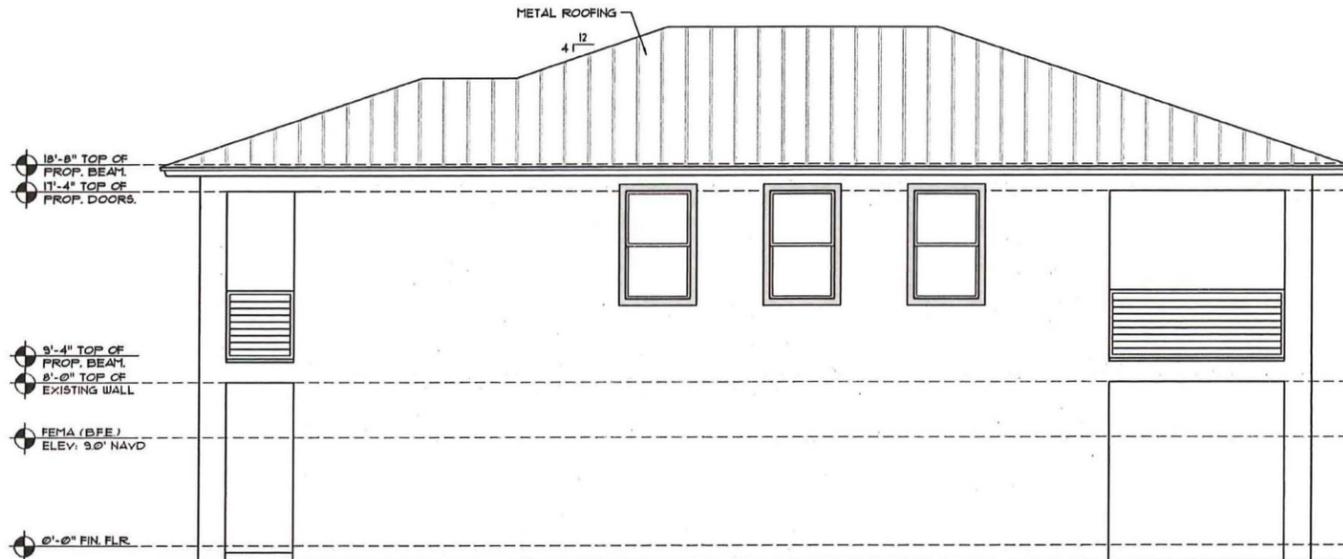
RECEIVED
JUN 11 2025

COMMUNITY DEVELOPMENT

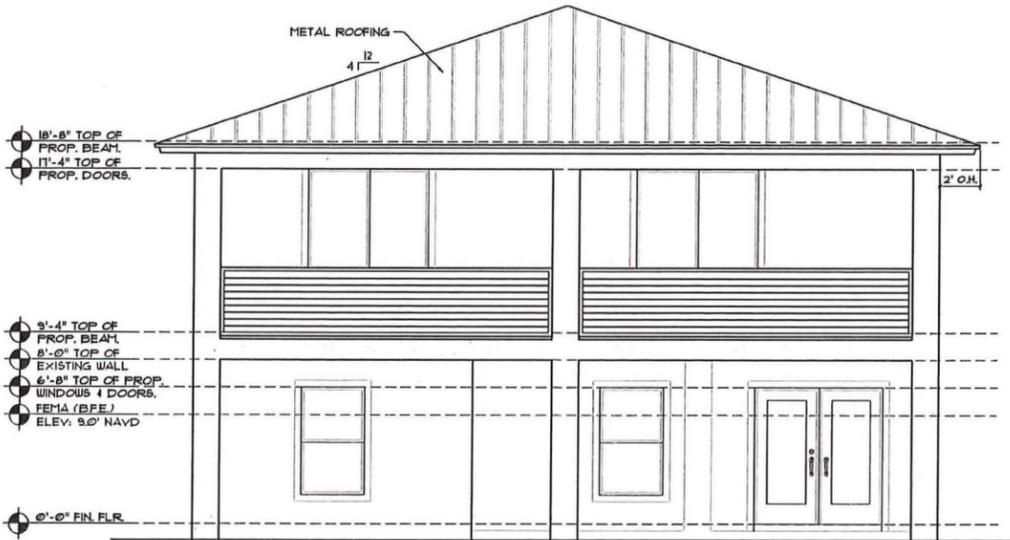
R322.3 COSTAL A NOTES:
 AREAS THAT HAVE BEEN DETERMINED TO BE SUBJECT TO WAVE HEIGHTS IN EXCESS OF 3 FEET (914 MM) OR SUBJECT TO HIGH-VELOCITY WAVE ACTION OR WAVE-INDUCED EROSION SHALL BE DESIGNATED AS COASTAL HIGH-HAZARD AREAS. FLOOD HAZARD AREAS THAT HAVE BEEN DESIGNATED AS SUBJECT TO WAVE HEIGHTS BETWEEN 1 1/2 FEET (457 MM) AND 3 FEET (914 MM) OR OTHERWISE DESIGNATED BY THE JURISDICTION SHALL BE DESIGNATED AS COASTAL A ZONES. BUILDINGS AND STRUCTURES CONSTRUCTED IN WHOLE OR IN PART IN COASTAL HIGH-HAZARD AREAS AND COASTAL A ZONES, WHERE DESIGNATED, SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTIONS R322.3.1 THROUGH R322.3.10.



