

Administrative Deviation: ADD2025-00062

**DSO ADMINISTRATIVE DEVIATION
LEE COUNTY, FLORIDA**

WHEREAS, Ed Blot, has filed an application for approval of an administrative deviation from the technical requirements of the Lee County Land Development Code, for property located at 712 Leeland Heights Blvd W, Lehigh Acres, FL; and

WHEREAS, the applicant has indicated the property's current STRAP number is 32-44-27-02-00013.0030; and

WHEREAS, the subject property is zoned CS-1 (Special Commercial Office) and is located in the Central Urban Future Land Use Category as designated by the Lee Plan; and

WHEREAS, an application for an administrative deviation from the technical requirements of Chapter 10 of the Lee County Land Development Code has been filed; and

WHEREAS, the subject property is located in the Lehigh Acres Planning Community and pursuant to Lee County Land Development Code Section 33-1403, if an applicant desires to deviate from any architectural, site design or landscaping guidelines in this article, an applicant may do so at the time of development order in accordance with Section 10-104(b); and

WHEREAS, the applicant has requested an administrative deviation from Lee County Land Development Code Section 33-1405(c)(3) which requires a 25ft landscape buffer along the south to allow for a 15ft Type "C" landscape buffer with 8ft high wall along with required trees and shrubs on the residential side of the wall; and

WHEREAS, the applicant has requested an administrative deviation from Lee County Land Development Code Section 33-1405(c)(3) which requires a 25ft landscape buffer along the west to allow for a 10ft Type "C" landscape buffer with 8ft high wall along with required trees and shrubs on the residential side of the wall; and

WHEREAS, the reduced buffer depth will allow for additional site area space needed to provide required parking; and

WHEREAS, the buffer wall and landscaping are more aesthetically pleasing for the residential uses to the south; and

WHEREAS, the applicant has requested an administrative deviation from Lee County Land Development Code Section 10-261(b) which requires a 12ft wide unobstructed access opening for solid waste/refuse disposal enclosures to allow for a 10ft wide opening; and

WHEREAS, the required 15ft north ROW buffer and the required 24ft cross access easement has limited the northern portion of the property; and

WHEREAS, there is not sufficient space for a 12ft wide enclosure easement, however, a 10ft by 10ft enclosure is proposed which will provide 100 square feet of enclosure area which meets the minimum square footage requirements in Lee County Land Development Code Section 10-261(a); and

WHEREAS, the request has been revised by Solid Waste staff, and they have no objection;
and

WHEREAS, the following findings of fact are offered in accordance with the requirements in Land Development Code Section 10-104(b):

- (a) The proposed alternative is based on sound engineering practice in consideration of the following criteria:
 - i. The reduced buffer width and dumpster size will allow adequate space for safe maneuvering of vehicles and pedestrians onsite.
- (b) The proposed alternative is no less consistent with the health, safety, and welfare of abutting landowners and the general public than the standard from which the deviation was requested.
- (c) The granting of the deviation is not inconsistent with any specific directive of the Board of County Commissioners, any other ordinance, or any Lee Plan Provision.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative deviations in the CS-1 zoning district from Lee County Land Development Code Sections 33-1405(c)(3) and 10-261(b) is **APPROVED** subject to the following conditions:

- 1. Approval is subject to substantial compliance with the site plan entitled “Simily Commercial Center”, signed and sealed May 20, 2025, by Edward Blot, P.E. and attached hereto as Exhibit “B”.
- 2. Approval is subject to substantial compliance with the Landscape Plans entitled “Simily Commercial Center”, signed and sealed May 20, 2025, by Robert E. Marini and attached hereto as Exhibit “C”.
- 3. If it is determined that inaccurate or misleading information was provided to the County or if this decision does not comply with the LDC when rendered, then, at any time, the Zoning Manager may issue a modified decision that complies with the Code or revoke the decision. If the approval is revoked, the applicant may acquire the necessary approvals by filing an application for public hearing in accordance with Chapter 34.

Electronically signed:
Brian Roberts, Manager, Development Services
Lee County Community Development

EXHIBITS

EXHIBIT A: LEGAL DESCRIPTION

EXHIBIT B: SITE PLAN ENTITLED “SIMILY COMMERCIAL CENTER”, SIGNED AND SEALED MAY 20, 2025, BY EDWARD BLOT, P.E.

EXHIBIT C: LANDSCAPE PLANS ENTITLED “SIMILY COMMERCIAL CENTER”, SIGNED AND SEALED MAY 20, 2025, BY ROBERT E. MARINI



GEOMETRIC SURVEYING INC.

2804 DEL PRADO BLVD S, SUITE 205
CAPE CORAL, FL 33904
ASSISTANCE@GEOMETRICSURVEYING.COM
(239)-540-6257
(239)-471-2237



712 LEELAND HEIGHTS BLVD W LEHIGH ACRES FL 33936

SKETCH AND LEGAL DESCRIPTION
THIS IS NOT A SURVEY

LEGAL DESCRIPTION:

LOT 3, BLOCK 13, UNIT NO.2 LEELAND HEIGHTS, SECTION 32, TOWNSHIP 44 SOUTH, RANGE 27 EAST, LEHIGH ACRES, FLORIDA, ACCORDING TO THE MAP OR PLAT ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, RECORDED IN PLAT BOOK 9, PAGE 125, PUBLIC RECORDS OF LEE COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS;

COMMENCING AT THE NW CORNER OF BLOCK 13, THENCE RUN EAST ALONG THE SOUTH RIGHT OF WAY LINE OF LEELAND HEIGHTS BLVD W FOR 320.16 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE EAST ALONG SAID RIGHT OF WAY LINE FOR 160.00 FT, THENCE RUN S00°00'00"E FOR 125.00 FT, THENCE RUN N90°00'00"W FOR 160.00 FT, THENCE RUN N00°00'00E FOR 125.00 FT TO THE POINT OF BEGINNING.

CONTAINING: 20,000 SQ.FT..

Miguel
J Garay

Digitally signed by Miguel J Garay
DN: c=US, o=GEOMETRIC SURVEYING INC, dnQualifier=A01410D00000192E38705AB00093256, cn=Miguel J Garay
Date: 2025.02.07 11:57:17 -05'00'

SURVEYOR'S CERTIFICATION:

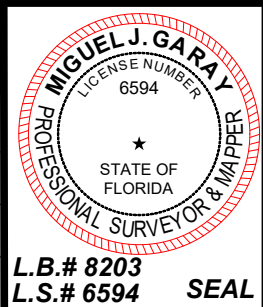
I HEREBY CERTIFY: THAT THE SKETCH OF THIS SPECIFIC SURVEY WAS PREPARED UNDER MY SUPERVISION AND THAT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050-52 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472 OF THE FLORIDA STATUTES AND THAT THE SKETCH THEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:  02/07/2025
MIGUEL J. GARAY (DATE)

PROFESSIONAL LAND SURVEYOR AND MAPPER LS#6594
STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)

CERTIFICATION:
ALAMA INVESTMENTS, LLC

DRAWN BY:	EMV
DATE:	02/07/2025
SURVEY NO:	21-02516
SHEET:	1 OF 2





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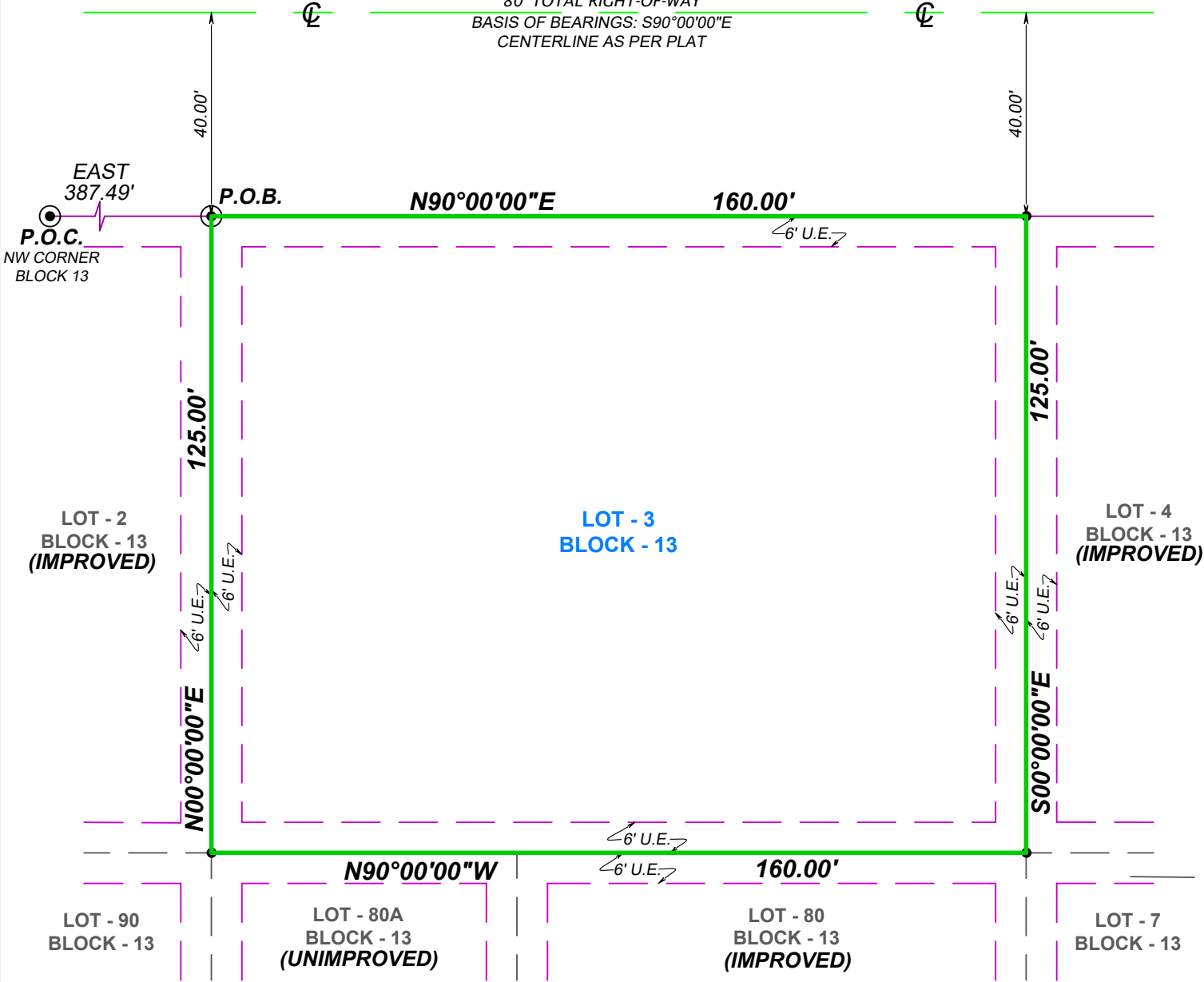


712 LEELAND HEIGHTS BLVD W LEHIGH ACRES FL 33936

SKETCH AND LEGAL DESCRIPTION
THIS IS NOT A SURVEY

LEELAND HGTS BLVD W

80' TOTAL RIGHT-OF-WAY
BASIS OF BEARINGS: S90°00'00"E
CENTERLINE AS PER PLAT



ABBREVIATIONS:
CL = CENTER LINE
U.E. = UTILITY EASEMENT
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY: THAT THE SKETCH OF THIS SPECIFIC SURVEY WAS PREPARED UNDER MY SUPERVISION AND THAT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050-52 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472 OF THE FLORIDA STATUTES AND THAT THE SKETCH THEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:  02/07/2025
MIGUEL J. GARAY (DATE)

PROFESSIONAL LAND SURVEYOR AND MAPPER LS#6594
STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)

- SURVEYOR'S NOTES:
- THIS SKETCH IS BASED ON INFORMATION FURNISHED BY CLIENT OR CLIENTS REPRESENTATIVE.
 - THIS SKETCH IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - BEARINGS SHOWN HEREON ARE BASED ON PLAT

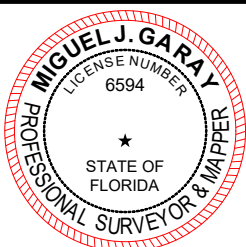
GRAPHIC SCALE



1 INCH = 30 FEET

CERTIFICATION:
ALAMA INVESTMENTS, LLC

DRAWN BY:	EMV
FIELD DATE:	02/07/2025
SURVEY NO:	21-02516
SHEET:	2 OF 2



L.B.# 8203
L.S.# 6594 SEAL

EXHIBIT b

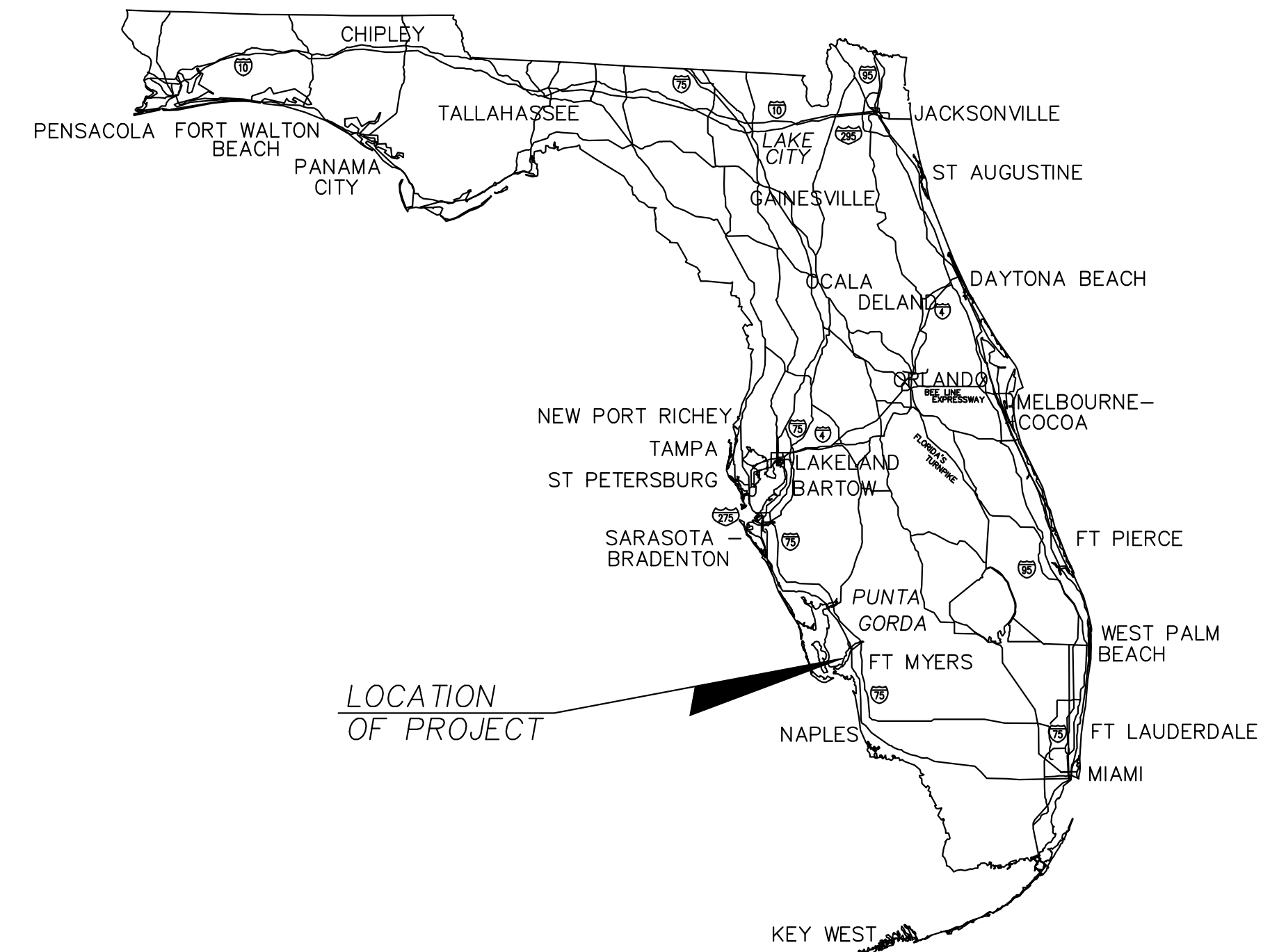
EXHIBIT B

INDEX OF PLANS

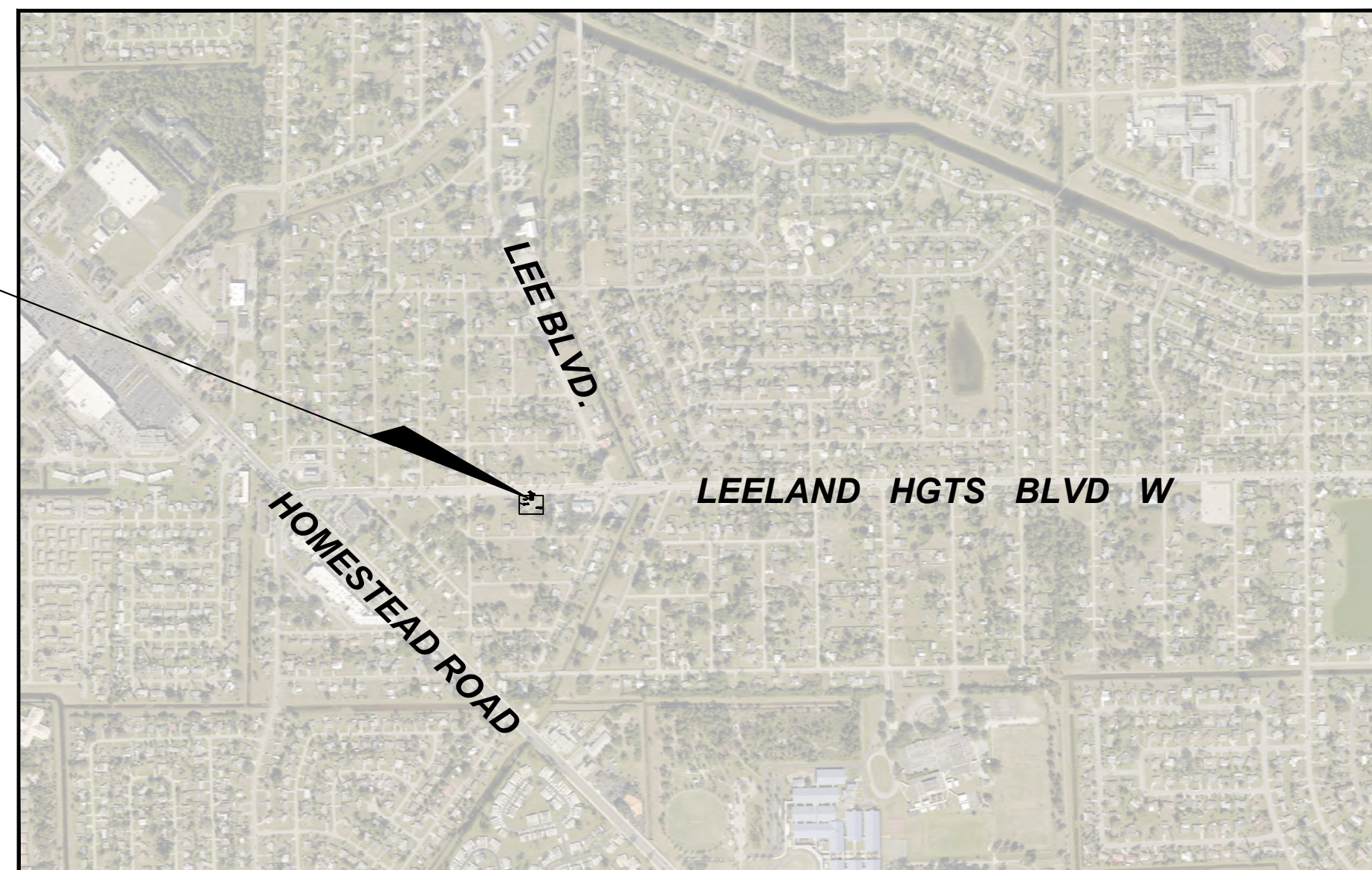
SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	AERIAL
3	GENERAL NOTES
4	SITE PLAN
5	DRAINAGE PLAN
6	UTILITY PLAN
7 & 8	PAVING & DRAINAGE DETAILS
9 & 10	UTILITY DETAILS
11	PACKAGE LIFT STATION
12	EROSION & SEDIMENTATION CONTROL PLAN
13	EROSION & SEDIMENTATION CONTROL DETAILS
14-19	ADS STORMTECT CHAMBER SYSTEM (SHEET 1 TO 6)

