

RESOLUTION NUMBER Z-21-012

RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

WHEREAS, Alan C. Freeman as Trustee, filed an application on behalf of the property owners, Alico North 26 LLC 30%, David H. Goldberg as Manager of Alico Aries, LLC, David Howard Goldberg as Trustee of Alico Aries Trust, LLC, David H. Goldberg as Manager of Alico North 26 EF, LLC, and David H. Goldberg as Manager of Alico North 26, LLC, to rezone a 75.85± acre parcel from Agriculture (AG-2) to Mixed-Use Planned Development (MPD), in reference to Three Oaks Logistics Center; and

WHEREAS, a public hearing before the Lee County Zoning Hearing Examiner, Donna Marie Collins, was advertised and held on August 26, 2021. At the conclusion of the hearing, the Hearing Examiner left the record open and requested Staff and the Applicant to submit written submissions to her Office on or before September 3, 2021; and

WHEREAS, the Hearing Examiner gave full consideration to the evidence in the record for Case #DCI2020-00014 and recommended APPROVAL of the Request with conditions; and

WHEREAS, a second public hearing was advertised and held on October 6, 2021 before the Lee County Board of Commissioners; and,

WHEREAS, the Lee County Board of Commissioners gave full and complete consideration to the recommendations of the staff, the Hearing Examiner, the documents on record and the testimony of all interested persons.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS:

SECTION A. REQUEST

The applicant filed a request to rezone a 75.85± acre parcel from AG-2 to MPD to allow 1,050,000 square feet of office, retail, commercial, and industrial uses; and approve 13 deviations from the Land Development Code (LDC).

The property is located in the Industrial Development and Industrial Commercial Interchange Future Land Use Categories and is legally described in attached Exhibit A. The request is APPROVED, SUBJECT TO the conditions and deviations specified in Sections B and C below.

SECTION B. CONDITIONS:

All references to uses are as defined or listed in the Lee County Land Development Code (LDC).

1. Development of this project must be consistent with the one-page Master Concept Plan (MCP) entitled "Three Oaks Logistics Center," prepared by Quattrone & Associates, Inc., date stamped received August 31, 2021, and attached hereto as Exhibit C, except as modified by the conditions below. Development must comply with all requirements of the LDC at time of local development order approval, except as may be granted by deviation as part of this planned development. If changes to the MCP are subsequently pursued, appropriate approvals will be necessary.

Approved Development Parameters

This project is approved for 1,050,000 square feet of commercial and industrial development floor area as follows:

510,000 square feet industrial floor area and
540,000 square feet commercial floor area.

Approved square footage may be distributed on parcels east and west of Oriole Road as follows:

West of Oriole Road: 500,000 total square footage. A maximum of 20% of the square footage west of Oriole Road may be developed with commercial or retail uses (100,000 square feet).

East of Oriole Road: 550,000 total square footage. A maximum of 80% of the square footage east of Oriole Road may be developed with commercial or retail uses (440,000 square feet).

This zoning resolution approves 13 deviations from the LDC. Building heights may not exceed 65 feet.

2. Permitted Uses and Site Development Regulations

a. Schedule of Uses

Tracts A & B

(Subtracts A-1 through A-4 and B-1 through B-4)

Accessory Uses and Structures

Administrative Offices

Agricultural Uses and Agricultural Accessory Uses (Subject to Condition 3)

Aircraft Food Services and Catering

Animals: Clinic or Kennel

Automobile Repair and Service: All Groups

Automobile Service Station (Limited to One for the MPD)

Bait and Tackle Shop

Banks and Financial Establishments: All Groups

Bar or Cocktail Lounge

Boats:

Boat Parts Store

Repair and Service

Sales

Dry Storage

Broadcast Studio, Commercial Radio and Television

Building Material Sales

Business Services: All Groups

Bus Station/Depot

Caretaker's Residence

Car Wash

Cleaning and Maintenance Services

Clothing Stores, General

Clubs: Commercial & Fraternal, Membership Organization
Cold Storage, Pre-Cooling, Warehouse & Processing Plant
Computer and Data Processing Services
Consumption on Premises in conjunction with restaurant or bar or cocktail lounge
Contractors and Builders: All Groups
Convenience Food and Beverage with a maximum of 20 fuel pumps (Limited to one for the entire MPD)
Cultural Facilities
Day Care Center: Child, Adult
Department Store
Drive through Facility for any Permitted Use
Drugstore/Pharmacy
Emergency Operations Center
EMS, Fire or Sheriff's Station
Entrance Gates and Gatehouse
Essential Services
Essential Service Facilities: Group I
Excavation: Water Retention
Excess Spoil Removal
Factory Outlets, Point of Manufacture Only
Fences, Walls
Food and Beverage Service, Limited
Food Stores: All Groups
Freight or Cargo Handling Systems
Funeral Home and Mortuary (with or without crematorium)
Gasoline Dispensing System, Special
Gift and Souvenir Shop
Hardware Store
Health Care Facilities: All Groups
Hobby, Toy and Game Shops
Household and Office Furnishings: All Groups
Insurance Companies
Laundry or Dry Cleaning: All Groups
Lawn & Garden Supply Store
Library
Maintenance Facility (Government)
Manufacturing of:

- Apparel Products
- Boats
- Chemical and Allied Products: All Groups
- Electrical Machinery and Equipment
- Fabricated Metal Products, Groups II, III
- Food and Kindred Products, Groups II, III
- Furniture and Fixtures
- Leather and Leather Products, Group II
- Lumber and Wood Products, Group II
- Machinery, all groups
- Measuring, Analyzing and Controlling Instruments
- Novelties, Jewelry, Toys and Signs, All Groups
- Paper and Allied Products, Groups II, III
- Rubber and Plastic Products, Group II

- Stone, Clay, Glass and Concrete Products, Group I
- Textile Mill Products: All Groups
- Transportation Equipment, Group I

Medical Office

Motion Picture Production Studio

Nightclubs (limited to one for the entire MPD)

Non-store Retailers: All Groups

Paint, Glass and Wallpaper

Parcel and Express Services

Package Store

Parks, Groups I, II

Parking Lot:

Accessory

Commercial

Garage

Temporary

Personal Services: All Groups (Excluding Steam or Turkish Baths, Escort Services, Palm Readers, Fortunetellers or Card Readers)

Pet Services

Pet Shop

Photofinishing Laboratory

Place of Worship

Plant Nursery

Post Office

Printing and Publishing

Processing and Warehousing

Real Estate Sales Office

Recreation Facilities Commercial: Groups I, III, and IV

Rental or Leasing Establishment: All Groups

Repair Shops: Groups I, II, III and IV

Research and Development Laboratories: All Groups

Restaurant, Fast Food

Restaurants: All Groups

Retail and wholesale sales, when incidental and subordinate to the principal use on same premises

Schools:

Commercial

Noncommercial

Signs

Social Services: Groups I, II

Specialty Retail Shops: All Groups

Storage: Open & Indoor

Studios

Temporary Uses

Theater, Indoor

Transportation Services: Groups II, III and IV

Used Merchandise Stores: All Groups

Variety Store

Vehicle & Equipment Dealers: All Groups

Warehouse:

Mini-warehouse,
Private,
Public,

Wholesale Establishments: Groups I, II, and IV

Tracts C and D

Accessory Uses and Structures

Administrative Offices

Agricultural Services: Office/Base Operations

Agricultural Uses and Agricultural Accessory Uses (Subject to Condition 3)

Aircraft Food Services and Catering

Animals: Clinic or Kennel

Automobile Repair and Service: All Groups

Banks and Financial Establishments: Group I

Boats:

Boat Parts Store

Repair and Service

Sales

Dry Storage

Broadcast Studio, Commercial Radio and Television

Building Material Sales

Business Services: All Groups

Bus Station/Depot

Caretaker's Residence

Car Wash

Cleaning and Maintenance Services

Cold Storage, Pre-Cooling, Warehouse & Processing Plant

Computer and Data Processing Services

Consumption on Premises in conjunction with restaurant

Contractors and Builders: All Groups

Drive through Facility for any permitted use

Drugstore/Pharmacy

Emergency Operations Center

EMS, Fire or Sheriff's Station

Entrance Gates and Gatehouse

Essential Services

Essential Service Facilities: Group I

Excavation: Water Retention

Excess Spoil Removal

Fences, Walls

Food and Beverage Service, Limited

Freight or Cargo Handling Systems

Gasoline Dispensing System, Special

Hardware Store

Hobby, Toy and Game Shops

Household and Office Furnishings: All Groups

Laundry or Dry Cleaning: All Groups

Lawn & Garden Supply Store

Maintenance Facility (Government)

Manufacturing of:

- Apparel Products
- Boats
- Chemical and Allied Products: All Groups
- Electrical Machinery and Equipment
- Fabricated Metal Products, Groups II, III
- Food and Kindred Products, Groups II, III
- Furniture and Fixtures
- Leather and Leather Products, Group II
- Lumber and Wood Products, Group II
- Machinery, All groups
- Measuring, Analyzing and Controlling Instruments
- Novelties, Jewelry, Toys and Signs, All Groups
- Paper and Allied Products, Groups II, III
- Rubber and Plastic Products, Group II
- Stone, Clay, Glass and Concrete Products, Group I
- Textile Mill Products: All Groups
- Transportation Equipment, Group I

Medical Office

Motion Picture Production Studio

Non-store Retailers: All Groups

Paint, Glass and Wallpaper

Parcel and Express Services

Parking Lot:

- Accessory
- Commercial
- Garage
- Temporary

Personal Services: All Groups (Excluding Steam or Turkish Baths, Escort Services, Palm Readers, Fortunetellers or Card Readers)

Pet Services

Pet Shop

Photofinishing Laboratory

Place of Worship

Post Office

Printing and Publishing

Processing and Warehousing

Real Estate Sales Office

Recreation Facilities Commercial: Groups I, III, and IV

Rental or Leasing Establishment: All Groups

Repair Shops: Groups I, II, III and IV

Research and Development Laboratories: All Groups

Restaurants: Groups I, II

Retail and wholesale sales, when incidental and subordinate to a principal use on same premises

Schools:

- Commercial
- Noncommercial

Signs

Social Services: Groups I, II

Specialty Retail Shops: All Groups

Storage: Open & Indoor
 Studios
 Temporary Uses
 Transportation Services: Groups II, III and IV
 Truck Stop, Trucking Terminal
 Used Merchandise Stores: All Groups
 Vehicle & Equipment Dealers: All Groups
 Warehouse: Mini-warehouse, Private, Public
 Wholesale Establishments: Groups I, III and IV

b. Site Development Regulations

Minimum Lot Area and Dimensions

Lot Size:	10,000 square feet
Lot Width:	100 feet
Lot Depth	100 feet

Minimum Setbacks

Street, Public	25 feet
Internal Street	20 feet
Side	10 feet
Rear	15 feet
Water Body	20 feet (top of bank)