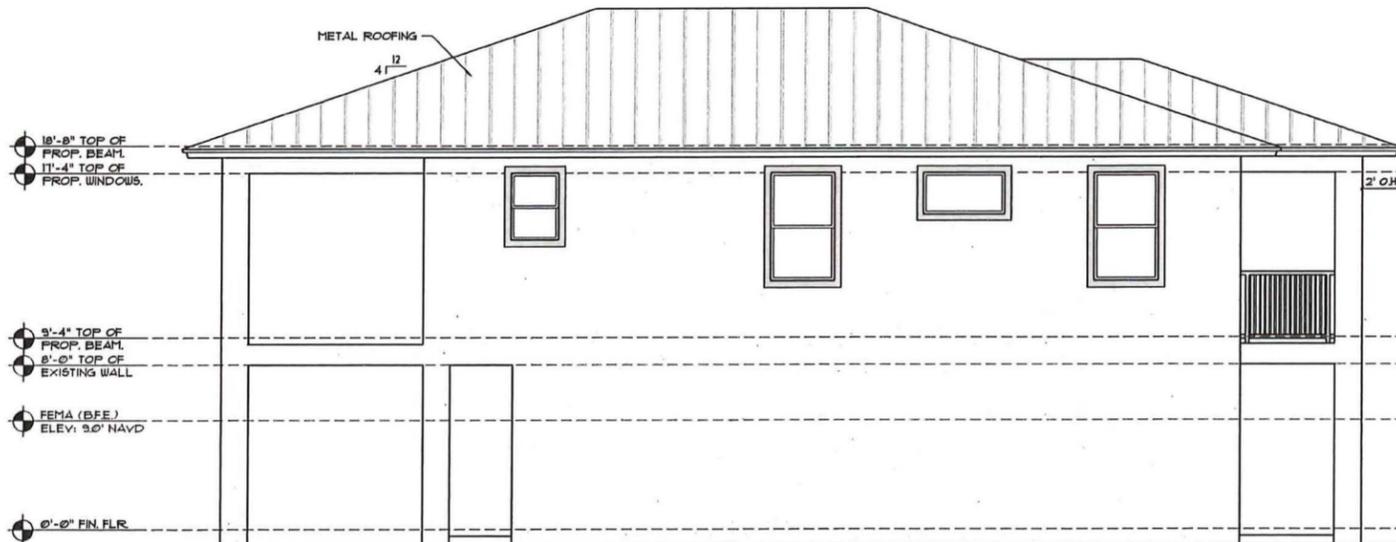
PROPOSED FRONT ELEVATION



PROPOSED RIGHT-SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT-SIDE ELEVATION