LEE COUNTY
SITE DEVELOPMENT PLAN
SIMILY COMMERCIAL CENTER

712 LEELAND HGTS. BLVD.
LEE COUNTY, FLORIDA
STRAP No. 32-44-27-02-00013.0030
TOWNSHIP 44, RANGE 27E, SECTION 32

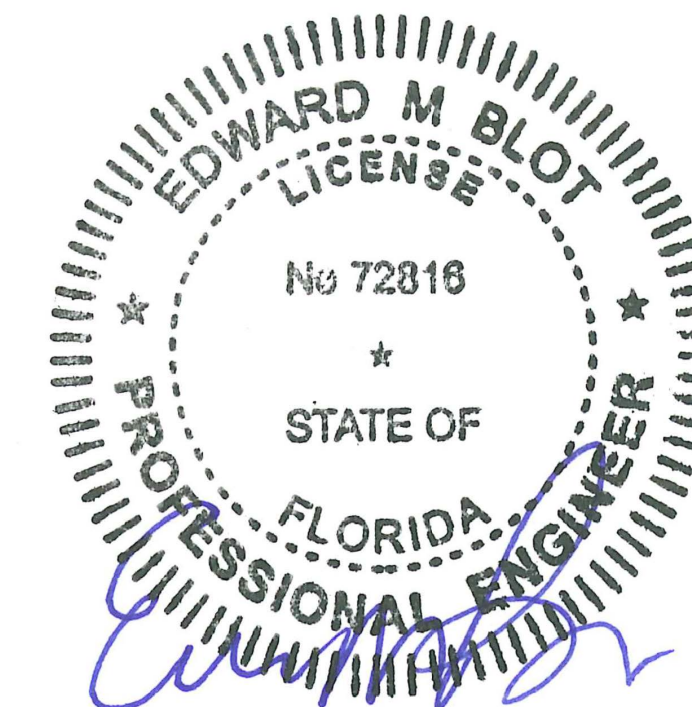


Project Location
712 LEELAND HGTS BLVD



UTILITY COMPANIES SERVING THE PROJECT

SERVICE	NUMBER	COMPANY
ELECTRIC	(239) 995-2121	Lee County Electric Cooperative, Inc. 4980 Bayline Dr. Fort Myers, Fl. 33917
Telephone	(239) 772-9100	Centrylink 2710 Del Prado Blvd. S. Cape Coral, Fl. 33904
Water / Sewer	(239) 368-1615	Florida Government Utility Authority
Cablevision	(239) 574-2020	Comcast 1418 S.E. 10Th Street Cape Coral, Fl. 33990
Solid Waste	(239) 334-4115	WM - Waste Management, Inc. 11900 State Road 82 Ft. Myers, Fl. 33913
Fire Protection	(239) 369-1756	Lehigh Acres Fire, Rescue & Emergency Management Services 1000 Joel Blvd. Lehigh Acres, Fl. 33936

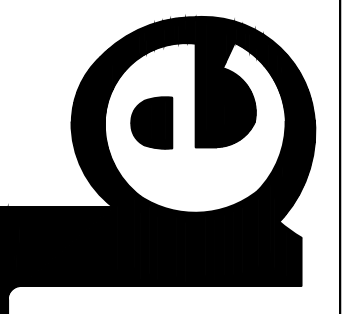


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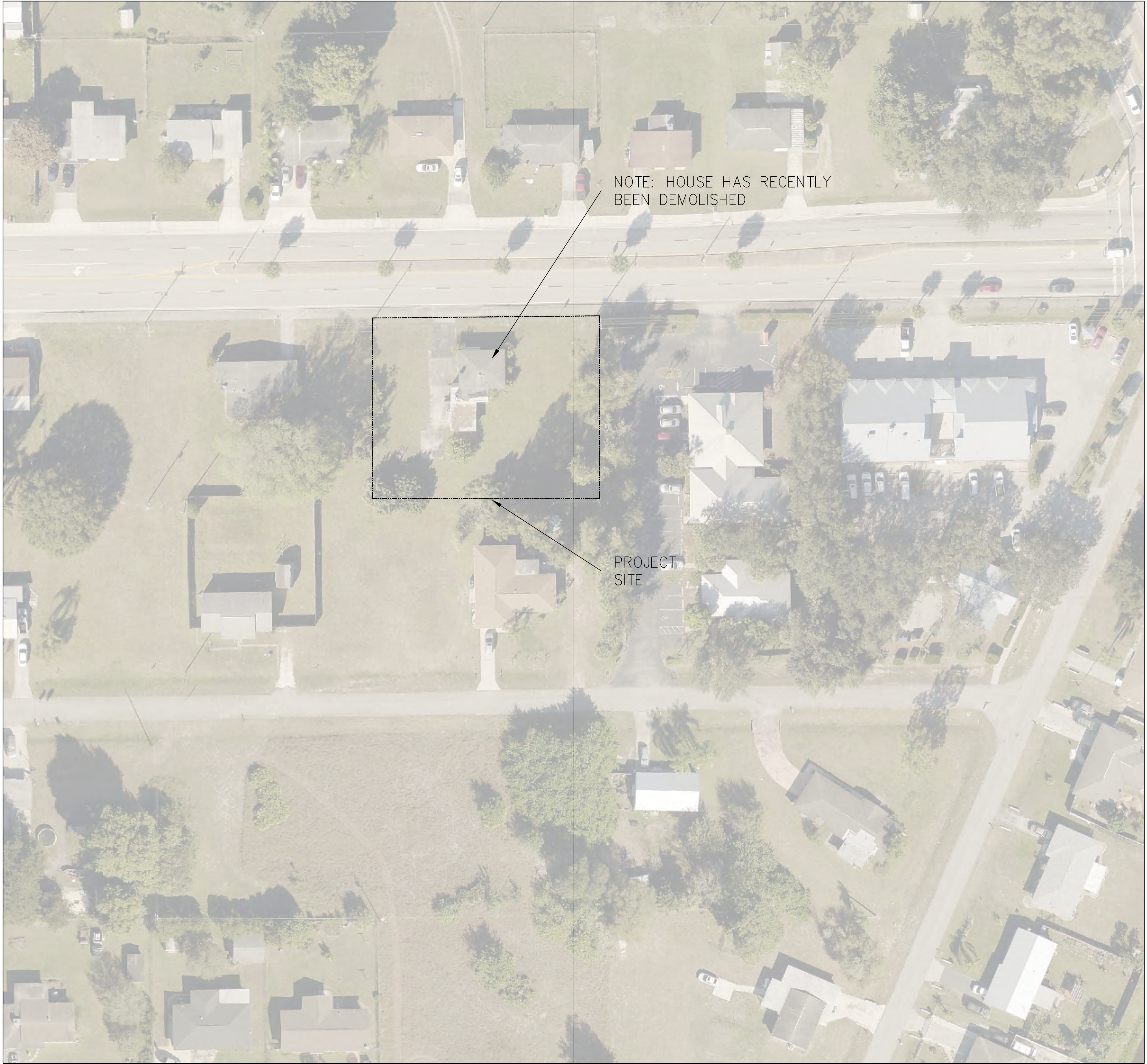
SIMILY COMMERCIAL CENTER
712 LEELAND HGTS BLVD.

KEY SHEET

Blot Engineering, Inc
Structural - Civil - Consulting
2804 S Del Prado Blvd Ste 101
Cape Coral, FL 33904
Office: (239) 257-1780
www.blotengineering.com



Edward M Blot
Professional Engineer
FL No 72818
Florida State
Certificate of Authority #29553



PROJ 21-128

ENCL EMB

DATE 12/02/2021

DRAWING NUMBER

DRWN KP

REV

23

blot

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SIMILY COMMERCIAL CENTER
712 LELAND HGTS BLVD.

AERIAL

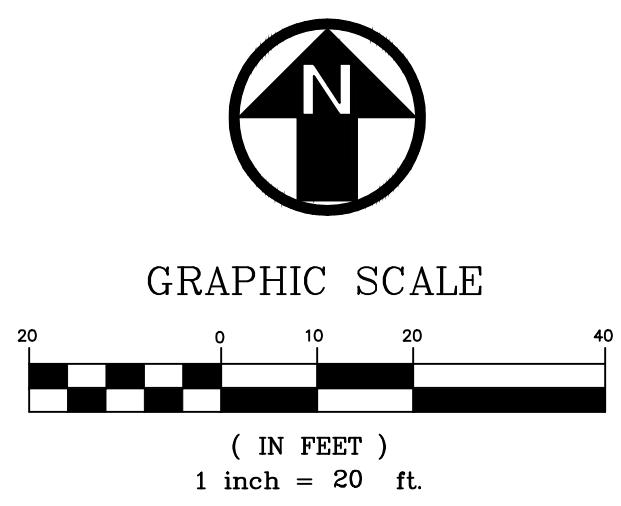
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2	02/17/25	REVISED PER COUNTY COMMENTS	KP	EB
1	06/10/24	REVISED PER COUNTY COMMENTS	KP	EB
0	08/02/23	ISSUED FOR SPD APPROVAL	KP	EB
A	01/29/23	ISSUED FOR REVIEW	KP	EB
REV	DATE	DESCRIPTION	DWN	CHK

13. The contractor will be required to contact the Site Development and Review Division to coordinate the installation and inspections for rerouting of the County storm water system. After all of the new pipes and structure have been installed and approved by the County, the old pipes and any structures on the property must be removed. The contractor will be required to provide a surveyor to do the layout for installation of the new system.

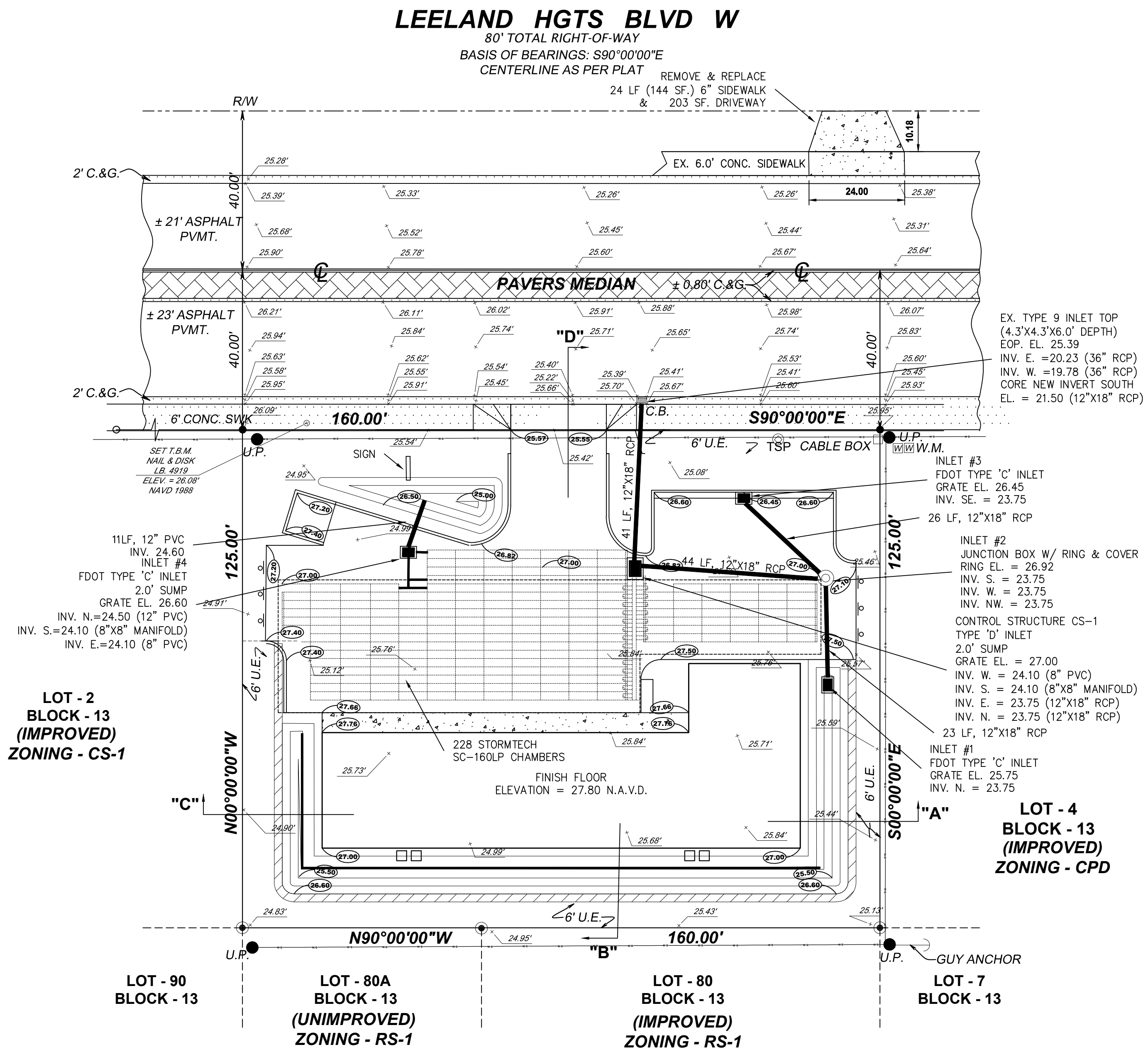
20. The contractor shall restore all County rights-of-ways disturbed or damaged prior to a County Site Development Review final

1. All construction shall meet Lee County Standards and Specifications as applicable.
2. An FGUA representative is to be present during connections to existing facilities with 72-hour notification.
3. All utilities within the property lines will be owned and maintained by the property owner
4. Any utilities (pipes, valves, and associated hardware) to be conveyed to FGUA will be located within an existing public utility easement, right-of-way (ROW) and/or a dedicated FGUA utility easement
5. Any real property (lift stations, pump-houses, wells, etc.) will not be located within the ROW and will be conveyed to FGUA via a specific warranty deed.
6. Low pressure air test, and video inspection are required for the gravity collection system - Water systems are tested to a minimum of 150psi for two-hour duration as per AWWA C-600 standards. Fire systems are not the FGUA responsibility.
7. Install 10-gauge tracer wire on all main pipelines. Wire to extend into each valve box with sufficient excess to bring wire three feet above finish grade.
8. All water and/or wastewater lines passing under paved areas will be constructed with a casing and shall apply with local or state DOT standards.
9. A Reduced Pressure Zone (RPZ), Backflow Prevention Assembly (BFP) is required. Acceptable models Febc 825Y, Watts 909, Wilkins 975XL, or Conbraco 400.
10. Full circle stainless steel tapping saddle sleeve with resilient seated tapping valve for proposed water and force main connections to be used.
11. Water tapping saddles to be double strap brass or ductile iron or epoxy coated steel with stainless steel hardware. Tie straps and bolts shall be corrosion resistant alloy steel.
12. All fire flow lines will run separate from the domestic water mains and have a fire detection meter and a Fire Line Backflow Prevention Assembly (BFP) assembly shall include a low flow BY-PASS meter w/ RPZ
13. Manhole frames & covers, and CO caps are to be water tight, if needed existing manhole tops are to be adjusted to proposed grade.
14. Inflow protection dishes are required for all manholes; stainless steel in paved areas, ABS in unpaved areas.
15. A cleanout shall be provided at the ROW /PL for all service connections
16. The FGUA shall own and maintain all water service lines up to the Point of Connection. All water mains shall be a minimum of four inches (4") in diameter and all such water mains shall be constructed in dedicated Rights-of-Way or appropriate utility Easements dedicated to the FGUA.
17. All sewer force main lines and gravity service lines accepted must be at least four inches (4") in diameter and eight inches (8"), respectively, except Lateral Sewer service lines which shall be no less than six inches (6") in diameter and accepted by the FGUA to a cleanout located on the edge of the Right-of-Way or an Easement.
18. A ball check valve followed by a plug valve will be installed on force mains located in PUE or R/W at the property line discharging from privately owned lift stations connecting into the utility mains
19. Connection to existing manholes and/or lift stations shall be by core bore with Kor-N-Seal connectors.
20. All connections will be made as hot taps. Any exceptions to this will require FGUA approval. All hot tap connections shall be performed by a licensed, underground contractor, with advance notification (72 Hours) to the FGUA Inspector
21. Backflow prevention devices shall be privately owned and maintained. BFPDs should be located outside of any FGUA easement or ROW/public easement. It is the sole responsibility of the property owner to maintain the device and provide annual testing certifications to the FGUA.