Minimum Perimeter Setbacks	15 feet / 25 feet (Industrial Uses)
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Accessory Uses:	Per LDC §34-1171 <i>et seq.</i>
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Maximum Lot Coverage:	40%
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Minimum Open Space:	Commercial 30%
	Industrial 20%

Maximum Building Height:	65 feet (height in excess of 35 feet must maintain additional building setbacks and separation per LDC §34-2174(a))
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Building Separation:	The greater of one-half the sum of the heights of both buildings, or 20 feet.
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3. Agricultural Uses

Existing bona fide agricultural uses (livestock pasture) on this site are allowed uses in compliance with the following:

- a. Bona fide agricultural uses in the form of cattle grazing currently exist on the entire 75.85-acre property. Bona fide agricultural uses may continue on any portion of the property that meets the state requirements for bona fide agricultural use of the

property. The approved existing agricultural uses may not be expanded beyond the boundaries that existed at the time of rezoning. No new agricultural uses are authorized.

- b. Upon rezoning, additional clearing of trees or other vegetation in agricultural areas must receive a vegetation removal permit from Lee County as provided for in the Lee County Development Code. Existing areas of bona fide agricultural use may be maintained, i.e., mowed, but not cleared or expanded. This prohibition is not intended to preclude County approval requests for the removal of invasive exotic vegetation.
- c. Existing agricultural uses within a tract or phase must be discontinued upon local development order approval for development defined in LDC Chapter 34. Development not included within the Chapter 34 definition but that requires a development order under Chapter 10 (including but not limited to plats, lots splits, and lot re-combinations) will not trigger the requirement to discontinue agricultural uses.

4. Development Permits

County development permits do not establish a right to obtain permits from state or federal agencies. Further, it does not establish liability on the part of the County if Developer: (a) does not obtain requisite approvals or fulfill obligations imposed by state or federal agencies or (b) undertakes actions in violation of state or federal law.

5. Environmental

- a. Burrowing Owls. Prior to the issuance of a vegetation removal permit, developer must provide documentation from the Florida Fish and Wildlife Conservation Commission (FWCC) for burrowing owl impacts.
- b. Open Space. The development must provide a minimum of 15.59 acres of open space. Commercial uses must provide 30% open space and industrial uses must provide 20% open space.
- c. Substitution of Plant Material. Prior to development order approval, native wetland trees may be substituted for up to 100% of the total number of herbaceous plants required. One tree (minimum ten-foot-height; two-inch caliper, with a four-foot spread) may be substituted for 100 herbaceous plants.
- d. Street Trees Internal to Project. Development order plans must depict street trees on one side of streets internal to the project. Street trees must include the following:
 - i. Nine palm trees per 100 linear feet; and
 - ii. Palm trees must be native species; and
 - iii. Palm trees must be specified at staggered heights ranging from ten to fourteen-foot clear trunk.
 - iv. Palm trees may be clustered.

- e. Right-of-Way Buffer. Development order landscape plans must depict a Type-D right-of-way buffer. The right-of-way buffer must be at a minimum 7.5 feet in width with 15 native palm trees every 100 linear feet. The native palms must be clustered in groups of three with staggered heights ranging from 10-foot clear trunk to 14-foot clear trunk.

6. Airport Noise

The developer, successor or assign acknowledges the property's proximity to Southwest Florida International Airport and the potential for noises created by and incidental to the operation of the airport as outlined in LDC §34-1104. The developer, successor or assign acknowledges that a disclosure statement is required on plats, and in association documents for condominium, property owner and homeowner associations as outlined in LDC §34-1104(b).

7. Water Retention/ Detention Excavation Setbacks

The developer must provide for the protection of wayward vehicles using guardrails, berms, swales, vegetation or other methods as determined by the Lee County Development Services Manager.

8. Internal Roads and Accessways

Hammer head turnarounds are approved only where noted on the MCP. Development of hammer head configurations on individual tracts require additional deviations.

9. Signs

Developer must submit a detailed, final sign package covering proposed signs along Three Oaks Parkway Extension and Oriole Road for review and approval by the Department of Community Development in conjunction with the first local development order for the property.

- a. Ground mounted identification signs must have a minimum separation of 300 feet on Oriole Road and 400 feet on Three Oaks Parkway.
- b. Ground mounted identification signs must have a maximum height of 20 feet.

SECTION C. DEVIATIONS:

- 1A Connection Separation on Three Oaks Parkway. Deviation (1A) seeks relief from LDC §10-285(a) Table 1, which requires a minimum connection separation of 440 feet on minor arterial roads with speed limit of 45 miles per hour, to allow minimum separation of 100 feet between the project's southernmost driveway and the FPL Patrol Road. This deviation is APPROVED.
- 1B Connection Separation on Oriole Road. Deviation (1B) seeks relief from LDC §10-285(a) Table 1, which requires a minimum connection separation of 245 feet on major collector roads with speed limit of 30 miles per hour, to allow minimum separation of 100 feet on Oriole Road between the project's southernmost driveway and the FPL Patrol Road. This deviation is APPROVED.