APPROVED

CA NO. 6853
 CA NO. 2505

RESIDENTIAL & COMMERCIAL
 ENGINEERING & DESIGN SERVICES

DLIS
 LIS ENGINEERING, LLC

2613 FIRST ST., MATLACHA, FL 33993

PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

DATE: MAY 9, 2025

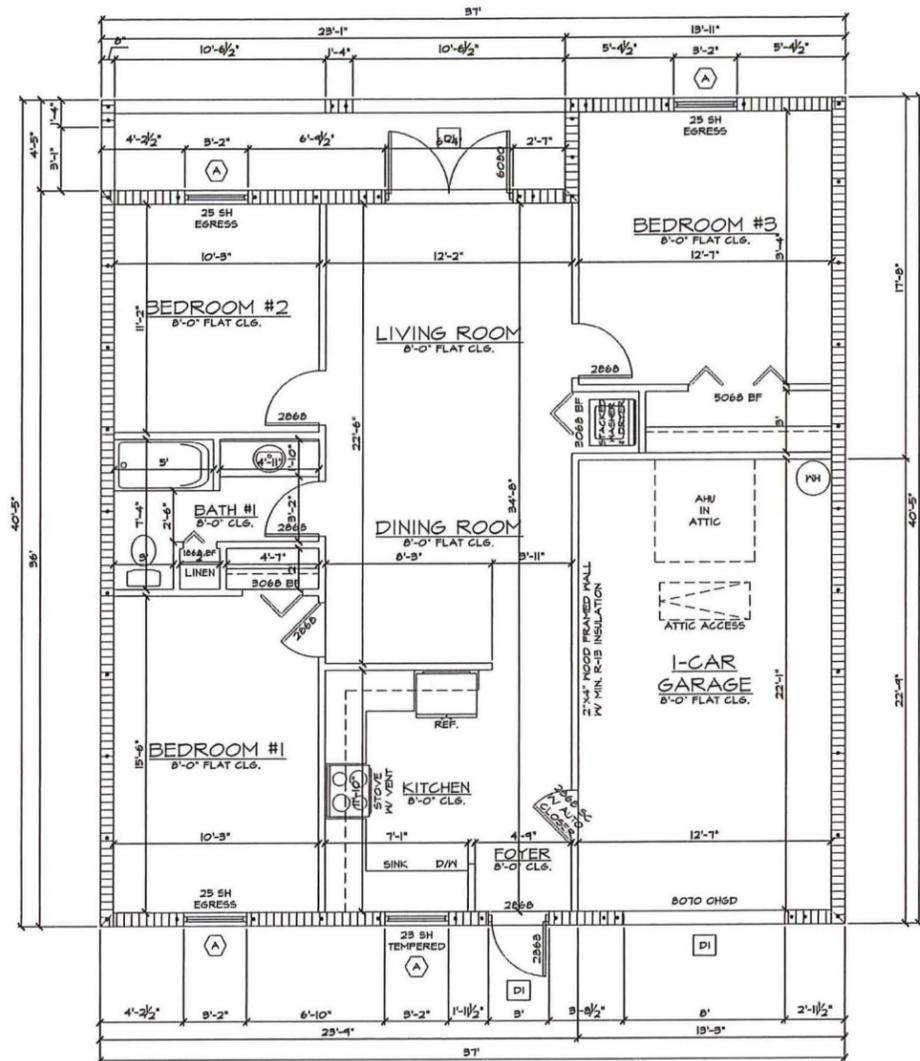
SHEET

A2

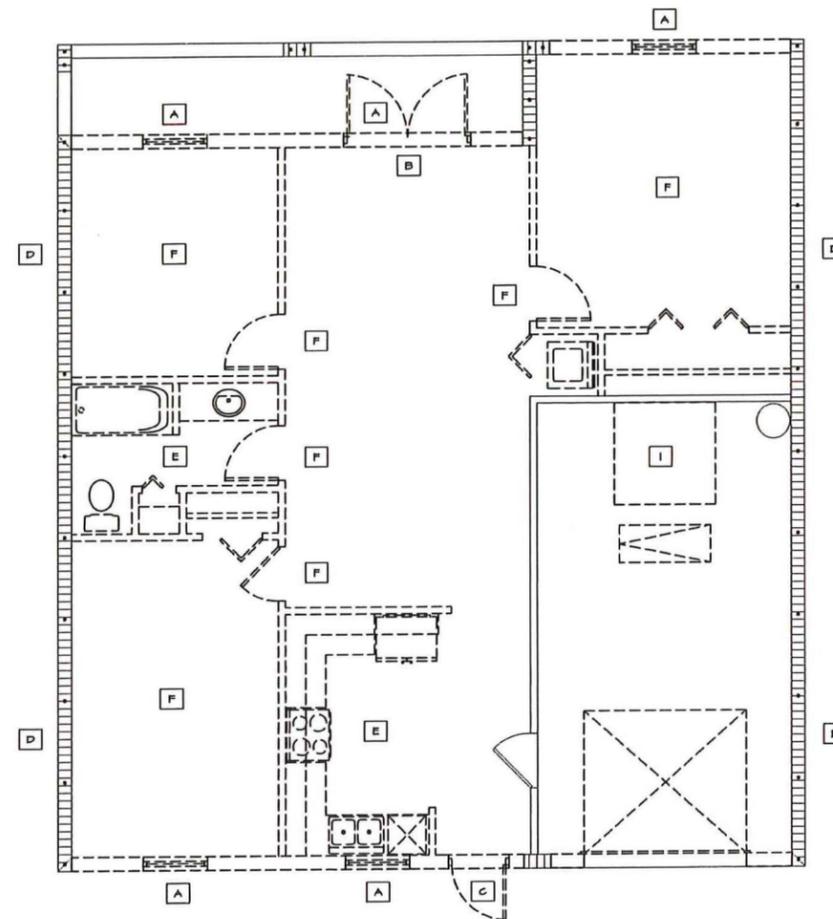
AMPR25-01

RECEIVED
JUN 11 2025

COMMUNITY DEVELOPMENT



EXISTING GROUND FLOOR
DIMENSION AND NOTED PLAN



DEMOLITION PLAN

- DEMOLITION NOTES:**
- A. REMOVE PORTION OF EXISTING C.M.U. WALL. REPLACE WITH BREAKAWAY WD. FRAMED WALLS. INSTALL NEW WINDOWS AND DOORS PER PROPOSED PLANS.
 - B. REMOVE FRENCH DOOR.
 - C. REMOVE AND REPLACE ENTRY DOOR.
 - D. PROVIDE CUT OUT ON EXISTING CMU WALL FOR PROPOSED HYDROSTATIC VENTING.
 - E. REMOVE EXISTING FIXTURES, CABINETS, PLUMBING, AND ELECTRICAL.
 - F. REMOVE EXISTING INTERIOR WALLS, AND DOORS.
 - G. REMOVE EXISTING ROOF.
 - H. FRANGIBLE SLAB SAW CUT 4'X4' (MAX).