[illegible]



- GENERAL NOTES:
1. ELEVATIONS SHOWN REFER TO N.A.V.D. (1988).
 2. PROVIDE MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL WATER MAINS AND CULVERT PIPE CROSSINGS BY LOWERING THE WATER MAIN, IF REQUIRED.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE GRADING IN AREAS NOT PROVIDED WITH ELEVATION CONTROL TO PREVENT STANDING WATER.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAINTAINING SERVICE OF ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION.
 5. IT IS THE CONTRACTORS RESPONSIBILITY TO RESTORE ALL AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT 2021 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ITS SUPPLEMENTS.



WATER QUALITY CALCULATIONS:
FIRST 1": 0.46 ACRES @ 1" = 0.0383 AC-FT.

2.5" TIMES PERCENT IMPERVIOUS AREA:

SITE AREA: 0.46 AC - 0.091 AC (ROOF AREA) = 0.369 AC

IMPERVIOUS AREA: 0.369 - 0.200 AC (PERVIOUS) = 0.169 AC.

PERCENT IMPERVIOUS = IMP. AREA/SITE AREA * 100%

0.169 AC/ 0.46 AC= 0.3674 * 100 = 36.74%

2.5" X IMPERVIOUS

2.5 IN. * 36.74% = 0.91"

VOLUME = (1" CONTROLS)
1.0" X 0.46 = 0.46 * 1'/12" = 0.0383 AC-FT

WET DETENTION REQUIRED = 0.0383 AC-FT
DRY DETENTION REQUIRED (75% WET) = 0.0288 AC-FT

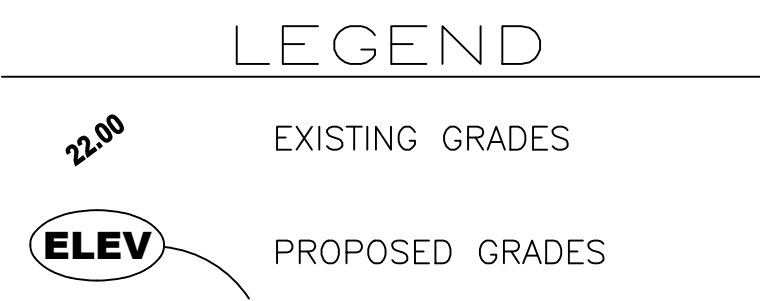
WATER VOLUME REQUIRED = 0.0288 AC-FT = 1,252 CU-FT.

VOLUME PROVIDED @ EL. 25.33 = 1,380 CU-FT. > 1,252 CU-FT.

STORM WATER MANAGEMENT DATA:

PROPOSED CONTROL ELEVATION = 24.25 FT. NAVD

5-YR. DHWL = 25.61 FT. NAVD; MIN. ROAD = 26.30 FT. NAVD
25-YR. DHWL = 26.55 FT. NAVD; MIN. PERIMETER BERM = 26.60 FT. NAVD
100-YR. DHWL = 27.31 FT. NAVD; MIN. FINISH FLOOR ELEV. = 27.80 FT. NAVD



PRJ		21-128	
ENGR	EMB	DRWN	KP
DATE		12/02/21	
DRAWING NUMBER		513	

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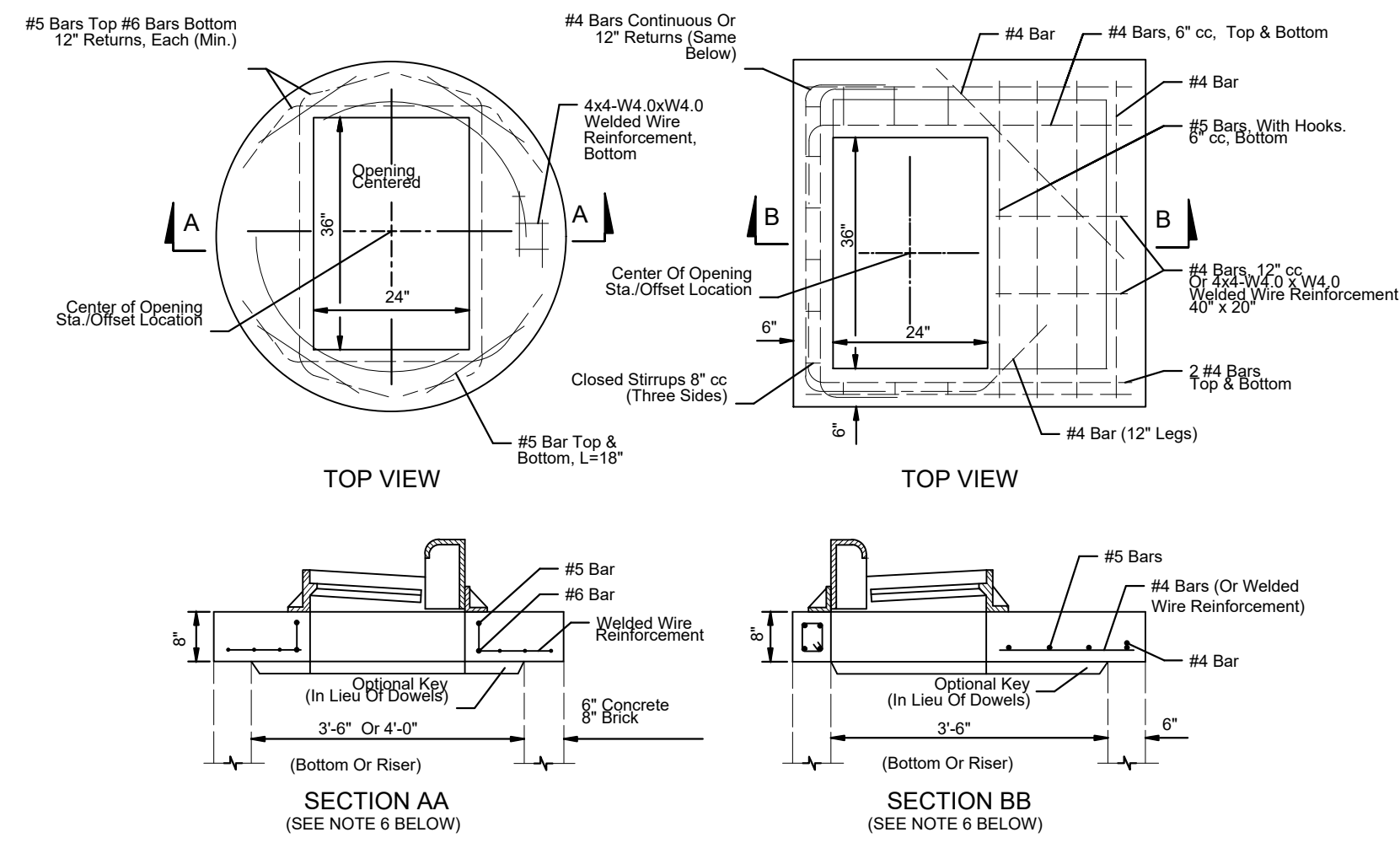
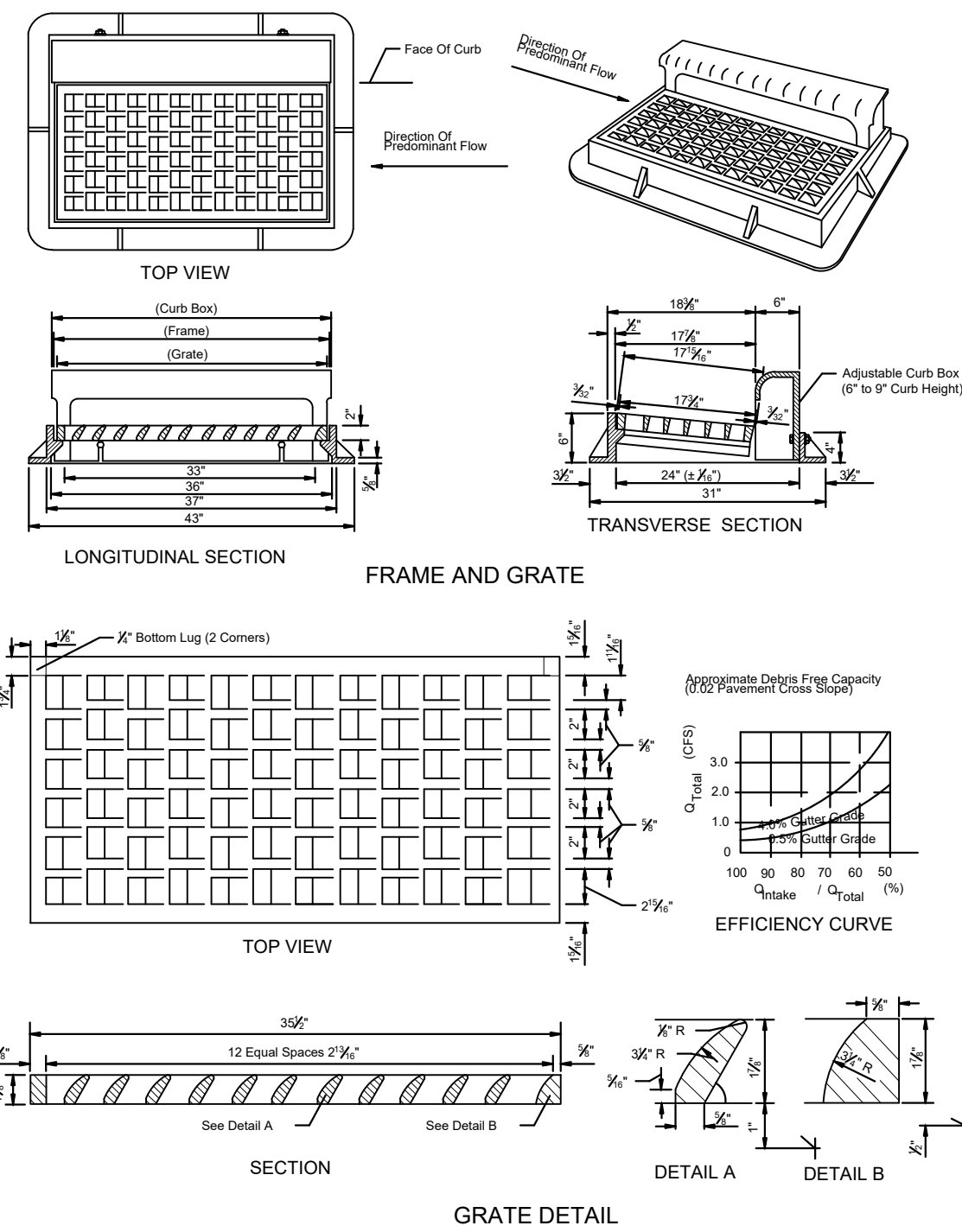
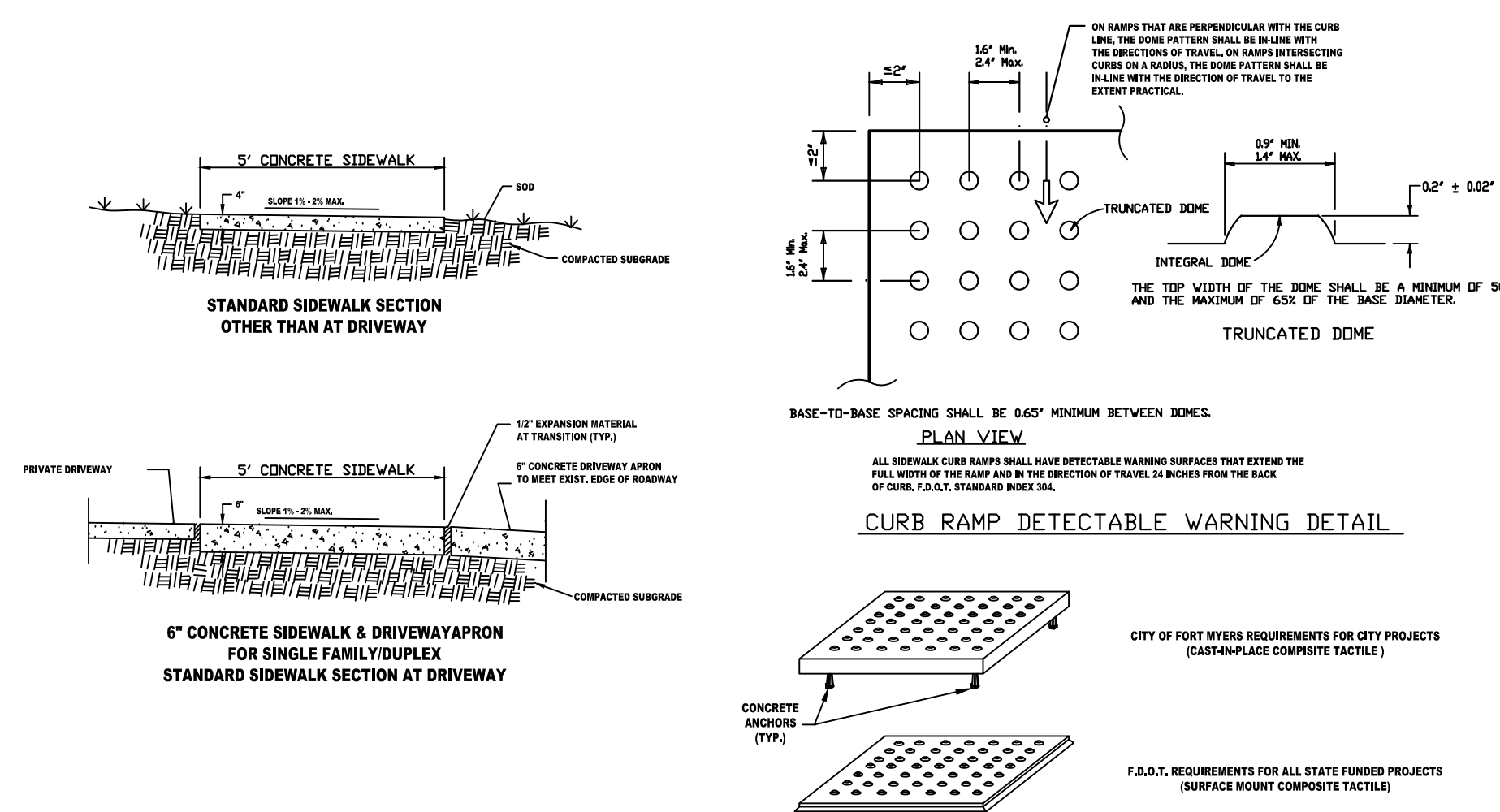
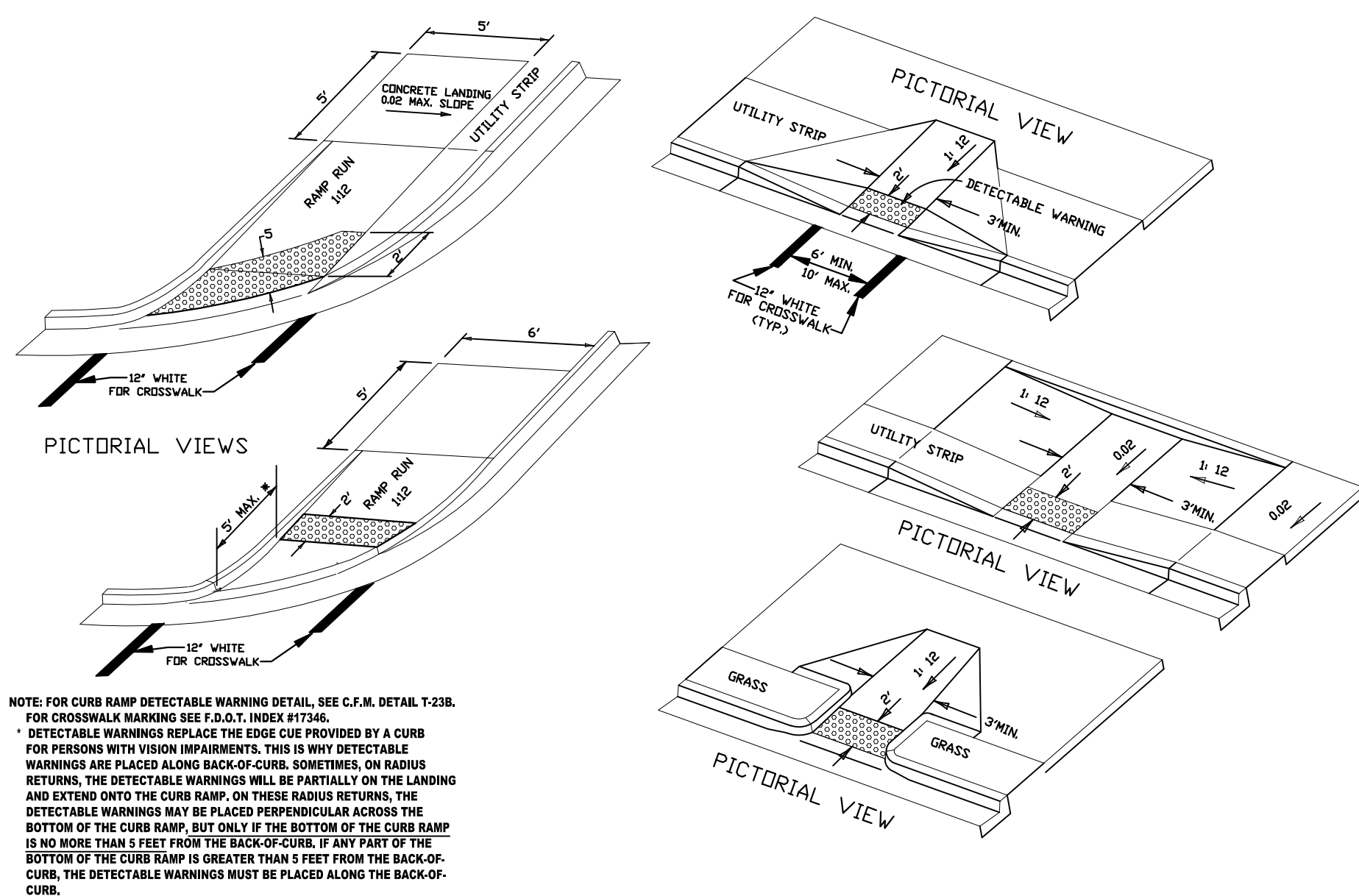
Florida State
Certificate of Authority #29553

SIMILY COMMERCIAL CENTER
712 LEELEND HGTS BLVD.