- 2A Excavation Setback Standards. Deviation (2A) seeks relief from LDC §10-329(d)(1)a.2, which requires that no excavation will be allowed within 50 feet of an existing or proposed right-of-way line or easement for a collector or arterial street, to allow a 25-foot setback. This deviation is APPROVED, SUBJECT TO Condition 7.
- 2B Excavation Setback Standards. Deviation (2B) seeks relief from LDC §10-329(d)(1)a.3, which requires that no excavation will be allowed within 50 feet of a private property line under separate ownership, to allow a 25-foot setback and/or to allow a zero-foot setback when the lake is combined with an adjacent property lake. This deviation is APPROVED.
- 2C Excavation Bank Slopes. Deviation (2C) seeks relief from LDC §10-329(d)(4), which requires excavations to be sloped at a ratio not greater than six horizontal to one vertical from the top of bank to a water depth of two feet below the dry season water table, to allow the existing lake bank to be sloped at a ratio of four horizontal to one vertical. This deviation is APPROVED.
- 2D Excavation Fencing. Deviation (2D) seeks relief from LDC §10-329(d)(6), which requires a four-foot fence around water retention excavations when located less than 100 feet from a property under separate ownership, to allow no fencing around existing and proposed lakes. This deviation is APPROVED.
- 3A Landscape Standards – Buffering Adjacent Property. Deviation (3A) seeks relief from LDC §10-416(d)(4)(note3), which limits palm trees to a maximum of 50 percent of the right-of-way tree requirement, to allow palms to comprise 100 percent of the right-of-way tree requirement along Three Oaks Parkway for Tracts A-1, A-2, B-1 and B-2. This deviation is APPROVED.
- 3B Surface Water Management Systems. Deviation (3B) seeks relief from LDC §10-418(2)a, which requires all surface water management systems to provide a planted littoral shelf mimicking the function of a natural marsh, to provide no littoral shelf. This deviation is APPROVED.
- 3B-1 Surface Water Management Systems. Deviation (3B-1) seeks relief from LDC §10-418(2)(d)(3), which allows native wetland trees to be substituted for up to 25% of required herbaceous plants, to substitute native wetland trees for 100% of the required herbaceous plants. This deviation is APPROVED, SUBJECT TO Condition 5c.
- 4A Street Design and Construction Standards – Street Trees. Deviation (4A) seeks relief from LDC §10-296(e)(2)d, which requires street trees to be planted on both sides of the road in a 6-foot planting area between the sidewalk and road edge of pavement, required small trees must be evenly spaced along the frontage and not clustered, and limits palm trees to a maximum of 50 percent of the required small trees, to allow trees to be planted on only one side of the road, and to allow 100% of the trees to be clustered palm trees. This deviation is APPROVED, SUBJECT TO Condition 5d.
- 4B Street Design and Construction Standards - Culs-de-sac. Deviation (4B) seeks relief from LDC §10-296(k)(1), which requires that dead-end streets must be closed at one end by a circular turnaround for vehicles, to allow internal roads and accessways to be constructed with a hammer head road configuration instead of culs-de-sac. This deviation is APPROVED, SUBJECT TO Condition 8.

5A, 5B Signs in Commercial and Industrial Areas. Deviations (5A) and (5B) relief from LDC §§ 30-153(2)a and 30-153(2)(a)1.ii., which establishes a limitation of one identification sign equal to one square foot of sign area per face for every one linear foot of frontage, to allow two additional ground-mounted identification signs, located on each of the project's road frontages on Three Oaks Parkway and on the west and east sides of Oriole Road, with a sign area not to exceed 200 square feet per sign (total of 9 signs). These deviations are APPROVED, SUBJECT TO Condition 9.

SECTION D. EXHIBITS:

The following exhibits are attached to this resolution and incorporated by reference:

- Exhibit A: Legal description of the property
- Exhibit B: Zoning Map (with the subject parcel indicated)
- Exhibit C: The Master Concept Plan

SECTION E. FINDINGS AND CONCLUSIONS:

Based upon its review, the Board of County Commissioners adopts the recommendation of the Hearing Examiner, including the following findings and conclusions:

1. The proposed Mixed Use Planned Development complies with the Lee Plan. Lee Plan Vision Statement Paragraph 10 (Gateway/Airport), Lee Plan Goals 2, 4, 6, 7, 61, 77, 158, Objectives 1.7, 2.1, 2.2, 4.1, 11.1, 47.2, 126.2, 158.3, Policies 1.1.7, 1.7.1, 2.1.2, 2.2.1, 6.1.1, 6.1.4, 6.1.5, 6.1.7, 7.1.1, 7.1.2, 7.1.3, 7.1.5, 7.1.9, 7.1.10, 61.3.6, 158.3.5.
2. As conditioned, the Mixed Use Planned Development:
 - a. Meets the LDC and other county regulations or qualifies for deviations. LDC §§ 2-265, 2-385, 10-287, 10-321, 10-415, 10-416(d), 10-1104, 34-411, 34-413, 34-491, 34-612(2), 34-935(g), 34-1104, 34-1110(a);
 - b. Is compatible with existing and planned uses in the surrounding area. Lee Plan Policies 2.1.2, 2.2.1, 6.1.3, 6.1.4, 7.1.2, 7.1.3;
 - c. Provides access sufficient to support the proposed development intensity. Expected impacts on transportation facilities will be addressed by county regulations and conditions of approval. Lee Plan Objective 39.1, Policies 2.2.1, 6.1.1, 6.1.3, 6.1.5, 7.1.1, 7.1.2, 7.1.5, 38.1.1, 39.1.1; LDC §§ 34-411(d) and (e);
 - d. Will not adversely affect environmentally critical areas and natural resources. Lee Plan Goals 61, 77, Objectives 77.2, 77.3, 126.2, Policies 54.1.1, 54.1.3, 60.4.1, 61.2.4, 61.3.6, 61.3.11, 123.4.5, 126.2.1, Standard 4.1.4; and
 - e. Will be served by urban services including paved roads, potable water, sanitary sewer, urban surface water management, police, fire, and emergency services. Lee Plan Glossary, Lee Plan Goals 2, 4, Objectives 2.1, 4.1, 6.1, 7.1, Policies 2.2.1, 6.1.4, 7.1.1, 7.1.5, 7.1.6, Standards 4.1.1 and 4.1.2 and Maps 6, 7; LDC §34-411(d).