 - I. REMOVE AND REPLACE AHU.

WALL LEGEND

=====	INTERIOR BEARING WALL
-----	INTERIOR FRAMED WALL
	EXTERIOR CMU WALL

MASON CONTRACTOR:
THE MASON CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MASONRY OPENINGS WITH PROPER MANUF. SPECIFICATIONS PRIOR TO CONSTRUCTION.

APPROVED

RESIDENTIAL & COMMERCIAL
ENGINEERING & DESIGN SERVICES

DLIS
LIS ENGINEERING, LLC

2613 FIRST ST., MATLACHA, FL 33993

GROUND FLOOR DIMENSION & NOTED FLOOR PLANS / DEMO PLAN

SCALE: 1/4" = 1'-0"

DATE: MAY 9, 2025

SHEET

A3

HYDROSTATIC VENTING CALCULATIONS

HYDROSTATIC VENTING REQUIREMENT
 (1) SQ.FT. AREA = (1) SQ.IN. VENTING
 TOTAL VENTING REQUIRED = 1394 SQ.IN.
 TOTAL VENTING PROVIDED = 2000 SQ.IN.

GARAGE

(1) 8"x16" SMART VENT = 200 SQ.IN.
 (2) 8"x16" LOUVERED HYDROSTATIC
 TOTAL VENTING REQUIRED = 302 SQ.IN.
 TOTAL VENTING PROVIDED = 400 SQ.IN.
 SMART VENT 8"x16", FL#50222 (CHU WALL)
 SMART VENT FOR USE IN WD. WALL: FL#50226