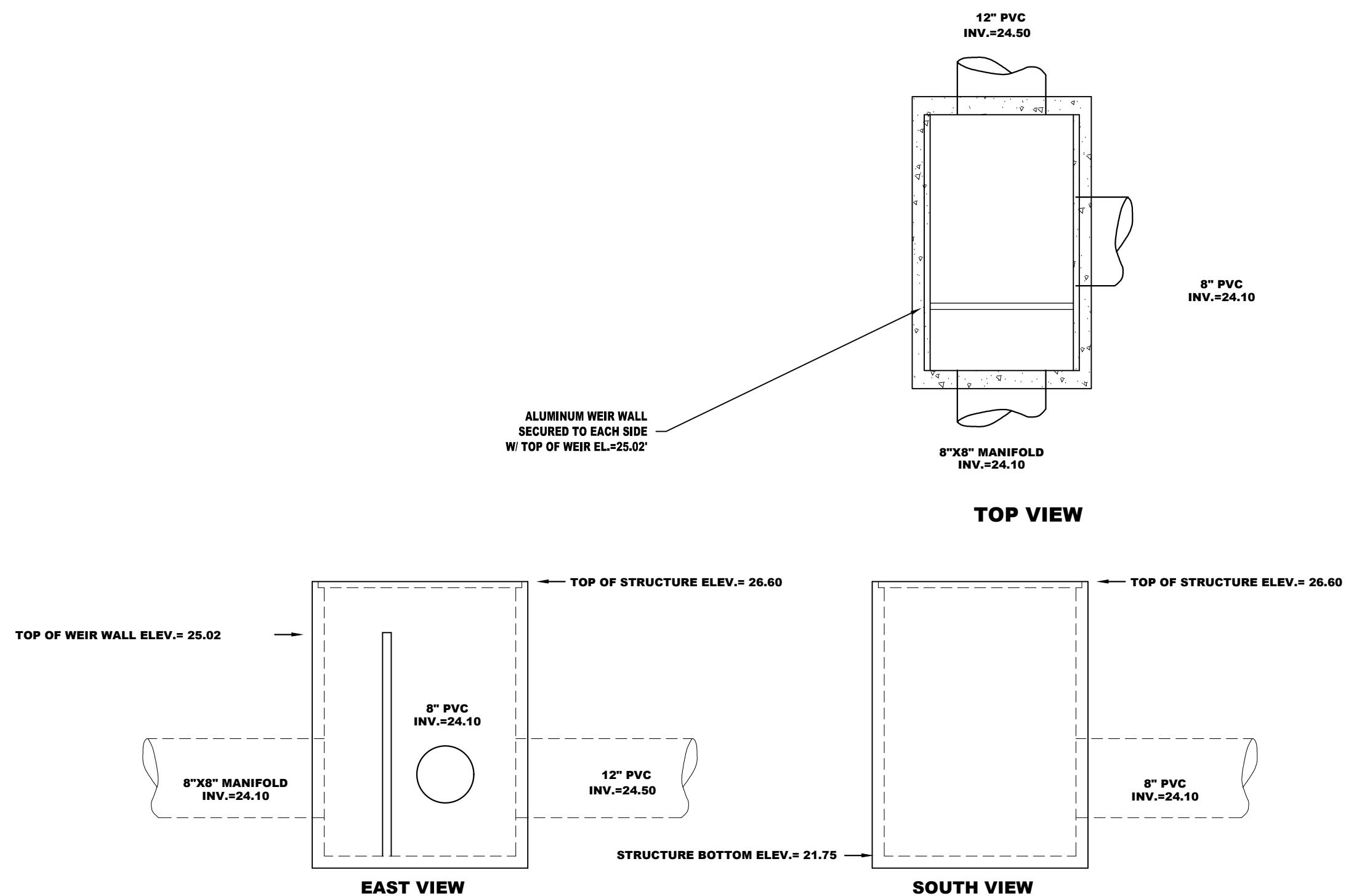
DRAINAGE PLAN

REV	DATE	DESCRIPTION
3	5/12/25	REVISED PER COUNTY COMMENTS
2	02/17/25	REVISED PER COUNTY COMMENTS
1	06/10/24	REVISED PER COUNTY COMMENTS
0	08/02/23	ISSUED FOR SPD APPROVAL
A	01/29/23	ISSUED FOR REVIEW

CHK	DWN
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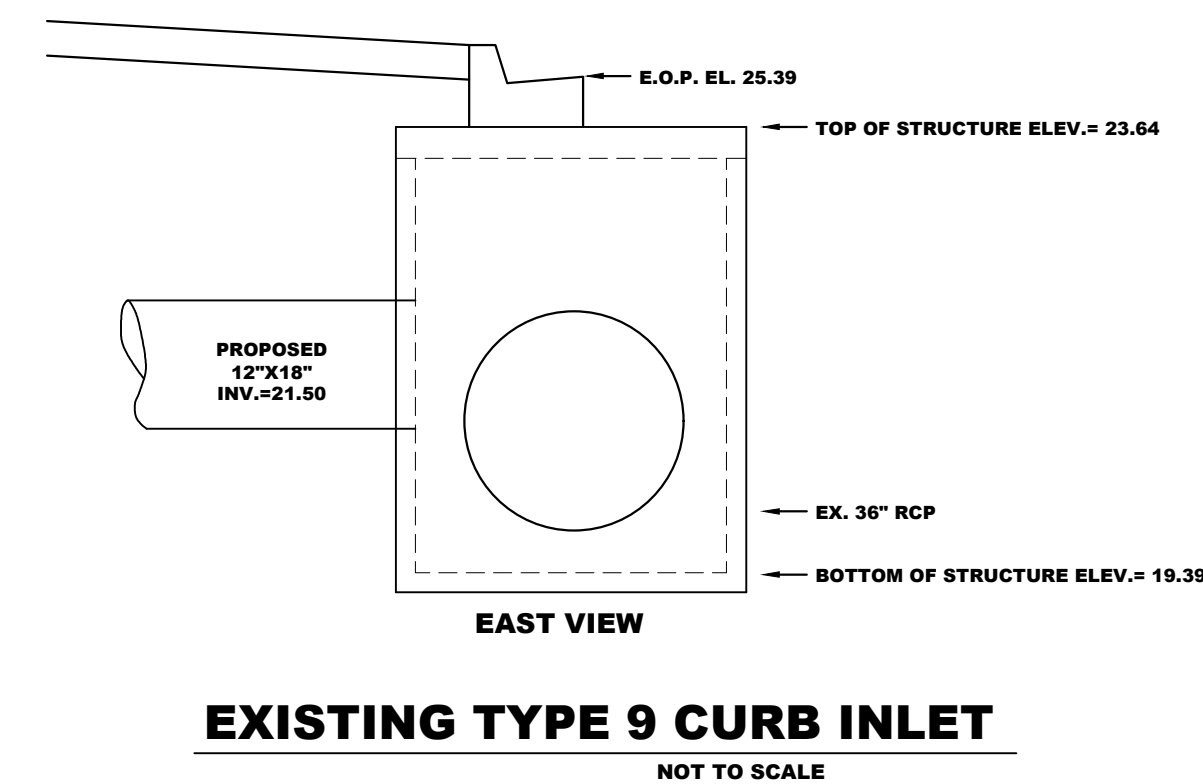


- ## TOP SLABS
- GENERAL NOTES**
1. This inlet is primarily intended for curbs with light to moderate flows where dirt of way does not permit the use of through the curb curb inlets Types 1 through 6. The typical application is on curb returns to dry streets. The inlet grade is suitable for pedestrian and bicycle crossings.
 2. This inlet to be located outside of curb ramp area in vertical faced curbs such as Curb and Gutter Type F. Grate shall be oriented with vanes directed toward predominant flow.
 3. For structure bottom see Index No. 200. For supplemental details see Index No. 201.
 4. All steel in slab top shall have 1/2" minimum cover unless otherwise shown. Tops shall be either cast-in-place or precast concrete.
 5. For Alternate A applications, top slab openings shall be placed such that 2 edges of inlet frame will be located directly above bottom wall or riser wall.
 6. When used on a structure with dimensions larger than those detailed above and risers are not applied, the top slab shall be constructed using 12" minimum concrete depth and 12" minimum reinforcement. The "Special Top Slab" on Index No. 200 is not permitted.
 7. Frame may be adjusted with one to six courses of brick.
 8. Vaned grates with approximately equal openings will be permitted that satisfy AASHTO HL-93 loading. Grates shall be reversible, right or left hand.



INLET #4
(F.D.O.T. TYPE "C" INLET)

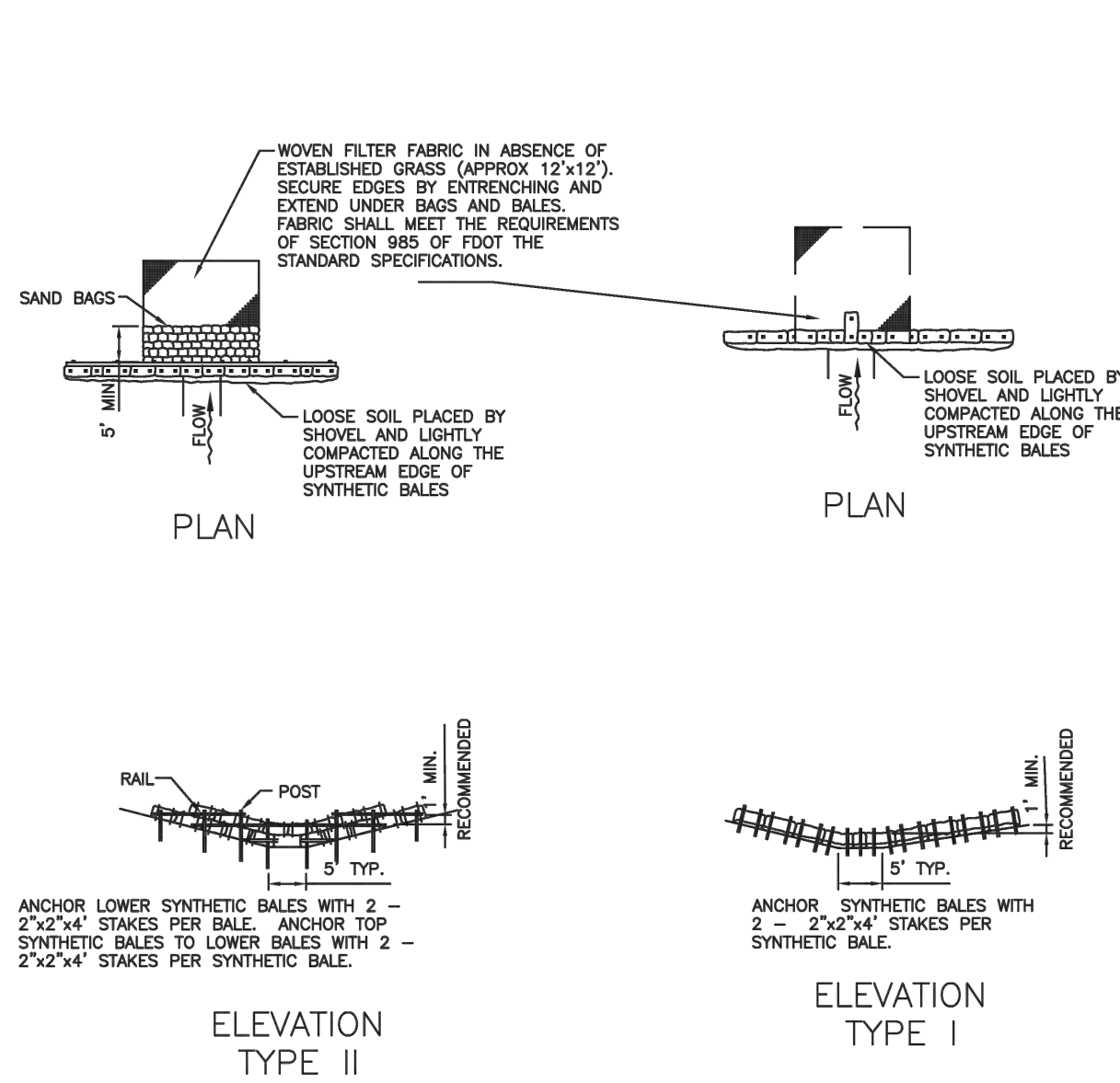
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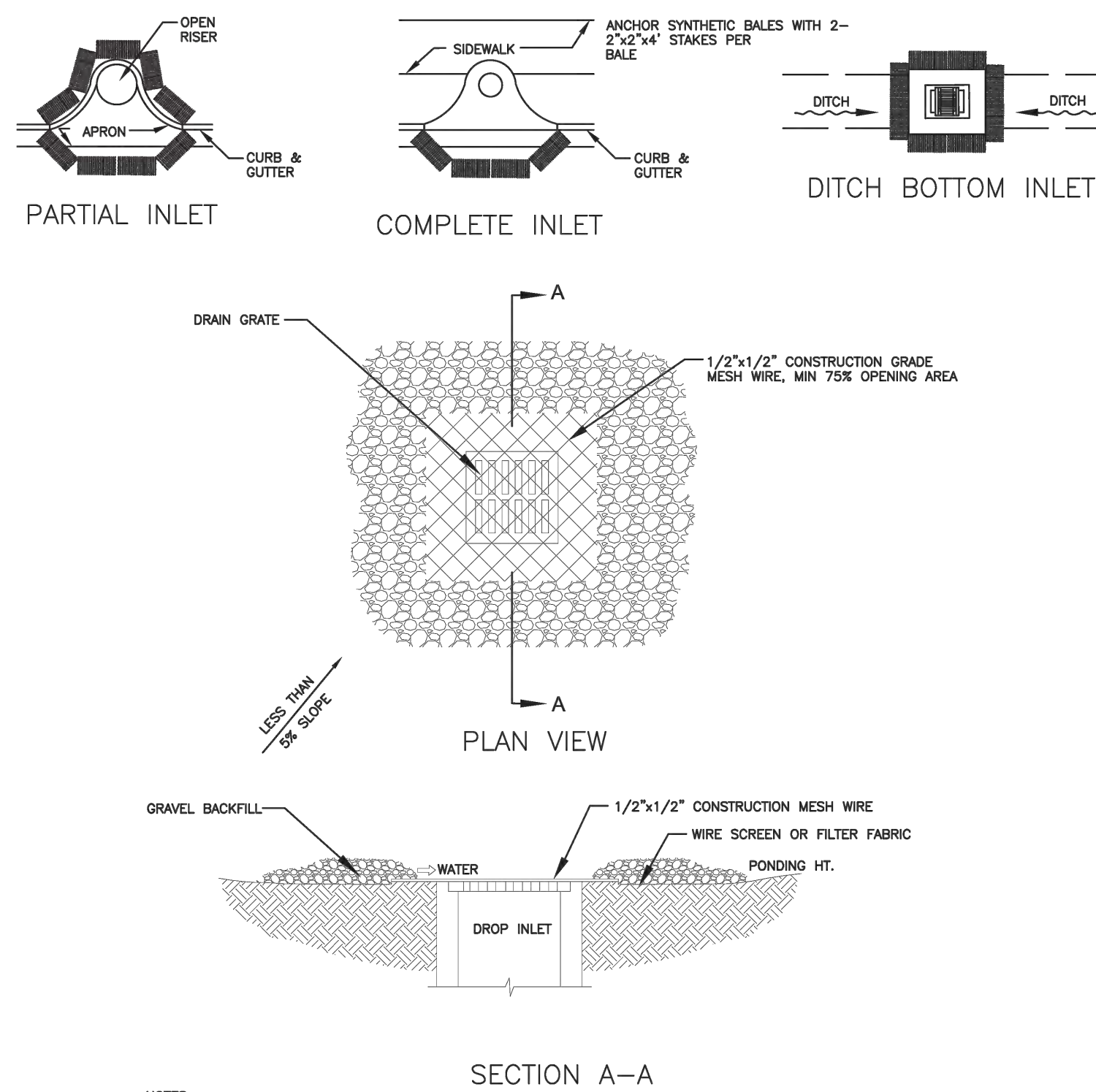
EXISTING TYPE 9 CURB INLET
NOT TO SCALE