3. The proposed uses are appropriate at the proposed location. Lee Plan Goal 158, Objective 2.1, Policies 2.1.1, 2.1.2, 6.1.1, 6.1.2, 7.1.1, 7.1.2, 7.1.3.
4. Recommended conditions and applicable regulations provide sufficient safeguards to protect the public interest. In addition, recommended conditions reasonably relate to impacts expected from the proposed development. Lee Plan Policies 1.7.1, 6.1.1, 6.1.3, 6.1.6, 7.1.2, 7.1.8, 47.2.2, 47.2.5, 123.2.13; LDC §§ 10-1104(b), 34-377(a)(3), 34-411, 34-932(b) and (c), 34-1012, 34-1104.
5. As conditioned, the requested deviations:
 - a. Enhance the planned development; and
 - b. Preserve and promote the general intent of the LDC to protect the public health, safety and welfare.

SECTION F. SCRIVENER'S ERRORS

The Board intends that this resolution can be renumbered or relettered and typographical errors that do not affect the intent and are consistent with the Board's action can be corrected with the authorization of the County Manager or his designee, without the need for a public hearing.

Commissioner Hamman made a motion to adopt the foregoing resolution, seconded by Commissioner Sandelli. The vote was as follows:

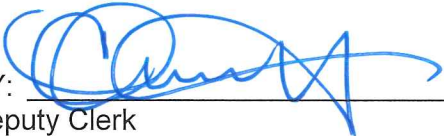
Adopted by unanimous consent.

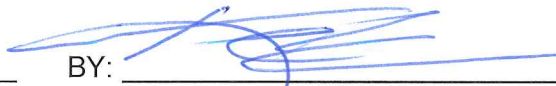
Kevin Ruane	Absent
Cecil Pendergrass	Aye
Raymond Sandelli	Aye
Brian Hamman	Aye
Frank Mann	Absent

DULY PASSED AND ADOPTED this 6th day of October 2021.

ATTEST:
LINDA DOGGETT, CLERK

BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

BY: 
Deputy Clerk

BY: 
Kevin Ruane, Chair



APPROVED AS TO FORM FOR THE
RELIANCE OF LEE COUNTY ONLY


Joseph A. Adams
Assistant County Attorney
County Attorney's Office

RECEIVED
MINUTES OFFICE 

2021 OCT 19 AM 8:17

LEGEND:

P.U.E.	PUBLIC UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
R/W	RIGHT-OF-WAY
C	CENTERLINE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT

THIS IS NOT A BOUNDARY SURVEY
SEE EXHIBIT "A", SHEET 2 OF 2 FOR DESCRIPTION

SKETCH TO ACCOMPANY DESCRIPTION
A PARCEL OF LAND LYING
IN A PORTION OF SECTION 4,
TOWNSHIP 46 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

150 0 150 300 450
SCALE IN FEET

SKETCH NOTES:

1. BASIS OF BEARING SHOWN HEREON TAKEN FROM THE WEST LINE OF SECTION 3, TOWNSHIP 46 SOUTH, RANGE 25, EAST LEE COUNTY, FLORIDA, AS BEING "ASSUMED" AS N00°58'36"W.
2. FIELD NOTES IN STATION 2 IN DRAFT FILE.
3. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
4. THIS CERTIFICATION IS ONLY FOR LANDS DESCRIBED HEREON. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.
5. THIS SKETCH DOES NOT CONSTITUTE A TITLE OR EASEMENT SEARCH AND WAS BASED ON DESCRIPTION FURNISHED BY CLIENT AND/OR FOUND MONUMENTATION IN THE FIELD.
6. UNDERGROUND STRUCTURES AND UTILITIES, IF ANY, ARE NOT INCLUDED.
7. THIS MAP/PLAT IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
8. ALL BEARINGS AND DISTANCES ARE PLAT AND MEASURED, UNLESS OTHERWISE SHOWN.
9. THIS SKETCH IS INTENDED TO BE VIEWED AS AN 8 1/2 x 11", 300 SCALE DRAWING.