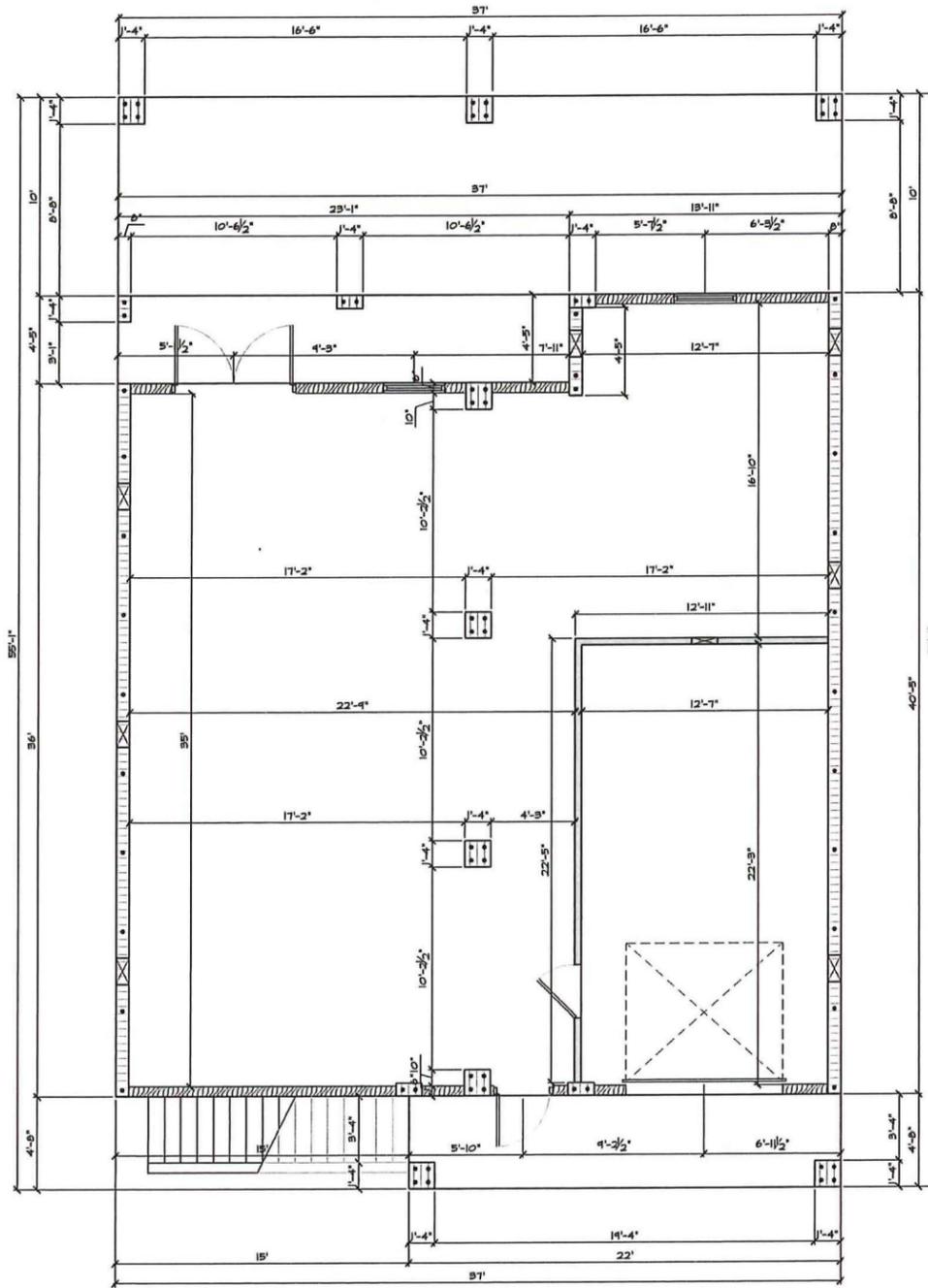
STORAGE

(1) 8"x16" SMART VENT = 200 SQ.IN.
 (6) 8"x16" LOUVERED HYDROSTATIC
 TOTAL VENTING REQUIRED = 1092 SQ.IN.
 TOTAL VENTING PROVIDED = 1200 SQ.IN.
 SMART VENT 8"x16", FL#50222 (CHU WALL)

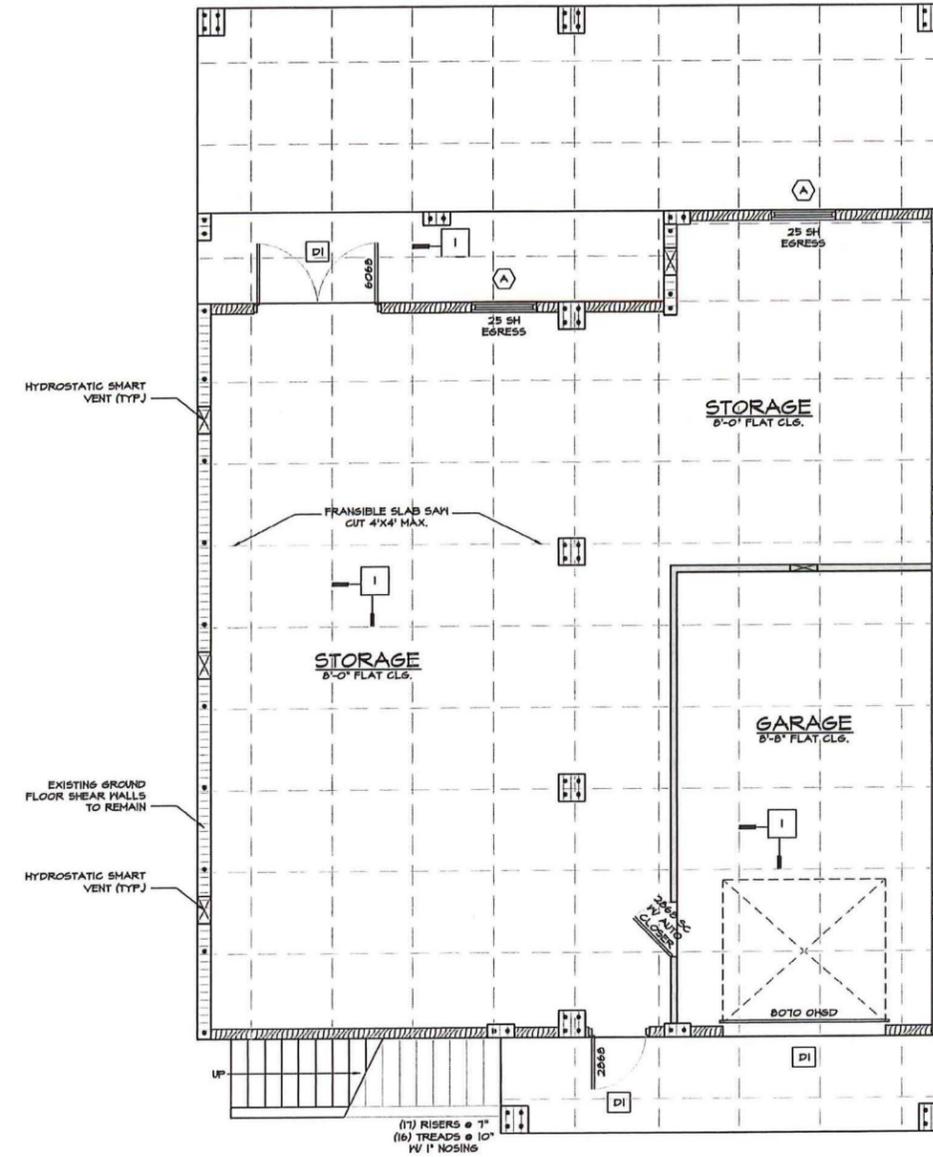
NOTE:

VENTING PROVIDED IN GARAGE WALLS &
 WD. WALLS BOTTOM OF VENT OPENINGS
 TO BE 8" ABOVE GARAGE FINISHED
 FLOOR.

SMART VENTS PRODUCTS, INC.
 SMART VENT 8"x16", FL#50222 (CHU WALL)
 (200 SF VENTING PROVIDED)
 SMART VENT FOR USE IN WD. WALL: FL#50226
 (200 SF VENTING PROVIDED)



GROUND FLOOR DIMENSION PLAN



GROUND FLOOR NOTED FLOOR PLAN
 (SEE SHEET A6 FOR WINDOW/DOOR SCHEDULE)

NOTE:
 SAWCUT PROP. SLAB NO MORE THAT
 4'X4' GRID PATTERN

NOTE:
 ALL CELLS FILLED SOLID ON GROUND
 FLOOR.

WALL LEGEND

	HD. FRAMED BREAK AWAY WALL
	INTERIOR BEARING WALL
	INTERIOR FRAMED WALL
	EXTERIOR CHU WALL

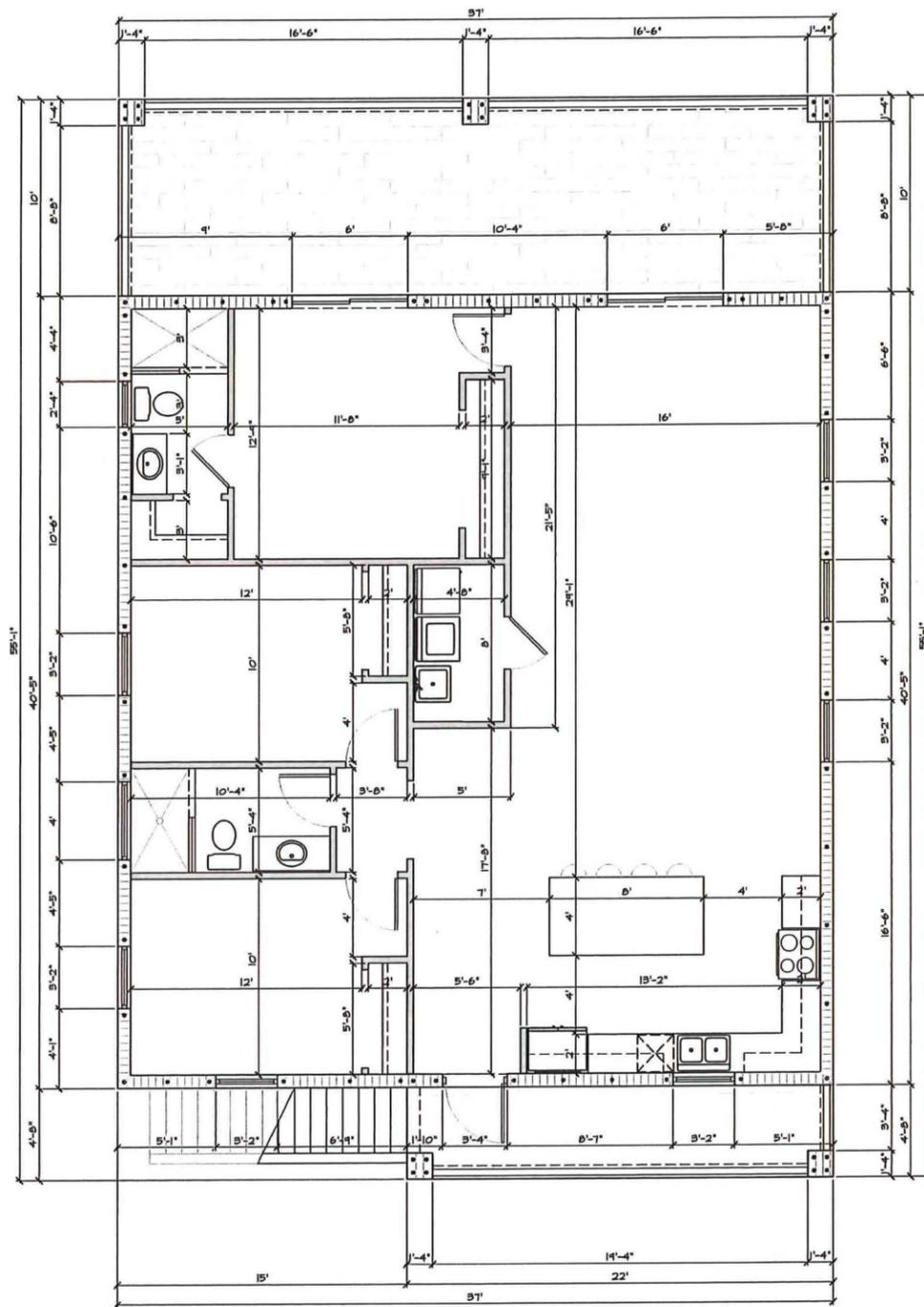
MASON CONTRACTOR:
 THE MASON CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MASONRY OPENINGS WITH PROPER MANUF. SPECIFICATIONS PRIOR TO CONSTRUCTION.

RECEIVED
 JUN 11 2025
 COMMUNITY DEVELOPMENT

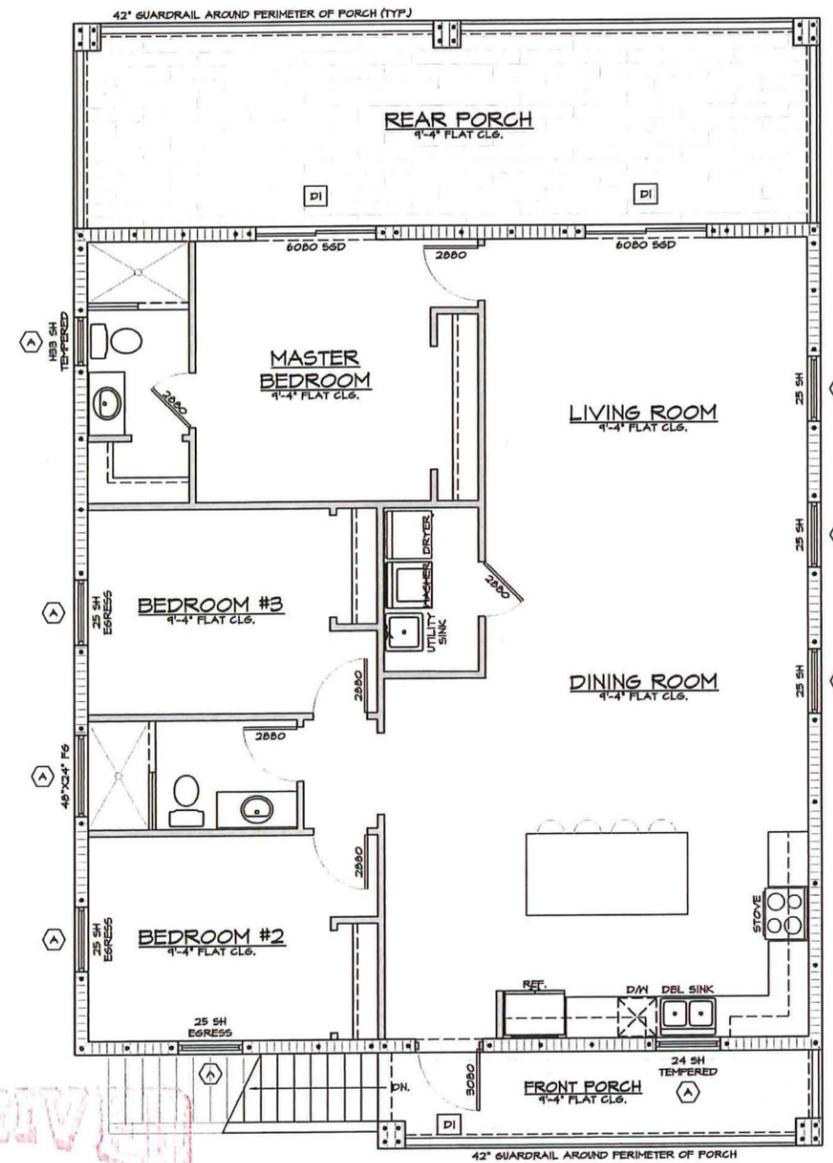
DATE: _____
 REVISION: _____
 NO. _____
 APPROVED: _____
 ROBERT W. CASE
 FLORIDA P.E. #44643
 CASE ENGINEERING, LLC
 11500 W. 11th Ave., Suite 200
 Miami, FL 33156
 CA REG. #P000854
 FL REG. #15000000
 RESIDENTIAL & COMMERCIAL
 ENGINEERING & DESIGN SERVICES
 11500 W. 11th Ave., Suite 200
 Miami, FL 33156
 PH: 305-555-1111
 FAX: 305-555-1112
 WWW.CASEENGINEERING.COM