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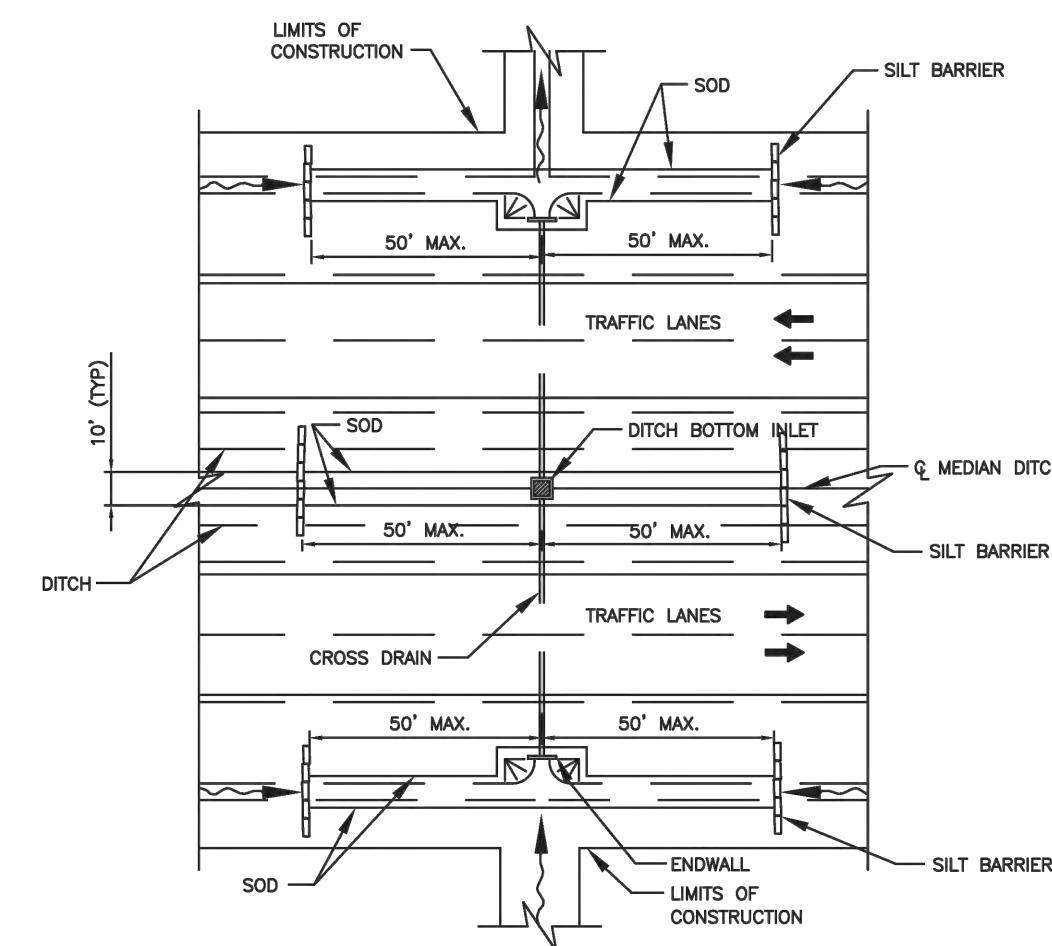
APPLICATION AND SPACING:
THE USE OF TYPES I & II SYNTHETIC BALE BARRIERS SHOULD BE LIMITED TO THE CONDITIONS OUTLINED IN SPACING CHART.



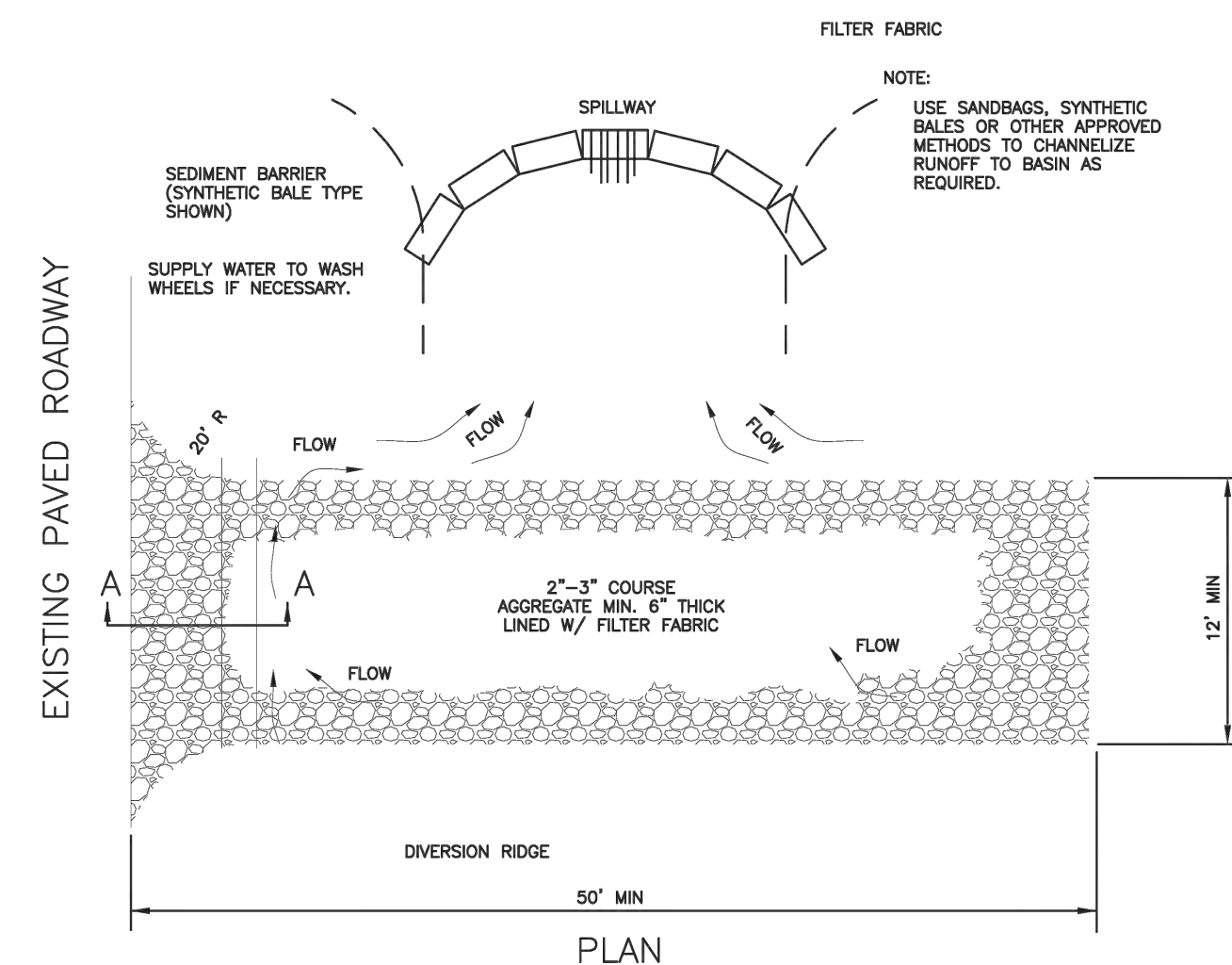
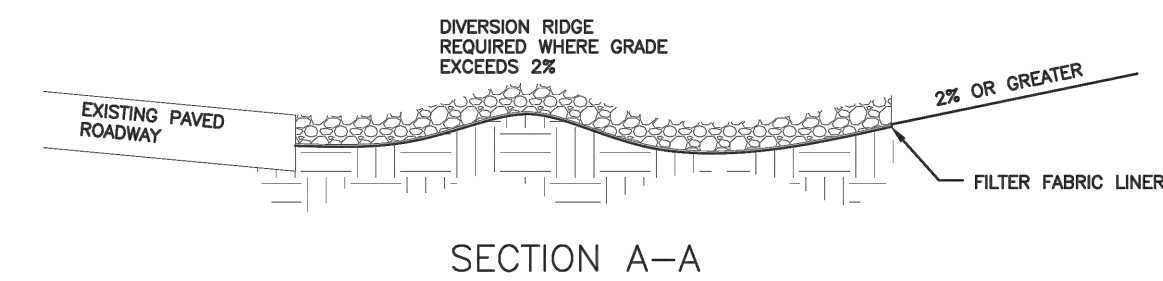
NOTES:

1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
2. EXCAVATE A BASIN OF SUFFICIENT SIZE ADJACENT TO THE DROP INLET.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
4. MAINTAIN TOP OF PROTECTION ELEVATION AT 0.5' BELOW EDGE OF PAVEMENT.

G-13 PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
NOT TO SCALE



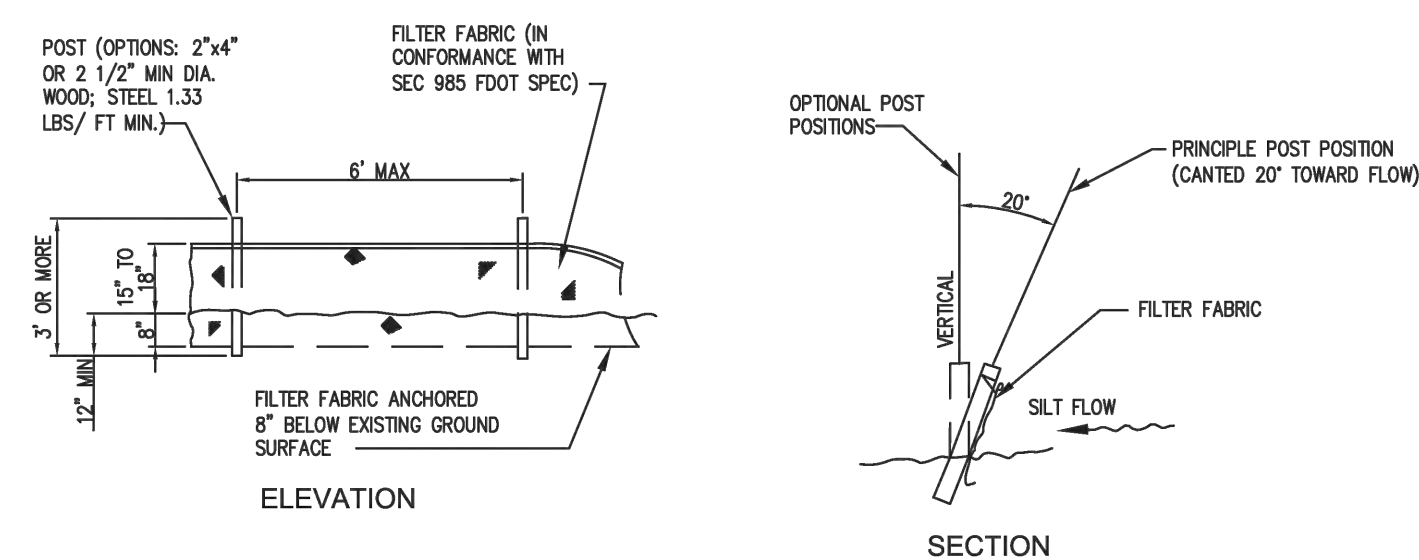
G-14 DRAINAGE STRUCTURE PROTECTION DETAIL
NOT TO SCALE



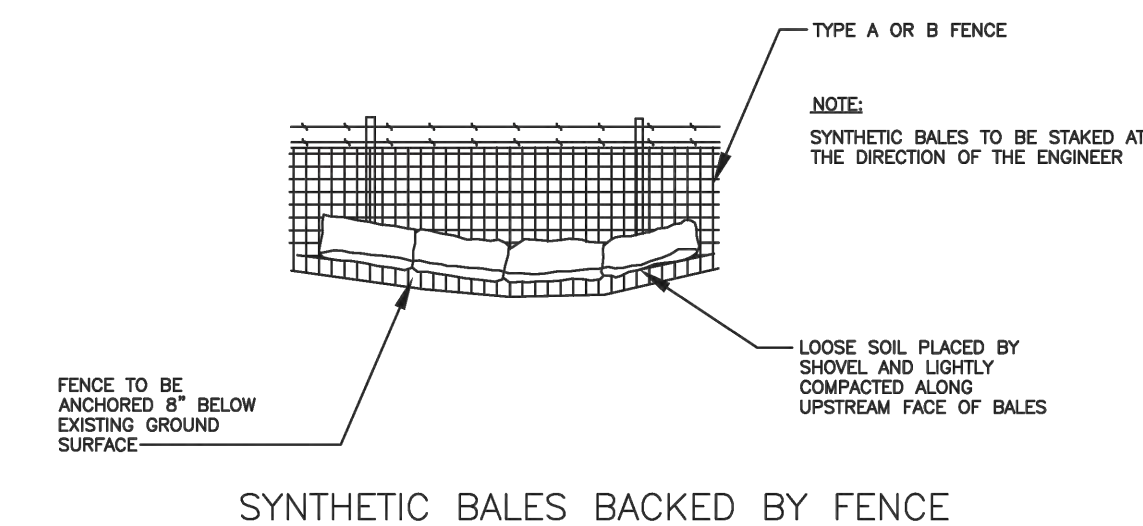
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO STOP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