REVIEWED
DCI2020-00014
Rick Burris, Principal
Planner
Lee County DCD/Planning
7/29/2021

SHEET 1 OF 2

HARRIS-JORGENSEN, LLC
304B DEL PRADO BLVD. S. #100
CAPE CORAL, FLORIDA 33904
PHONE: (239) 257-2624
FAX: (239) 257-2921

Exhibit A

DESCRIPTION TO ACCOMPANY SKETCH
EXHIBIT "A"
A PARCEL OF LAND LYING
IN A PORTION OF SECTION 4,
TOWNSHIP 46 SOUTH, RANGE 25 EAST,
LEE COUNTY, FLORIDA

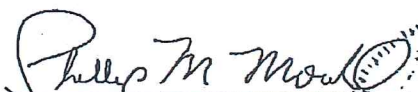
DESCRIPTION:

A PLOT OR PARCEL OF LAND LYING IN A PORTION OF SECTION 4, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

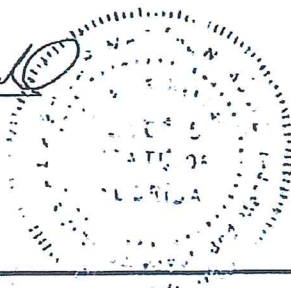
COMMENCING AT THE SOUTHWEST CORNER OF THE AFORESAID SECTION 4; THENCE RUN N.00°58'36"W. ALONG THE EAST LINE OF SAID SECTION 4 TO A POINT ALONG THE CENTERLINE OF A 170 FEET WIDE FLORIDA POWER AND LIGHT COMPANY EASEMENT FOR 2555.19 FEET; THENCE RUN S.89°43'43"W. TO A POINT ALONG THE WEST RIGHT OF WAY LINE OF ORIOLE ROAD (80 FEET WIDE) FOR 188.74 FEET TO THE POINT OF BEGINNING; THENCE RUN S.89°43'43"W. FOR 1317.70 FEET; THENCE RUN N.00°58'36"W. FOR 71.42 FEET; THENCE RUN N.01°04'51"W FOR 1063.18 FEET; THENCE RUN N.89°32'29"E. TO A POINT ALONG THE AFORESAID WEST RIGHT OF WAY LINE OF ORIOLE ROAD (80 FEET WIDE) FOR 1333.60 FEET; THENCE RUN S.00°16'17"E. ALONG SAID WEST RIGHT OF WAY LINE FOR 1138.84 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1,506,761.38 SQUARE FEET OR 34.59 ACRES, MORE LESS.

REVIEWED
DCI2020-00014
Rick Burris, Principal
Planner
Lee County DCD/Planning
7/29/2021



PHILLIP M MOULD
LS6515
09/30/2020



SHEET 2 OF 2

HARRIS-JORGENSEN, LLC
3048 DEL PRADO BLVD. S. #100
CAPE CORAL, FLORIDA 33904
PHONE: (239) 257-2624
FAX: (239) 257-2921

Exhibit A

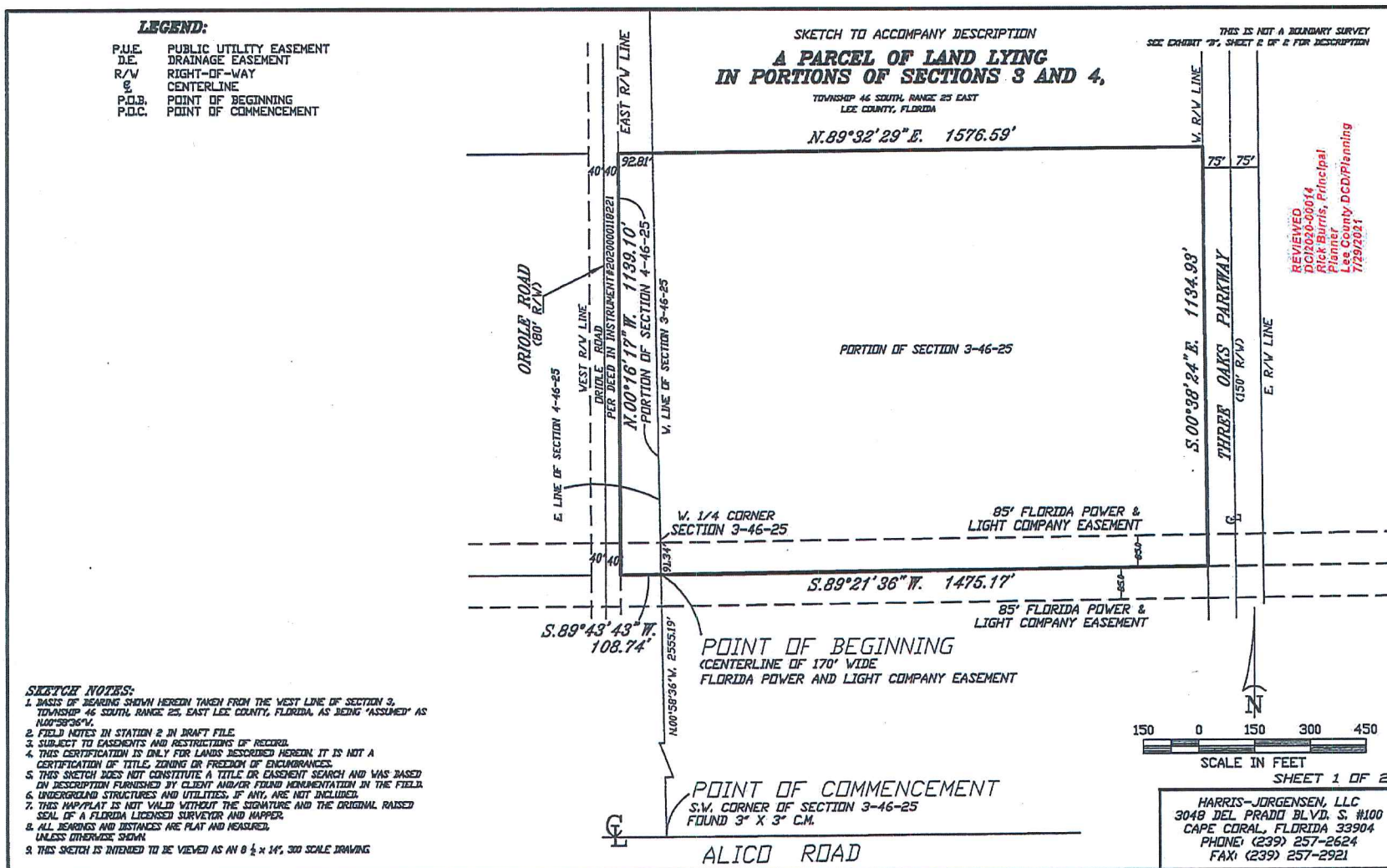


Exhibit A

DESCRIPTION TO ACCOMPANY SKETCH
EXHIBIT "B"
A PARCEL OF LAND LYING
IN PORTIONS OF SECTIONS 3 AND 4,
TOWNSHIP 46 SOUTH, RANGE 25 EAST,
LEE COUNTY, FLORIDA

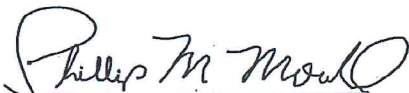
DESCRIPTION:

A PLOT OR PARCEL OF LAND LYING IN A PORTION OF SECTIONS 3 AND 4, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE AFORESAID SECTION 3; THENCE RUN N.00°58'36"W. ALONG THE COMMON LINE OF SAID SECTIONS 3 AND 4 TO A POINT ALONG THE CENTERLINE OF A 170 FEET WIDE FLORIDA POWER AND LIGHT COMPANY EASEMENT FOR 2555.19 FEET TO THE POINT OF BEGINNING; THENCE RUN S.89°43'43"W. TO A POINT ALONG THE EAST RIGHT OF WAY LINE OF ORIDLE ROAD (80 FEET WIDE) FOR 108.74 FEET; THENCE RUN N.00°16'17"W. ALONG SAID EAST RIGHT OF WAY LINE FOR 1139.10 FEET; THENCE RUN N.89°32'29"E. TO A POINT ALONG THE WEST RIGHT OF WAY LINE OF THREE OAKS PARKWAY (150 FEET WIDE) FOR 1576.59 FEET; THENCE RUN S.00°38'24"E. ALONG SAID WEST RIGHT OF WAY LINE FOR 1134.93 FEET; THENCE RUN S.89°21'36"W. TO A POINT ALONG THE AFORESAID COMMON LINE OF SAID SECTIONS 3 AND 4 FOR 1475.17 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,797,304.06 SQUARE FEET OR 41.26 ACRES, MORE OR LESS.

REVIEWED
DCI2020-00014
Rick Burris, Principal
Planner
Lee County DCD/Planning
7/29/2021



PHILLIP M MOULD
LS6515
09/30/2020

SHEET 2 OF 2

HARRIS-JORGENSEN, LLC
3048 DEL PRADO BLVD. S. #100
CAPE CORAL, FLORIDA 33904
PHONE: (239) 257-2624
FAX: (239) 257-2921

Exhibit B



DCI2020-00014

Zoning

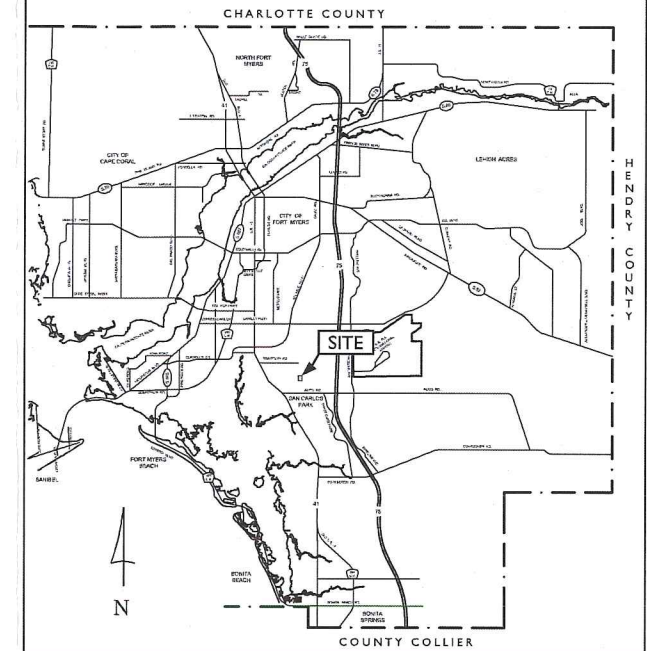
 Subject Property



THREE OAKS LOGISTICS CENTER

LOCATED IN SECTION 3/4 TOWNSHIP 46 -S, RANGE 25 -E, LEE COUNTY, FLORIDA

MASTER CONCEPT PLAN

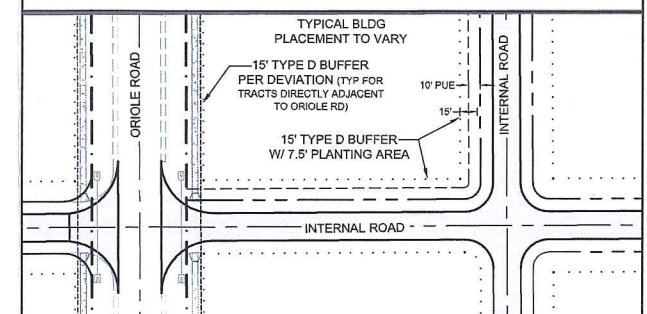


LOCATION MAP

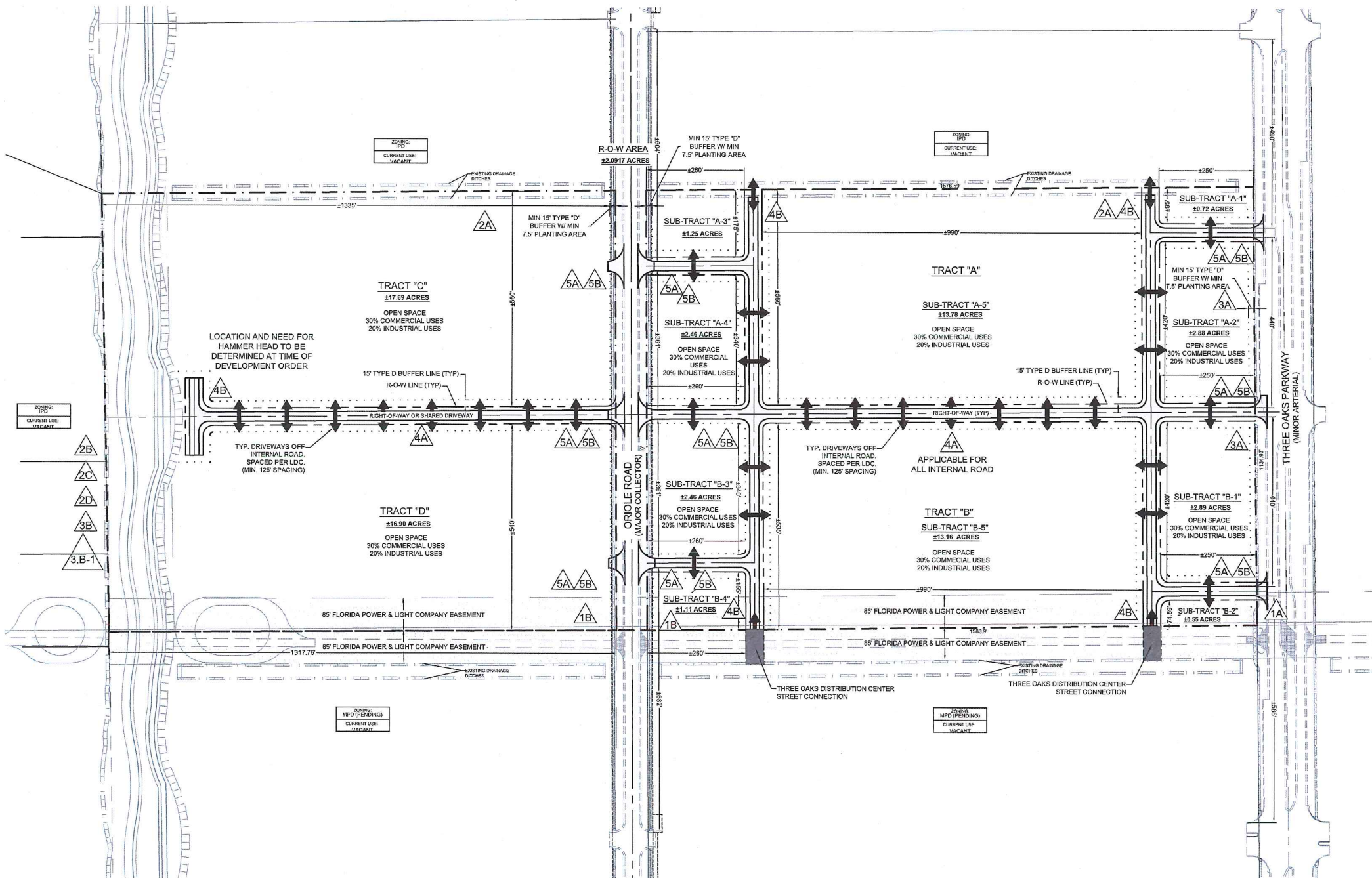
(NOT TO SCALE)

ZONING INDUSTRIAL DEVELOPMENT AG-2 TO MPD	OPEN SPACE 30% FOR COMMERCIAL USES 20% FOR INDUSTRIAL USES PROJECT MINIMUM = 15.59 ACRES (20%)
PARCEL No. & ADDRESS 03-46-25-00-00001.1070 04-46-25-00-00003-0040	DEVIATIONS # DEVIATION SYMBOL
PROJECT ACREAGE 75.85 ACRES	NOTES: TRACKS AREAS AND ACREAGE INCLUDE HALF OF INTERNAL R-O-W.
PROJECT INTENSITY TOTAL MAXIMUM OF 1,050,000 SF COMMERCIAL/RETAIL: MINIMUM 30,000 SF / MAXIMUM 540,000 SF. * INDUSTRIAL: MINIMUM 30,000 SF/ MAXIMUM 1,020,000 SF. *	
* MAXIMUM VALUES ARE NOT CUMULATIVE	

TYPICAL LOT LAYOUT:



Quattrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4301 Veronica Shoemaker Blvd. | Fort Myers, FL 33916 | 239.936.5222 | QAInc.net



Approved as Exhibit C
MCP Page 1 of 1
Revision # 2-21-012