ANDRESEN RESIDENCE
 2613 FIRST ST., MATLACHA, FL 33993
 GROUND FLOOR DIMENSION & NOTED FLOOR PLANS

SCALE: 1/4" = 1'-0"
 DATE: MAY 9, 2025
 SHEET
A4



FIRST FLOOR DIMENSION PLAN



FIRST FLOOR NOTED FLOOR PLAN
(SEE SHEET A6 FOR WINDOW/DOOR SCHEDULE)

WALL LEGEND

	INTERIOR BEARING WALL
	INTERIOR FRAMED WALL
	EXTERIOR CMU WALL

MASON CONTRACTOR:
THE MASON CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MASONRY OPENINGS WITH PROPER MANUF. SPECIFICATIONS PRIOR TO CONSTRUCTION.

EXISTING AREA TABULATIONS

EXISTING LIVING AREA	1,415
EXISTING REAR LANAI	102
EXISTING GARAGE	301
EXISTING TOTAL UNDER ROOF	1,818 SQFT
EXISTING TOTAL UNDER AIR	1,415 SQFT.

PROP. AREA TABULATIONS

PROP. 1ST FL. LIVING AREA	1,415
PROP. 1ST FL. FRONT PORCH	132
PROP. 1ST FL. REAR PORCH	970
PROP. GROUND FL. REAR LANAI	102
EXISTING GARAGE	301
PROP. STORAGE	1,415
PROP. TOTAL UNDER ROOF	3,525 SQFT
PROP. TOTAL UNDER AIR	1,415 SQFT.

RECEIVED
JUN 11 2025
COMMUNITY DEVELOPMENT

APPROVED

ROBERT W. CASE
FLORIDA P.E. #44643
1505 DUNE PALM BLVD.

CA NO.: RFD00584
FL NO.: 8853
FL CH. NO.: 2895

DLIS
RESIDENTIAL & COMMERCIAL
ENGINEERING & DESIGN SERVICES
LLC
1111 W. 11th St., Suite 100
Tallahassee, FL 32304
Phone: 904.224.1111
Fax: 904.224.1112
www.dlis.com

ANDRESEN RESIDENCE
2613 FIRST ST., MATLACHA, FL 33993

FIRST FLOOR DIMENSION & NOTED FLOOR PLANS

SCALE: 1/4" = 1'-0"

DATE: MAY 9, 2025

SHEET

A5

AMF025-01

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
 2613 FIRST STREET

FOR INSURANCE COMPANY USE

Policy Number: _____

City: MATLACHA State: FL ZIP Code: 33993

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

RECEIVED
 JUN 11 2025
 COMMUNITY DEVELOPMENT



Photo One Caption: **FRONT**

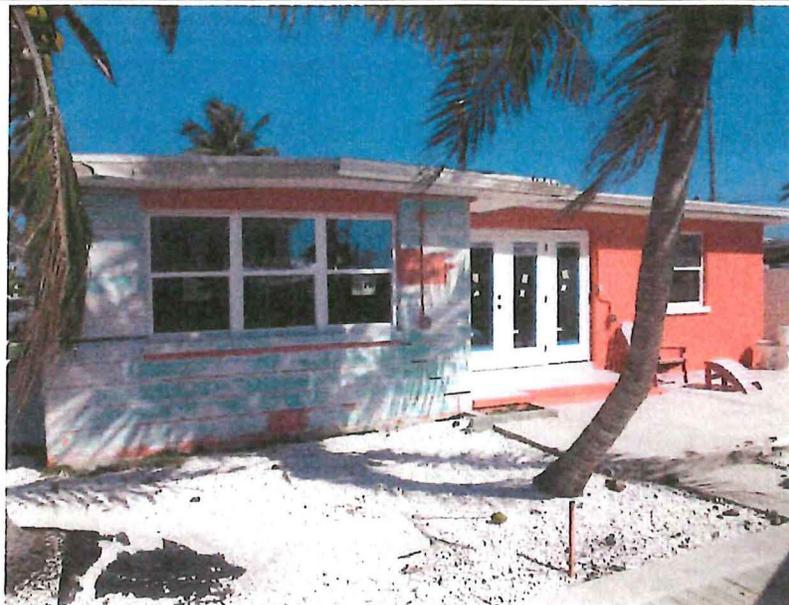


Photo Two Caption: **REAR**

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
2613 FIRST STREET

FOR INSURANCE COMPANY USE

City: MATLACHA State: FL ZIP Code: 33993

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

RECEIVED
JUN 11 2025
COMMUNITY DEVELOPMENT



PHOTO THREE

Photo Three Caption: **RIGHT SIDE**



Photo Four Caption: **LEFT SIDE**