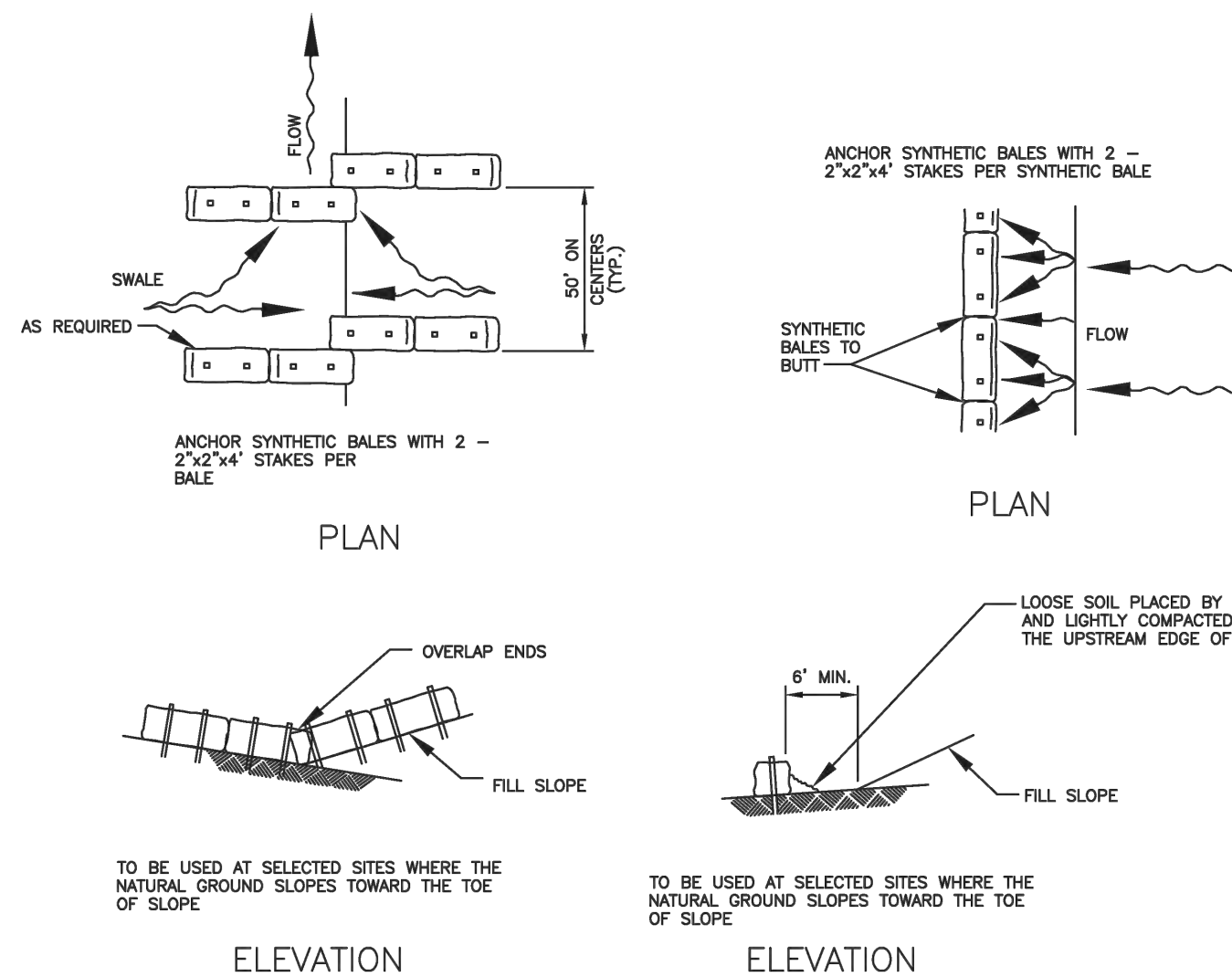
G-26 CONSTRUCTION ROAD STABILIZATION
NOT TO SCALE



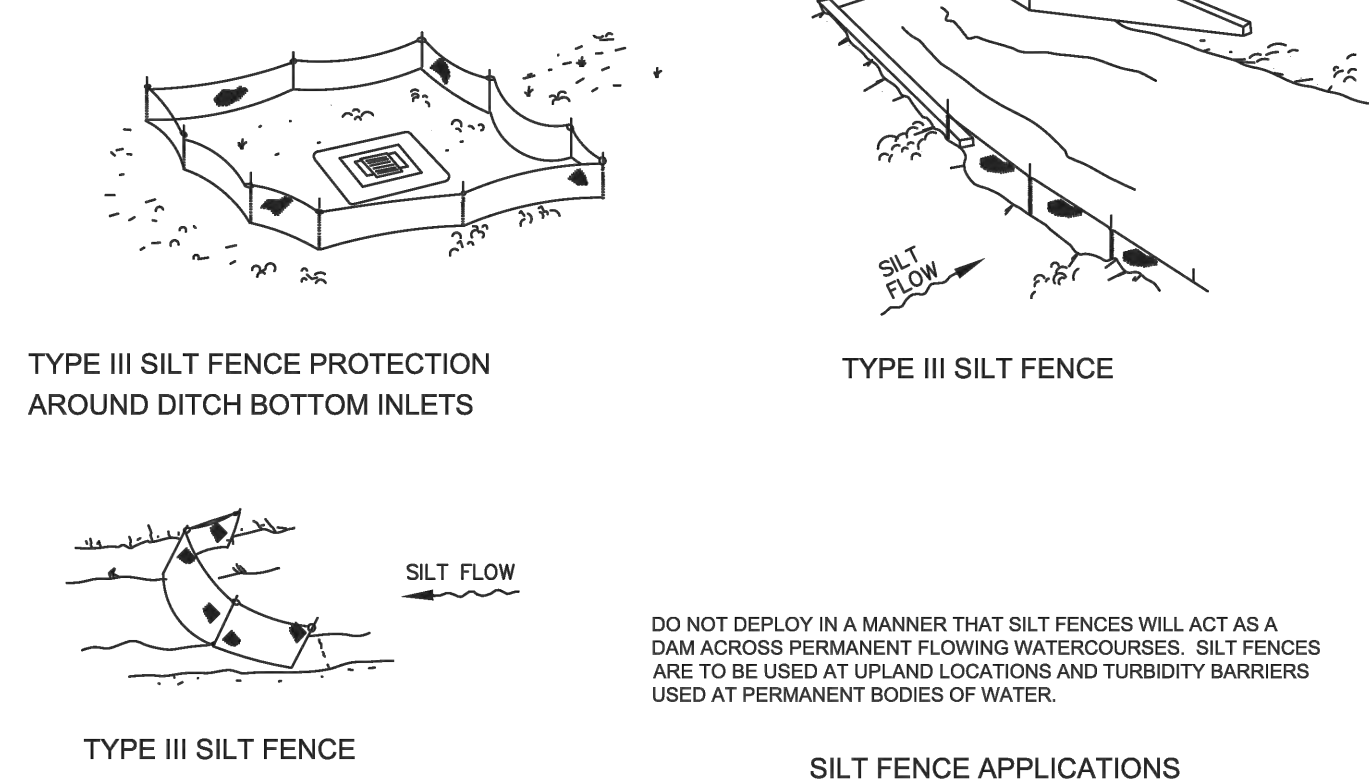
TYPE III SILT FENCE



SYNTHETIC BALES BACKED BY FENCE



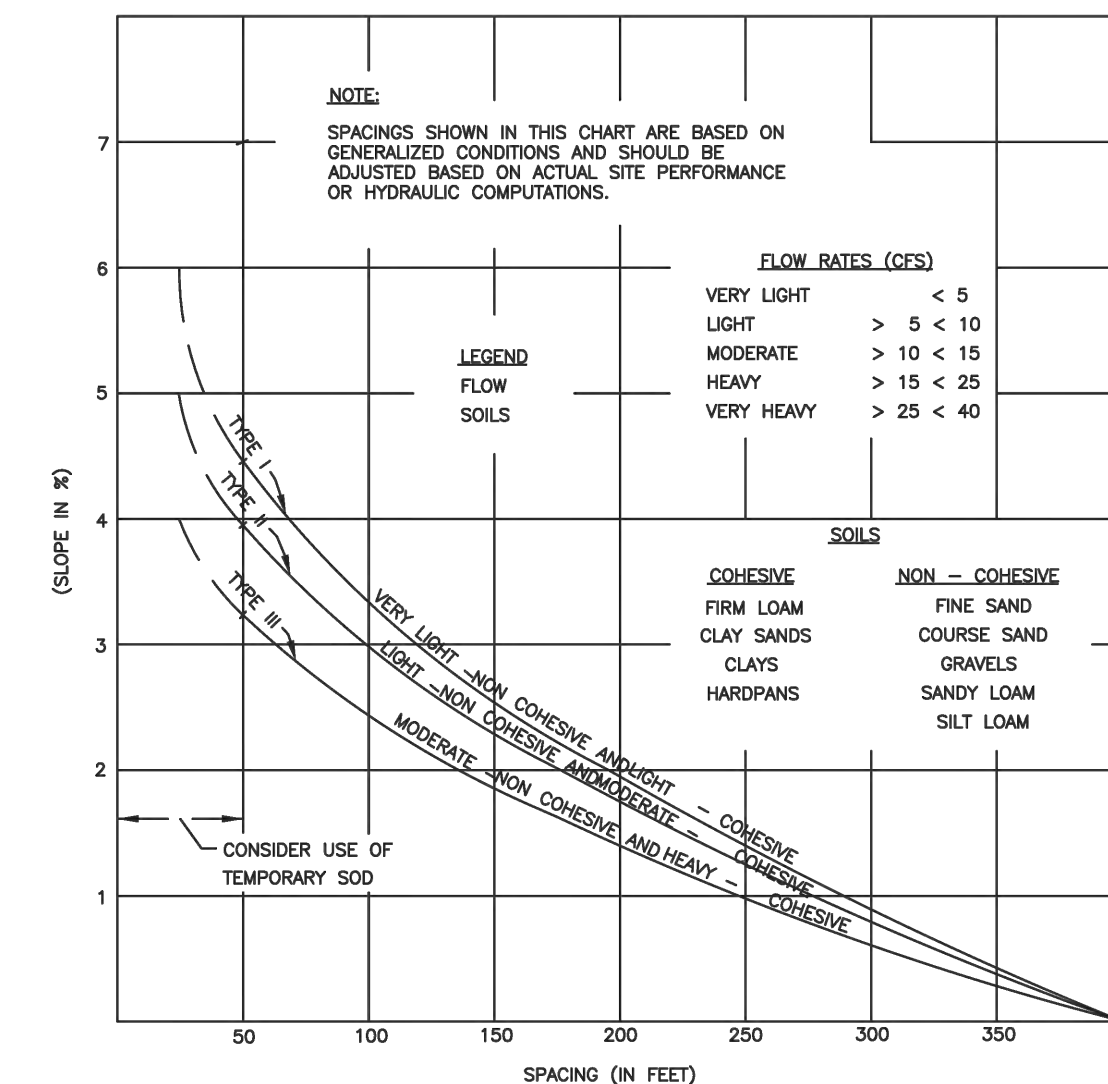
G-17 BARRIERS FOR FILL SLOPES
NOT TO SCALE



SILT FENCE APPLICATIONS

G-16 **SYNTHETIC BALE BARRIERS AND SILT FENCES**
NOT TO SCALE

G-18 SPACING FOR TYPE I AND TYPE II SYNTHETIC BALE BARRIERS AND TYPE III SILT FENCES
NOT TO SCALE



G-18 SPACING FOR TYPE I AND TYPE II SYNTHETIC BALE BARRIERS AND TYPE III SILT FENCES
NOT TO SCALE

3	5/12/25	REVISED PER COUNTY COMMENTS	KP	EB
2	02/17/25	REVISED PER COUNTY COMMENTS	KP	EB
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REV	DATE	DESCRIPTION	DWN	CHK

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712 LEELEND HGTS BLVD.

EROSION & SEDIMENTATION CONTROL DETAILS

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Florida State
Certificate of Authority #29553

PROJ	21-128	
ENGR	EMB	ORWIN KP
DATE	12/02/21	
DRAWING NUMBER	13	REV 3

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER:	KARL GUTMANN 239-994-6478 KARL.GUTMANN@ADSPIPE.COM
ADS SALES REP:	RICK PFAFFENDORF 813-727-2545 RICK.PFAFFENDORF@ADSPIPE.COM
PROJECT NO:	S405282



SIMILY COMMERCIAL CENTER (712 LEE LAND HEIGHTS BLVD.)
LEHIGH ACRES, FL

SC-160LP STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH SC-160LP.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1.5".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-160LP SYSTEM

1. STORMTECH SC-160LP CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-160LP CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
3. FOUNDATION STONE AND EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE; AASHTO M43 #3,357, 4, 467, 5, 56, OR 57.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. THE DEPTH OF FOUNDATION STONE SHALL BE DETERMINED BASED ON THE SUBGRADE BEARING CAPACITY PROVIDED BY THE SITE DESIGN ENGINEER.
6. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES CONCERNING CHAMBER FOUNDATION DESIGN AND SUBGRADE BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
7. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
8. CHAMBERS SHALL BE INSTALLED "TOE TO TOE". NO ADDITIONAL SPACING BETWEEN ROWS IS REQUIRED.
9. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
10. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-160LP CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-106LP CONSTRUCTION GUIDE".

2. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

REV	DATE	DESCRIPTION	DWN	CHK
3	5/12/25	REVISED PER COUNTY COMMENTS	KP	EB
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STORMTECH
STORM CHAMBERS (1 OF 6)

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PROPOSED LAYOUT

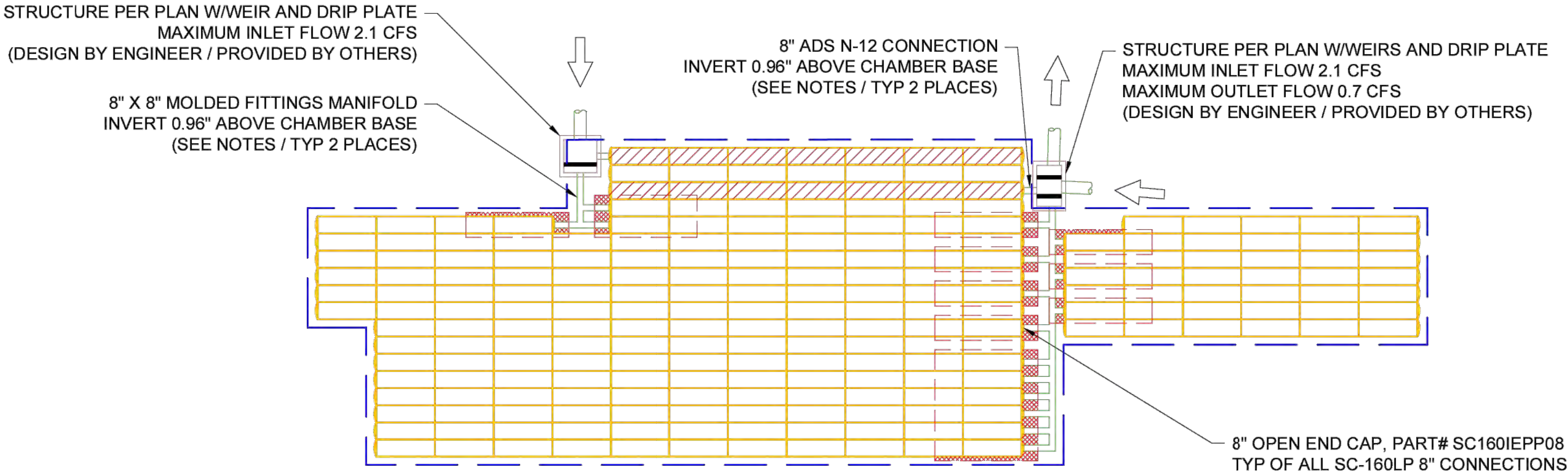
228	STORMTECH SC-160LP CHAMBERS
52	STORMTECH SC-160LP END CAPS
6	STONE ABOVE (in)
6	STONE BELOW (in)
40	% STONE VOID
4,091	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
3942	SYSTEM AREA (ft²)
351	SYSTEM PERIMETER (ft)

PROPOSED ELEVATIONS

35.02	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)
26.69	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
26.19	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
26.19	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
26.19	MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
25.52	TOP OF STONE
25.02	TOP OF SC-160LP CHAMBER
24.10	8" ISOLATOR ROW PLUS CONNECTION INVERT
24.10	8" X 8" MANIFOLD / CONNECTION INVERT
24.02	BOTTOM OF SC-160LP CHAMBER
23.52	BOTTOM OF STONE

NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANIFOLD SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- THE SITE DESIGN ENGINEER MUST REVIEW THE PROXIMITY OF THE CHAMBERS TO THE BUILDING/STRUCTURE. NO FOUNDATION LOADS SHALL BE TRANSMITTED TO THE CHAMBERS. THE SITE DESIGN ENGINEER MUST CONSIDER EFFECTS OF POSSIBLE SATURATED SOILS ON BEARING CAPACITY OF SOILS AND SEEPAGE INTO BASEMENTS.
- THE SITE DESIGN ENGINEER MUST REVIEW THE PROXIMITY OF THE CHAMBERS TO THE SLOPE AND CONSIDER EFFECTS OF POSSIBLE SATURATED SOILS ON THE SLOPE'S INTEGRITY.
- ATTENTION:** THIS DRAWING IS NOT INTENDED FOR USE IN BIDDING OR CONSTRUCTION WITHOUT THE PRIOR APPROVAL OF THE PROJECT'S ENGINEER OF RECORD (EOR). AS WITH ALL PROPOSED ADS LAYOUTS, THE EOR SHOULD REVIEW AND APPROVE THIS DRAWING PRIOR TO USE IN BIDDING AND/OR CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE EOR TO ENSURE THAT THE PRODUCT(S) DEPICTED AND THE ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.



- ISOLATOR ROW PLUS (SEE DETAIL)
- PLACE MINIMUM 12.5' OF ADSPLUS625 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

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LEHIGH ACRES, FL

DATE: 04/04/24 DRAWN: SLV
PROJECT #: S405282 CHECKED: ---

REVISION PER MARKUPS
REVISE OUTLET PER MARKUP
OUTLET ADJUSTMENTS

DATE DATE DATE
MAH PME BWV
CHKD

DESCRIPTION

21-128

EMB

12/02/21

DATE

15

3

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STORMTECH
STORM CHAMBERS (2 OF 6)

3

5/12/25

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2

02/17/25

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06/11/24

REVISED PER COUNTY COMMENTS

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08/02/23

ISSUED FOR SPD APPROVAL

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ISSUED FOR REVIEW

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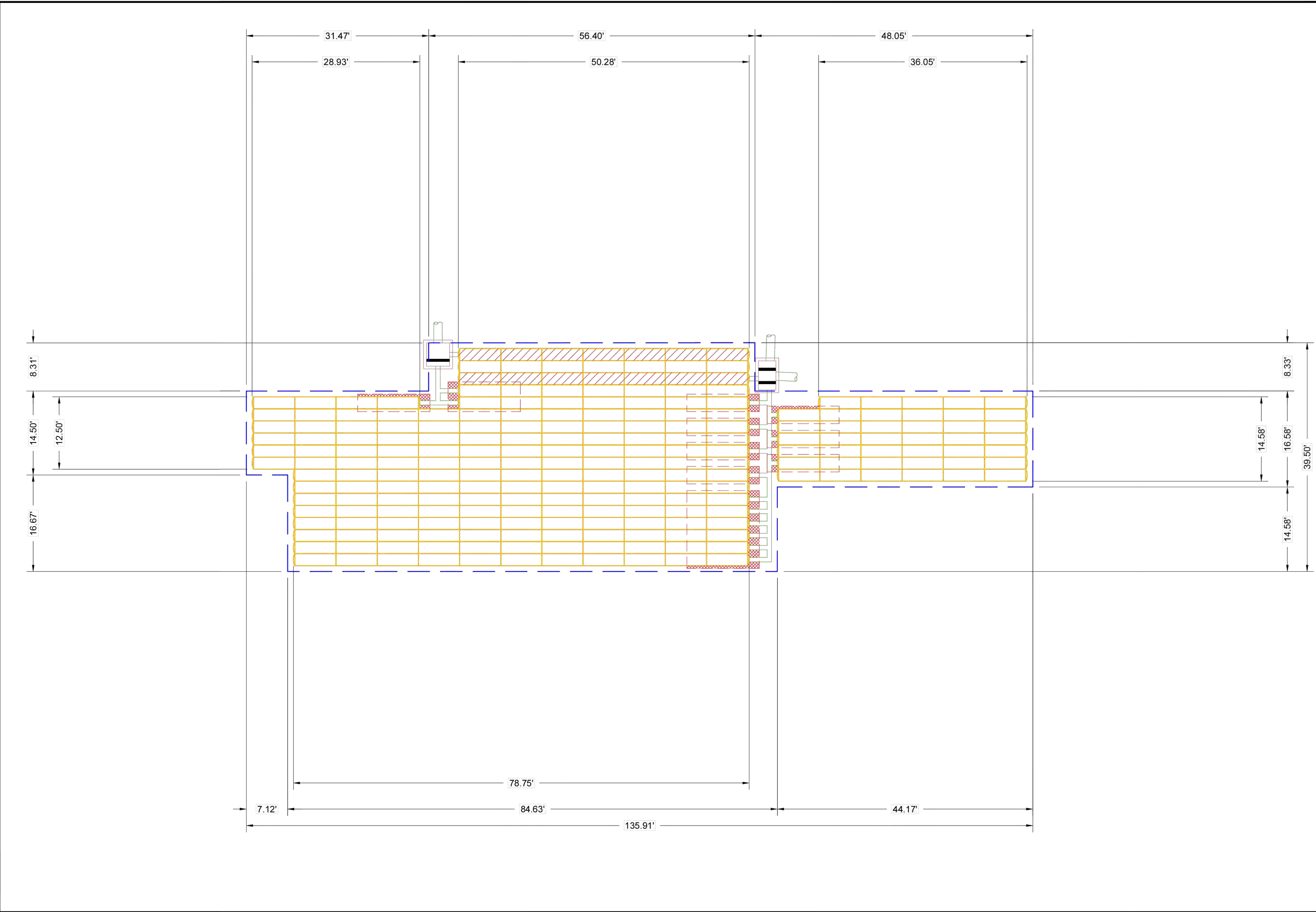
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OUTLET ADJUSTMENTS

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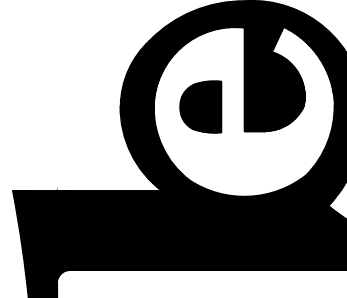
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STORMTECH
STORM CHAMBERS (3 OF 6)

3

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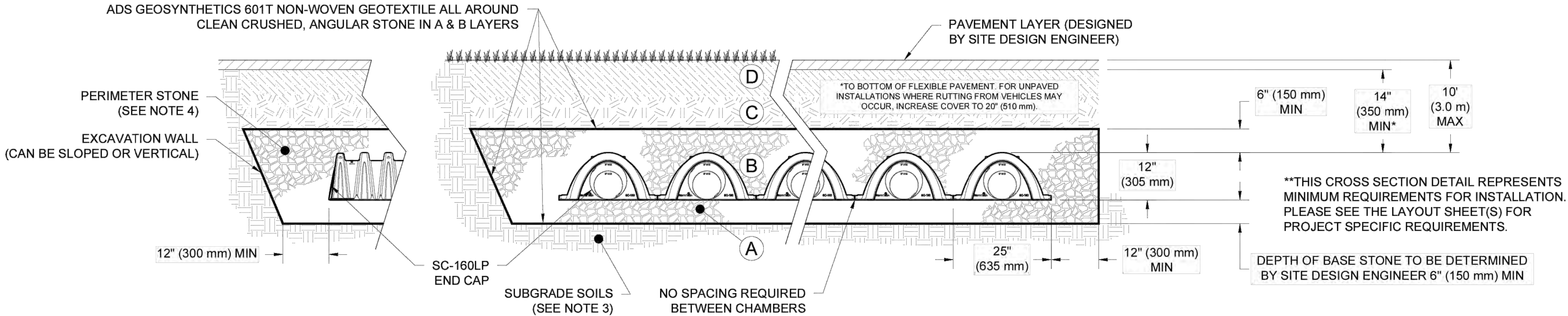
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ACCEPTABLE FILL MATERIALS: STORMTECH SC-160LP CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 14" (355 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1.5"
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT/%. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

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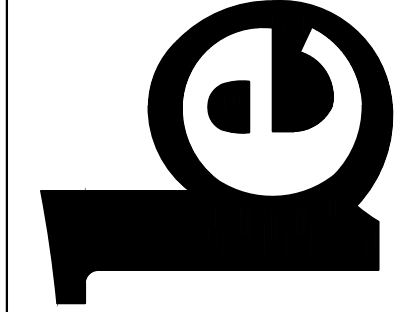
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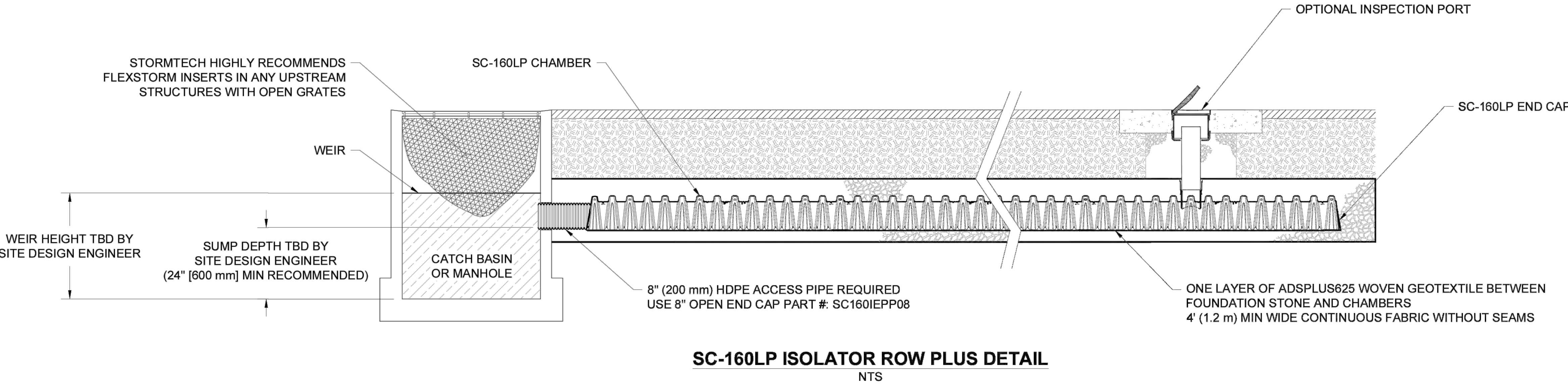
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STORM CHAMBERS (4 OF 6)

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INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



4640 TRUEMAN BLVD
HILLIARD, OH 43026



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Chamber System

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5

SHEET
OF

6

SIMILY COMMERCIAL CENTER
(712 LEELEAND HEIGHTS BLVD.)
LEHIGH ACRES, FL

DATE: 04/04/24
DRAWN: SLV

PROJECT #: S405282
CHECKED: ---

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PROJ 21-128

ENCL EMB

DATE 12/02/21

DRAWING NUMBER 18

3

REV

DATE

DESCRIPTION

Blot Engineering, Inc

Structural - Civil - Consulting

2804 S Del Prado Blvd Ste 101
Cape Coral, FL 33904
Office: (239) 257-1780
www.blotengineering.com

Edward M Blot
Professional Engineer
FL No 72816

Florida State
Certificate of Authority #29553

SIMILY COMMERCIAL CENTER
712 LEELEAND HGTS BLVD.

STORMTECH
STORM CHAMBERS (5 OF 6)

3

REV

DATE

DESCRIPTION

5/12/25

REVISED PER COUNTY COMMENTS

KP

2

REVISED PER COUNTY COMMENTS

KP

1

REVISED PER COUNTY COMMENTS

KP

0

ISSUED FOR SPD APPROVAL

KP

A

ISSUED FOR REVIEW

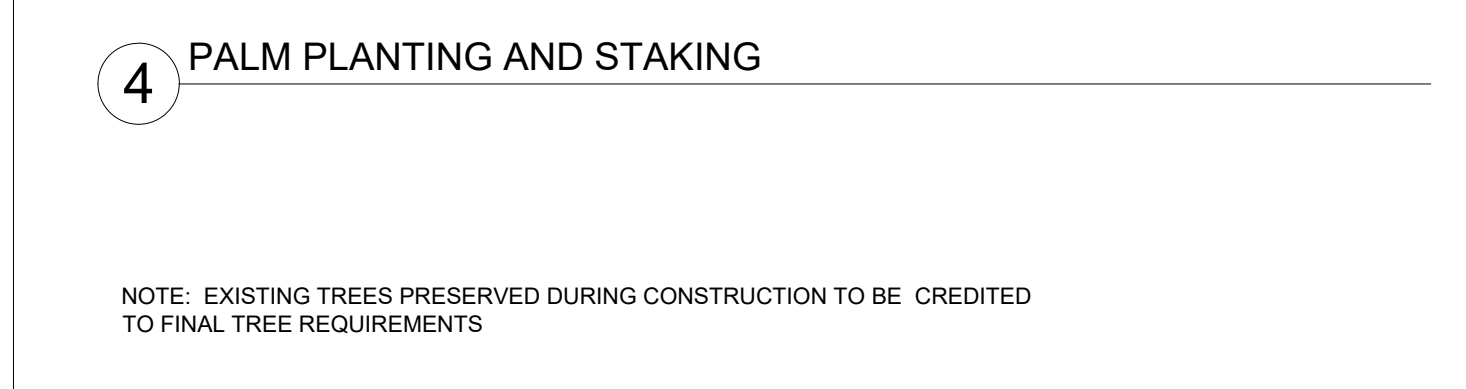
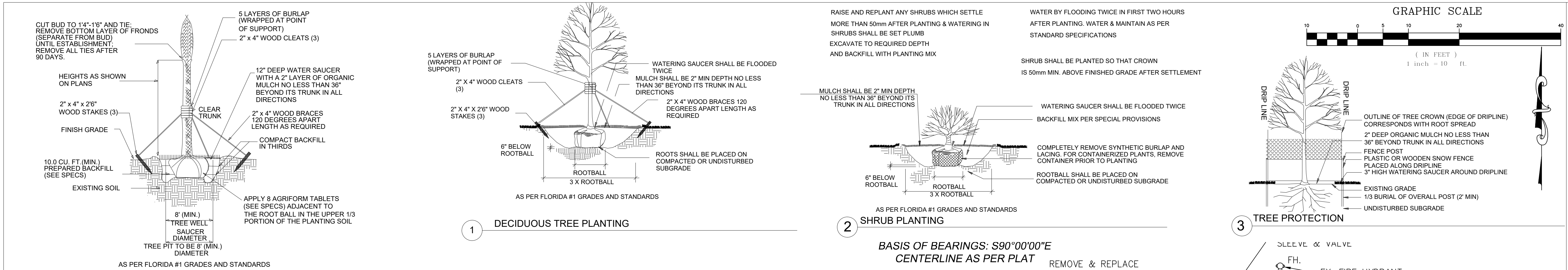
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CHK

DWN

PROJ	21-128		
ENGR	EMB	DRAWN	KP
DATE	12/02/21		
DRAWING NUMBER	19		REV 3

EXHIBIT C



SIMILY COMMERCIAL CENTER
712 LEELEND HEIGHTS BLVD W
LEHIGH ACRES, FLORIDA
ZONED: CS-1 SPECIAL COMMERCIAL OFFICE DISTRICT

TREE PLANTING REQUIREMENTS		
PROJECT DEVELOPMENT AREA	20,000 SF	20,000 SF
GENERAL TREES REQUIRED	x 1 TREE/3500 SF =	6

LANDSCAPE DESIGN FEATURES

FOUNDATION LANDSCAPING	10% OF BUILDING AREA 5' WIDE 3' O.C.	BUILDING = 3,965 SF
FOUNDATION LANDSCAPE AREA REQUIRED		3,965 X 0.10 = 397 SF
FOUNDATION LANDSCAPE AREA PROVIDED		397 SF
SHRUBS REQUIRED		397 SF / 3 FT = 132 SHRUBS
SHRUBS PROVIDED		132 SHRUBS

LAND DEVELOPMENT CODE
ARTICLE V - LEHIGH ACRES PLANNING COMMUNITY
SEC. 35-1405 - LANDSCAPING.
(A) MATERIALS REQUIRED LANDSCAPING MATERIAL MUST BE COLD TOLERANT SPECIES.
(B) INTERNAL LANDSCAPING: NOT MORE THAN TEN PERCENT OF THE REQUIRED INTERNAL LANDSCAPE AREA, AS RELATED TO THE VEHICULAR USE AREA IDENTIFIED IN SECTION 10-416, MAY BE PLANTED IN SOIL.
(C) BUFFER: BUFFERS MUST COMPLY WITH SECTION 10-416(D) EXCEPT AS MODIFIED BELOW:
(1) COMMERCIAL PROJECTS THAT ARE PART OF MIXED-USE DEVELOPMENTS ARE NOT REQUIRED TO PROVIDE BUFFERS BETWEEN INTERNAL USES.
(2) TYPE A BUFFERS REQUIRED BETWEEN COMMERCIAL USES MUST BE DESIGNED TO ALLOW FOR PEDESTRIAN, BICYCLE, AND AUTOMOBILE CONNECTIONS THROUGH ADEQUATE SPACING BETWEEN REQUIRED TREES.
(3) WHEN COMMERCIAL, PLACE OF WORSHIP, INDUSTRIAL, OR PUBLIC ACTIVE RECREATIONAL PARK USES ADJUT SINGLE- OR MULTIPLE-FAMILY RESIDENTIAL USES A BUFFER MUST BE PROVIDED. THIS BUFFER MUST BE 25 FEET IN WIDTH WITH SEVEN TREES, A DOUBLE HEDGE ROW, AND 33 GROUNDCOVERS PER 100 LINEAR FEET. PALMS ARE LIMITED TO A MAXIMUM OF 25 PERCENT OF THE BUFFER TREE REQUIREMENT. THE HEDGE MUST BE 48 INCHES IN HEIGHT AT INSTALLATION AND BE MAINTAINED AT 72 INCHES HIGH. GROUND COVERS MUST BE A MINIMUM ONE-GALLON CONTAINER SIZE AT TIME OF PLANTING.
(4) SECTION 10-416(D)(6) DOES NOT APPLY WITHIN THE LEHIGH ACRES PLANNING COMMUNITY.

NORTH PROPERTY LINE (160 LF) - ADJACENT ZONING (ROW)
COMMERCIAL / ROW LDC SECTION 10-416(d)(3) - TYPE "D" BUFFER
MINIMUM WIDTH - 15 FT
160 LF - 25 LF = 135 LF / 100 LF = 1.35
MINIMUM # TREES / 100 LF = 5 --> 5 X 1.35 = 7 TREES
SHRUBS / 100 LF = HEDGE --> 135 / 1.5 = 90 SHRUBS

EAST PROPERTY LINE (125 LF) - ADJACENT ZONING (CPD) - IMPROVED COMMERCIAL / COM LDC SECTION 10-416(d)(3) - TYPE "A" BUFFER
BUFFER LENGTH = 125 LF - 30 LF - 24 LF CROSS ACCESS EASEMENT = 71 LF
MINIMUM WIDTH - 5 FT
MINIMUM 4 TREES / 100 LF - 4 X 71 / 100 = 3 TREES

NOTE: SOUTH AND WEST BUFFER CALCULATIONS BASED ON APPROVAL OF ADMINISTRATIVE VARIANCE SUBMITTED CONCURRENT WITH SITE PLAN APPLICATION
WEST BUFFER LENGTH = 125 LF - 15 - 15 - 20 LF CROSS ACCESS EASEMENT = 71 LF, ADJACENT WEST ZONING (CS-1) - CURRENT USE: RESIDENTIAL
PROPOSED ADDITION: 8 FT WALL
PROPOSED REDUCTION: MINIMUM BUFFER WIDTH - 10 FT PROPOSED
PROPOSED REDUCTION: MINIMUM 5 TREES / 100 LF = 5 X 0.71 = 4 TREES
PROPOSED REDUCTION: MINIMUM 18 SHRUBS / 100 LF = 18 X 0.71 = 13 SHRUBS
SOUTH PROPERTY LINE (160 LF) - ADJACENT ZONING (RS-1) - IMPROVED PARTIALLY COMMERCIAL / SFR
PROPOSED ADDITION: 8 FT WALL
PROPOSED REDUCTION: MINIMUM BUFFER WIDTH - 15 FT
PROPOSED REDUCTION: MINIMUM 5 TREES / 100 LF = 5 X 1.6 = 8 TREES
PROPOSED REDUCTION: MINIMUM 18 SHRUBS / 100 LF = 18 X 1.6 = 29 SHRUBS
NOTE: SIX(6) GENERAL TREES ALSO LOCATED ALONG THIS PROPERTY LINE EFFECTIVELY PROVIDING FOURTEEN(14) TREES ALONG THIS PROPERTY LINE

VEHICLE USE AREA (VUA)
OFF-STREET PARKING AND VEHICLE USE AREAS x 10% = 6637 SF X 0.1 = 664 SF
LANDSCAP AREA REQUIRED/PROVIDED = 664 SF
CANOPY TREES 664 SF x 1 TREE/150 SF = 5 TREES REQUIRED / PROVIDED
GROUND COVER = 664 SF X 0.9 = 598 SF REQUIRED/PROVIDED

TOTAL NUMBER OF TREES REQUIRED:	6(GEN)+7(BUF)+3(BUF)+4(BUF)+8(BUF)+5(VUA)=33
NUMBER OF TREE SPECIES REQUIRED:	
REQUIRED	MINIMUM
NO. OF TREES	NO. OF SPECIES
1-4	1
5-10	2
11-20	3
21-30	4
31+	5

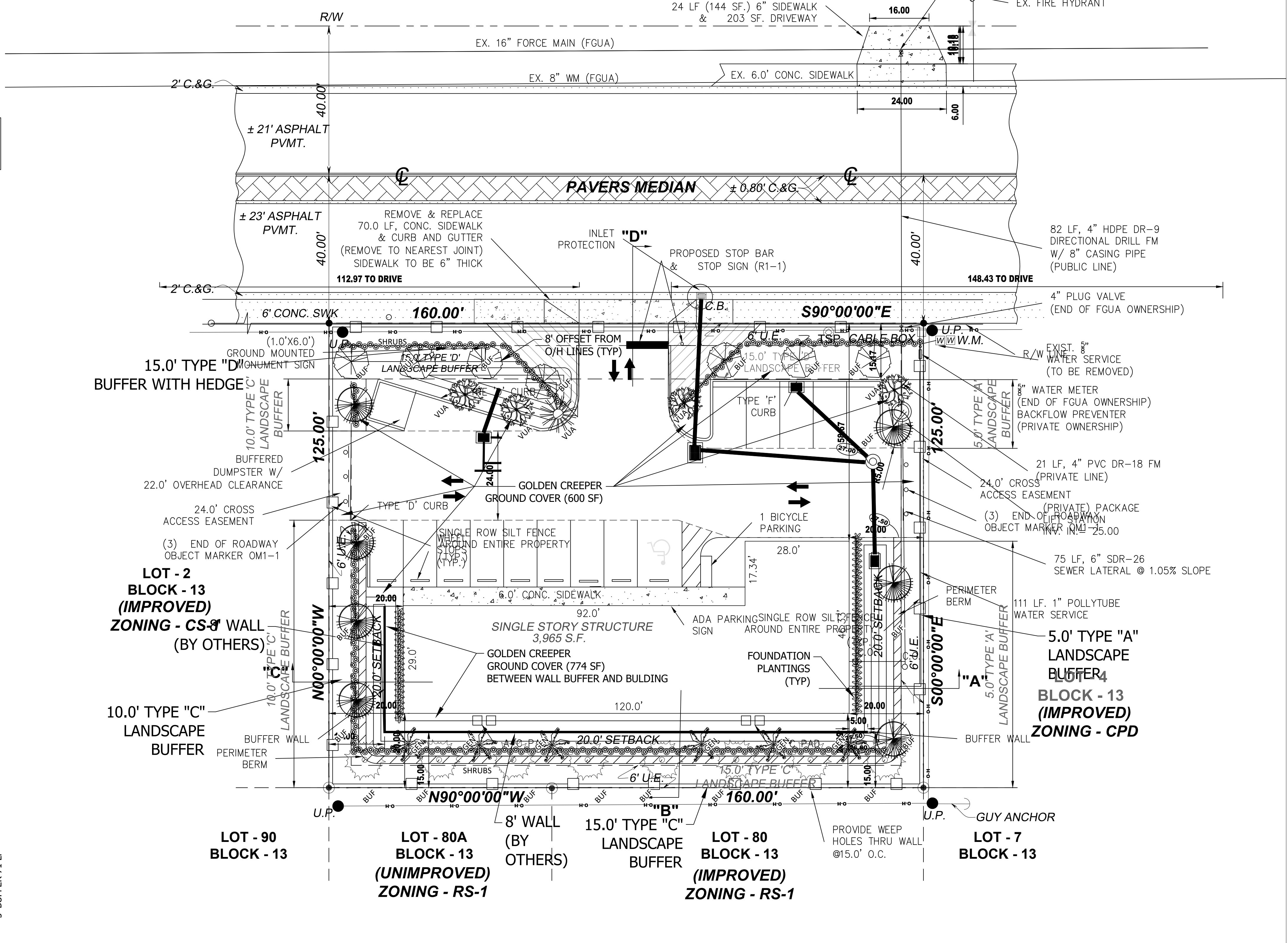
15' BUFFER 160 LF

24' WIDE CROSS ACCESS EASEMENT

10' BUFFER 58 LF

5' BUFFER 71 LF

DIAGRAM FOR BUFFER CALCULATIONS ONLY



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SIMILY COMMERCIAL CENTER

712 LEELEND HGTS BLVD W
LEHIGH ACRES FL 33936
Parcel ID: 10390930

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CONSULTANT:

SEAL:

SIGNATURE:

ROBERT E MARINI Digitally signed by ROBERT E MARINI
Date: 2025.05.20 13:55:36 -04'00'

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NO.	DATE:	DESCRIPTION:
1	1/5/2024	PER COMMENTS
2	6/6/2024	PER COMMENTS
3	2/26/2025	PER COMMENTS
4	5/19/2025	PER COMMENTS

DRAWING TITLE:
LANDSCAPE PLANS

DRAWN BY:
CG/MLP

CHECKED BY:
REM

SCALE:
AS NOTED

DATE:
5/19/2025

PROJECT NO.:

DRAWING NO.:
L-1

PROJECT LOCATION:

- CANOPY TREE NOTES:
- MINIMUM OF 10 FT HEIGHT
 - MINIMUM OF 2 INCH CALIPERS MEASURED 12 INCHES ABOVE THE GROUND
- PALM TREE NOTES:
- MINIMUM SIZE OF 16 FT UNLESS WITHIN 10 FT OF WALKWAYS, THEN 10 FT CLEAR TRUNK HEIGHT MINIMUM
- ACCENT TREE NOTES:
- MINIMUM OF 8 FT HEIGHT
 - MINIMUM OF 1 ½ INCH CALIPERS MEASURED 6 INCHES FROM THE GROUND
- SHRUB NOTES:
- MINIMUM OF 24 INCH HEIGHT
 - MINIMUM OF 32 INCH HEIGHT IF USED FOR BUFFER YARD PLANTING
 - MUST BE AT LEAST 7-GALLONS IN VOLUME AT TIME OF PLANTING
 - UP TO 20% MAY BE SUBSTITUTED FOR ORNAMENTAL GRASSES
 - SAW PALMETTOS AND COONTIES MAY BE USED TO SUBSTITUTE SHRUBS IF THEY ARE 12 INCHES IN HEIGHT AT TIME OF PLANTING
- GROUNDCOVER/SOD NOTES:
- SOD MUST BE PLANTED WITH NO GAPS OR OVERLAPS
 - GROUNDCOVERS MUST BE PLANTED NO MORE THAN 24 INCHES APART FOR ONE GALLON POTS OR 12 INCHES APART FOR 4 INCH POTS

- NOTES:
1. A MINIMUM OF 50% REQUIRED CANOPY TREES AND ACCENT TREES AS WELL AS 30% OF REQUIRED SHRUBS AND GROUNDCOVERS MUST BE FLORIDA NATIVE
 2. THE INSTALLED TREES WILL HAVE A MINIMUM 4-FOOT SPREAD PER SEC 10-420(c)(1)
 3. PRIOR TO ANY SITE WORK, A VEGETATION REMOVAL PERMIT MUST BE OBTAINED.
 4. PER LDC 10-421(a)(5) NO CODE REQUIRED TREES OR SHRUBS MAY BE LOCATED IN ANY UTILITY OR DRAINAGE EASEMENT.

IRRIGATION NOTES: THE LANDSCAPED AREAS OF THE ENTIRE PROJECT SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A CONTROLLER SET TO CONSERVE WATER. A MOISTURE DETECTION DEVICE SHALL BE INSTALLED TO OVERRIDE THE SPRINKLER ACTIVATION MECHANISM DURING PERIODS OF INCREASED RAINFALL. THE RAIN SENSOR SHALL BE POSITIONED SO THAT IT WILL RECEIVE DIRECT RAINFALL AND NOT BE IMPEDED BY ANY OTHER OBJECTS. ALL REQUIRED IRRIGATION SYSTEMS SHALL BE LAID OUT SO THAT WATER IS NOT APPLIED TO IMPERVIOUS SURFACES; INCLUDING ROADS, DRIVES AND OTHER VEHICULAR USE AREAS. REQUIRED IRRIGATION SHALL BE DESIGNED TO AVOID DAMAGE TO EXISTING NATIVE VEGETATION FROM OVER WATERING OR FROM PHYSICAL CONFLICTS WITH PLANT ROOTS. "RAINBIRD" IRRIGATION SUPPLIES OR EQUAL SHALL BE UTILIZED, ALL LANDSCAPED AREAS WILL BE ADEQUATELY SLEEVED FOR IRRIGATION.

THE IRRIGATION SYSTEM SHALL BE PROPERLY MAINTAINED AND OPERATED CONSISTENT WITH WATERING SCHEDULES ESTABLISHED -BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT, OR THE CITY OF CAPE CORAL, WHICHEVER IS MORE RESTRICTIVE. EXISTING NATIVE PLANTS ARE EXEMPT FROM THIS REQUIREMENT. AUTOMATIC CONTROL SYSTEMS SHALL BE EQUIPPED WITH AN OPERABLE RAIN SENSOR OR OTHER DEVICES, SUCH AS SOIL MOISTURE SENSORS, TO PREVENT UNNECESSARY IRRIGATION. IRRIGATION SYSTEM TO BE INSTALLED TO PROVIDE 100% COVERAGE (HEAD TO HEAD) TO CODE REQUIRED PLANTINGS. IRRIGATION CONNECTION SHALL BE DETERMINED BY OWNER. DRY RETENTION AREAS SHALL BE IRRIGATED FROM THE TOP OF BANK TO THE BOTTOM OF THE SLOPE ONLY. PARKING ISLANDS AND BUILDING PERIMETER PLANTINGS SHALL HAVE SPRAY TYPE HEADS OR FLOOD BUBBLER TYPE IRRIGATION. CONTRACTOR TO DETERMINE IRRIGATION ZONE DELINEATION AND PIPE SIZING TO ENSURE WATER VELOCITY SHALL NOT EXCEED 5 FEET PER SECOND THROUGH ANY PIPING OR IRRIGATION COMPONENT. ALL IRRIGATION PIPING INSTALLED UNDER PAVEMENT SHALL BE INSTALLED IN SLEEVES EITHER EXISTING OR ADDED AS PART OF THE RENOVATION.

OPEN SPACE CALCULATION LDC 10-415

OPEN SPACE REQUIREMENT: COMMERCIAL SMALL DEVELOPMENT 20%

SITE AREA = 20,000 SF
BLDG AREA = 3965 SF
PAVEMENT & CONCRETE = 7626 SF
OPEN SPACE AREA = 8409 SF (42.04%)

REQUIRED (20%) = 4,000 SF PROVIDED (42.049%) 8,409 SF

SITE AREA = 20,000 SF
PAVEMENT & CONCRETE 7626 SF

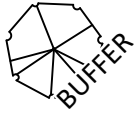
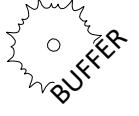
BLDG. AREA = 3,965 SF

OPEN SPACE AREA = 8,409 SF (42.04 %)

NOT TO SCALE

PROHIBITED INVASIVE EXOTICS	
COMMON NAME	SCIENTIFIC NAME
EARLEAF ACACIA	ACACIA AURICULIFORMIS
WOMAN'S TONGUE	ALBIZIA LEBBECK
BISHOPWOOD	BISCHOFIA JAVAICA
AUSTRALIAN PINES	ALL CASUARINA SPECIES
CARROTWOOD	CUPIANOPSIS ANACARDIOIDE
ROSEWOOD	DALBERGIA SISSOO
AIR POTATO	DIOSCOREA ALATA
MURRAY RED GUM	EUCALYPTUS CAMALDULERSIS
CUBAN LAUREL FIG	FICUS MICROCARPA
JAPANESE CLIMBING FERN	LYGODIUM JAPONICUM
OLD WORLD CLIMBING FERN	LYGODIUM MICROPHYLLUM
MELALEUCA, PAPER TREE	MELALEUCA QUINQUENERVIA
DOWNY ROSE MYRTLE	RHODOMYRTUS TOMENTOSUS
CHINESE TALLOW	SAPIUM CEBIFERUM
BRAZILLIAN PEPPER, FLORIDA HOLLY	SCHIRUS TEREBINTHIFOLIUS
TROPICAL SODA APPLE	SOLANUM VIARUM
JAVA PLUM	SYZYGIUM VIARUM
ROSE APPLE	SYZYGIUM JAMBOS
CORK TREE	THESPESIA POPULNEA
WEDELIA	WEDELIA TRIOBARA
WEeping FIG	FICUS BENJAMINA

PROHIBITED SUBSTITUTIONS FOR CANOPY TREES	
COMMON NAME	BOTANICAL NAME
ARECA PALM	CHRYSLIDOCARPUS LUTECENS
BAMBOO PALM	CHEMEDOREA SPP.
CHRISTMAS PALM	ADONIDIA MERRILLII
DWARF PALMETTO	SABAL MINOR
EUROPEAN FAN PALM	CHAMAEROPS HUMILIS
LADY PALM	RHAPIS EXCELSA
MAJESTY PALM	RAVENEA GLAUCA
NEEDLE PALM	RHAPIDOPHYLIUM HYSTRIX
PYGMY PALM	PHOENIX ROEBELLINI
SAW PALMETTO	SERENOA REPENS
SILVER PALM	COCCOTHRINAX ARGENTATA
THATCH PALM	THRINAX SPP.

LANDSCAPE PLANT LIST							
SYMBOL	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE AND SPECIFICATIONS	MINIMUM CALIPER (12" ABOVE GROUND)	CATEGORY	NATIVE
	7	PIGEON PLUM (CANOPY)	COCCOLOBA DIVERSIFILIA	MIN. 10' HEIGHT	2" MIN.	BUFFER (ADJACENT TO POWER LINES ALONG FRONT P/L)	YES
	1	GOLDEN SHOWER (CANOPY)	CASSIA FISTULA	MIN.10' HEIGHT	2" MIN	VEHICLE USE AREAL	NO
	8	LAUREL OAK (CANOPY)	QUERCUS LAURIFOLIA	MIN 10' HEIGHT	2" MIN	BUFFER	YES
	4	RED MAPLE (CANOPY)	ACER RUBRUM	MIN 10' HEIGHT	2" MIN	VEHICLE USE AREA	YES
	6	POND CYPRESS (CANOPY)	TAXODIUM ASCENDENS	MIN 10' HEIGHT	2" MIN	GENERAL	YES
	7	SHADY LADY (CANOPY)	BUCID BUCERAS	MIN 10' HEIGHT	2" MIN	BUFFER	NO
TOTAL CANOPY TREES	33					NATIVE % 25/32 = 78%	
	132	WILD COFFEE	PSYCHOTRIA NERVOSA	7 GAL CONTAINER MIN 24" HT AT PLANTING		FOUNDATION PLANTINGS	YES
	132	SIMPSON STOPPER	MYRCIANTHES FRAGRANS	7 GAL CONTAINER MIN 24" HT AT PLANTING		R/W BUFFER SHRUBS	YES
	600 SF	GOLDEN CREEPER	ERNODEA LITTORALIS			GROUNDCOVER	YES
	774 SF	GOLDEN CREEPER	ERNODEA LITTORALIS	LOCATED BETWEEN THE WALL BUFFER AND BUILDING		GROUNDCOVER	YES
	9229 SF	BAHIA SOD GRASS		INSTALL W/ NO GAPS OR OVERLAPS		ADJACENT TO ROAD, PERIMETER OF PROPERTY	NO

MULCHING NOTE: EXCEPT FOR PLANTINGS IN OR NEAR SURFACE WATER MANAGEMENT AREAS, A TWO-INCH MINIMUM LAYER OF ORGANIC MULCH, MEASURED AFTER WATERING-IN, SHALL BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED CANOPY TREES, ACCENT TREES, PALM TREES AND SHRUBS. EACH TREE SHALL HAVE ORGANIC MULCH NO LESS THAN 36 INCHES BEYOND ITS TRUNK IN ALL DIRECTIONS. ALL MULCH SHALL BE KEPT AWAY FROM THE TRUNKS AND STEMS OF PLANTS SO AS TO AVOID CONDITIONS THAT MAY BE CONDUCTIVE TO COLLAR ROT. BASAL CANKER OR OTHER FUNGI.

GENERAL NOTES: NONE OF THE EXISTING TREES ONSITE SHALL BE CUT DOWN DURING CONSTRUCTION EXCEPT FOR THOSE WITHIN THE CONSTRUCTION ZONE LIMIT OF WORK, THAT ARE NOT INDICATED TO BE SAVED. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED TO INSPECT THE SITE FOR TREE PROTECTION MEASURES PRIOR TO CLEARING AND AFTER STAKEOUT HAS OCCURRED.

GENERAL NOTE: THE EXTENT OF DEVELOPMENT SHOWN ON THIS PLAN MAY BE EFFECTED BYANALYSES OF THE PRESENCE OF WETLAND AREAS AND PROTECTED WILDLIFE HABITAT. THIS LEVEL OF ANALYSIS IS REQUIRED BY FEDERAL, STATE AND/OR LOCAL DEVELOPMENT REGULATIONS, AND HAS NOT BEEN PERFORMED BY NATIVE LANDSCAPES. WE THEREFORE TAKE NO RESPONSIBILITY FOR THE DEPICTION OF THIS LEVEL OF INFORMATION.

(PCT) PROTECTED CREDIT TREE NOTE: IF THE PCT'S DIE WITHIN THREE YEARS FROM THE DEVELOPMENT ORDER CERTIFICATE OF COMPLIANCE, THEY MUST BE REPLACED BY THE NUMBER OF CREDIT TREES TAKEN. CREDITS WILL APPLY WHERE THE PRESERVED TREE IS IN A BARRICADED AREA THE FULL CROWN SPREAD OF THE TREE FOR PINES. SEE DETAIL 3 FOR BARRICADE INFORMATION. SEE PCT LABELS FOR CALIPER OF PROTECTED CREDIT TREES. EXISTING GRADE TO REMAIN AROUND EXISTING PCT's, TREE WELLS TO BE PROVIDED WHERE NECESSARY.

SITE PREPARATION: ALL EXOTIC VEGETATION AS DEFINED BY THE LAND DEVELOPMENT CODE SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL IN PERPETUITY SHALL BE THE RESPONSILTY OF THE PROPERTY OWNER. ALL VEGETATION TO REMAIN SHALL BE PROTECTED WITH APPROVED BARRICADING (DETAIL SHOWN) AND BARRICADING WILL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION. BARRICADING SHALL BE LOCATED AS SHOWN ON THE DETAIL OR SITE CLEARING PLAN. HERITAGE TREE REPLACEMENT: WHERE HERITAGE TREES LIE OUTSIDE OF THE INDIGENOUS PRESERVE AREA THEY SHALL BE PROTECTED TO THE EXTENT OF THEIR DRIP LINE AS DEPICTED IN THE TREE PROTECTION DETAIL.

COMPONENT SPECIFICATIONS:

CONTROLLER
RAIN SENSOR
SOLENOID VALVES
PERFORMANCE SPECIFICATIONS
ROTOR TYPE IRRIGATION HEADS
PERFORMANCE SPECIFICATIONS
SPRAY TYPE IRRIGATION HEADS
PERFORMANCE SPECIFICATIONS
FLOOD BUBBLER TYPE IRRIGATION HEADS

RAIN BIRD ESP SERIES 4 STATION
OUTDOOR CONTROLLER MINI-CLICK II
RAIN BIRD PEB SERIES VALVES 1" TO 2"
SIZE 20-200 PSI, 25-200 GPM
RAIN BIRD T-BIRD SERIES
RADIUS 16'-50'
2.5-65 PSI, 63-9.1 GPM
RAIN BIRD UNI-SPRAY SERIES 6" POP-UP
RADIUS 7'-18'
15-70PSI, 48-5.32 GPM RAIN BIRD
UNI-SPRAY SERIES 6" POP-UP

(OR APPROVED EQUAL)

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SIMILY COMMERCIAL CENTER

712 LEE LAND HEIGHTS BLVD W
LEHIGH ACRES, FL
Parcel ID: 10390930

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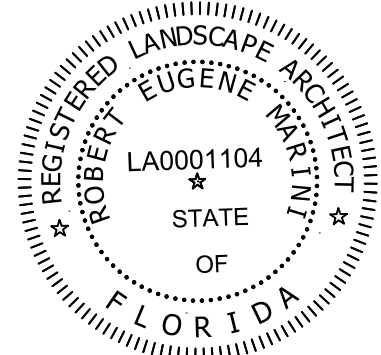


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CONSULTANT:

SEAL:



SIGNATURE:

ROBERT E MARINI Digitally signed by
ROBERT E MARINI
Date: 2025.05.20
13:56:09 -04'00'

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REVISION: 

NO.	DATE:	DESCRIPTION:
1	1/6/2023	PER COMMENTS
3	2/26/2025	PER COMMENTS
4	5/19/2025	PER COMMENTS

DRAWING TITLE:

LANDSCAPE PLANS

DRAWN BY:
CG/MP

CHECKED BY:
REM

SCALE:
AS NOTED

DATE:
5/19/2025

PROJECT NO.:
N/A

DRAWING NO.:

L-2

PROJECT LOCATION: