

**MEMORANDUM
FROM
THE DEPARTMENT OF
COMMUNITY DEVELOPMENT
ZONING DIVISION**

DATE: September 14, 2023

TO: Amanda Rivera
Deputy Hearing Examiner

FROM: Peter Blackwell, AICP
Planner

**RE: REZ2022-00019
Lee Corners Rezone**

At the conclusion of the hearing on September 7, 2023, the record was left open to provide a joint written submission confirming that an amendment to the development order (DOS2016-00010) has been submitted to remove the access point approved by deviation in Resolution Z-08-051. The Hearing Examiner also requests additional testimony concerning the effect of the removal/relocation of the access point on Lee Boulevard. The applicant has provided written correspondence that as of September 8, 2023, the amendment to DOS2016-00010 has been submitted to remove the access point previously approved on Lee Boulevard, which will remove the conflict with the Lee Plan.

It should be noted that there is currently a limited development order (LDO), LDO2023-00323, under review for a driveway access from Lee boulevard to the eastern end of the subject property. This new access will require a new deviation from Lee County LDC Chapter 10 through the development order process. Consistent with testimony provided by the applicant during the hearing, the development order amendment and the concurrent LDO are functionally lessening the potential negative impacts of the previously approved access point onto Lee Boulevard by lengthening the distance from the intersection of Lee Street and Lee Boulevard. Additionally, incorporation of an additional single-family lot into the development plan removes another driveway that would have direct access onto Lee Boulevard.

Lee Plan Policy 25.8.1 states:

"Whenever possible, all new commercial development adjacent to Lee Boulevard right-of-way must provide access to either 5th Street West, 4th Street West, or other local, collector or arterial roadway. Direct access to Lee Boulevard is discouraged."

While the review of access points is not generally considered during conventional rezoning requests, it is staff's opinion that the applicant's request is consistent with the intent of this policy. Policy 25.8.1 does not outright deny access onto Lee Boulevard, and lengthening

the separation between access points, and reducing the opportunity for additional access points onto Lee Boulevard increases consistency with this policy. Further review of design, connection separation, and impacts to health, safety, and welfare will be reviewed at the time of the deviation request during the LDO review and will continue to be reviewed for consistency with this and all other applicable Lee Plan Goals, Objectives, and Policies.

Exhibits:

- A. Approved DOS2016-00010
 - B. Application for LDO2023-00323
 - C. Amended Application for DOS2016-00010
 - D. Applicant Correspondence
-

Exhibit A



Writer's Direct Dial Number: 239-533-8890

BOARD OF COUNTY COMMISSIONERS

John E. Manning
District One

Cecil L. Pendergrass
District Two

Larry Kiker
District Three

Brian Hamman
District Four

Frank Mann
District Five

Roger Desjarlais
County Manager

Richard Wm. Wesch
County Attorney

Donna Marie Collins
Hearing Examiner

December 21, 2018

Al Quattrone
Quattrone & Associates, Inc.
4301 Veronica Shoemaker Blvd
Fort Myers, FL 33916

RE: LEE CORNERS
DOS2016-00010
DO Submittal Small

Dear Al Quattrone:

Your plans for the above-referenced project have been reviewed and approved for Concurrence and a Development Order with stipulation(s). Concurrence and the Development Order are granted for the following:

The construction will consist of retail (drugstore) parking, associated drainage, utilities, and landscaping

THIS CERTIFICATE OF CONCURRENCE SHALL BE VALID AND EFFECTIVE UNTIL 12/21/2021. DURING THE NEXT THREE (3) YEARS, Development Services is authorized to issue building permits for the construction of the building(s) indicated above without further review of the Concurrence requirements by the Division. Upon expiration of the Concurrence Certificate, the project will be subject to the concurrence program in effect at the time of expiration. No vested right to a Concurrence Certificate will exist solely due to the existence of an otherwise effective Development Order.

This approval does not relieve the development from the responsibility to obtain all other necessary Federal, State and local permits.

THIS DEVELOPMENT ORDER WILL BE VALID FOR A PERIOD OF SIX (6) YEARS AND IS SCHEDULED TO EXPIRE ON 12/21/2024.

If you have any questions concerning this matter, please contact this office.

Sincerely,

DEPARTMENT OF COMMUNITY DEVELOPMENT
Development Services Section

Quattrone & Associates, Inc.
LEE CORNERS
DOS2016-00010
December 21, 2018

Page 2

Approval is subject to the following stipulation(s) and/or comment(s):

Development Services Comments:

Sec. 10-154. Additional required submittals. - (22) State permits. Prior to final approval of a development order, copies of completed applications for permits issued by the South Florida Water Management District or the Florida Department of Environmental Protection. Copies of all necessary state land development permits must be submitted prior to the commencement of construction work on the site.

STIPULATION: Please provide copies of DEP/HRS permits for utility construction prior to beginning construction.

Sec. 10-154. Additional required submittals. (26) Assurance of completion of improvements. Assurance of completion of the development improvements as specified in this section will be required for all off-site improvements prior to commencing any off-site or on-site development.

Please provide cost estimate and surety prior to beginning construction.

Sec. 10-103. Prerequisite zoning approvals for development order submittals (a) Any applicant who intends to submit an application for development order approval on a project that was zoned RPD, MHPD, RVPD, CPD, CFPD, IPD or AOPD prior to December 2, 1991, must submit four complete sets of plans and documents to the zoning review staff, who will review the submittals for full compliance with the adopted master concept plan and any conditions of approval. Plans may be reviewed concurrently for compliance with this chapter and with the terms of the zoning approval.

STIPULATION: Resolution # Z-08-051, Section C. - Deviations; requires the Lee Blvd. access point to be limited to right in-right out only, and that a cross access easement for the adjacent parcel to the east must be recorded prior to issuance of CC for DO.

Sec. 34-625. Outdoor lighting standards.

STIPULATION: Prior to the final inspection for a certificate of compliance pursuant to section 10-183, site verified footcandle readings must be provided demonstrating that the outdoor lighting, as installed, conforms with the proposed photometrics and the letter of substantial compliance provided by a registered professional engineer must include a certification that the outdoor lighting is in compliance with this Code.

Please contact Robert D Hutcherson at RHutcherson@leegov.com or by calling 239-533-8890 with any questions regarding the above review comments.

Quattrone & Associates, Inc.
LEE CORNERS
DOS2016-00010
December 21, 2018

Page 3

DOT Comments:
STIPULATIONS:

1. After the Development Order is approved, a Lee County right-of-way (ROW) Permit with associated bond will be required PRIOR TO any road improvement work done within the County ROW, including any type of access to the road ROW including the temporary construction access for lot clearing and truck hauling operations. The ROW Permit application will require the LDC Approved stamped set of plans.
2. The concrete thickness of the sidewalks within the County ROWs and easements shall be a minimum thickness of six (6) inches. All sidewalk construction and reconstruction must conform to current FDOT and ADA standards, including curb ramps and detectable warning surfaces in accordance with Chapter 8 of FDOT Plans Preparation Manual and AC-11-12(VI)(E).
3. The signalization agreement shall be submitted for review and approval by the Lee County. The approved signalization agreement shall be recorded by Lee County Clerk of Circuit Court prior to issuance of the certificate of completion of the ROW permit. The applicant / property owner shall be responsible for all expenses related to recording the signalization agreement.
4. The sidewalk and drainage easement agreement shall be recorded by Lee County Clerk of Circuit Court prior to issuance of the certificate of completion of the ROW permit. The applicant / property owner shall be responsible for all expenses related to recording the easement agreement. The applicant / property owner shall convey the easement to the County for portions that exist outside of the ROW of any sidewalks, bicycle path, or shared use facility that is built and meanders outside of the County ROW prior to issuance of the certificate of completion of the ROW permit.

Please contact Pakorn Sutitarnnontr at PSutitarnnontr@leegov.com or by calling 239-533-8516 with any questions regarding the above review comments.

TIS Comments:

STIPULATION: The applicant will perform traffic counts at the site access along Lee Boulevard within 30-day written notice from Lee County Department of Transportation (LC/DOT) at a day/time period to be determined by LC/DOT. If turn lane warrants at the site access along Lee Boulevard are met, the parcel owner will at that time apply for a development order that at minimum provides for the construction of said turn lane. Said turn lane improvements must receive a certificate of compliance from Lee County not more than 360 days from the development order application. If the parcel owner fails to comply with any portion of this stipulation, the parcel will not be in compliance with the DOS2016-00010 approval and will thereby be subject to code enforcement action. (12/14/2018 ME)

Please contact Marcus Evans at MEvans@leegov.com or by calling 239-533-8355 with any questions regarding the above review comments.

Electronically signed on 12/21/2018 by
Jessica Sulzer, Manager
Lee County Development Services

Exhibit B



Engineers, Planners & Development Consultants

4301 Veronica Shoemaker Blvd. Fort Myers, FL 33916
239.936.5222 | QAINC.NET | f 239.936.7228

August 1, 2023

Lee County Division of Community Development
1500 Monroe Street
Fort Myers, Florida 33901

RE: **Lee Corners**
LDO2023-00323

To whom it may concern:

The proposed project "Lee Corners" is located at 4915 Lee Boulevard in Lehigh Acres, Florida. The proposed project proposes a driveway connection to Lee Boulevard and no further development. The project consists of improvements within the County Row from existing edge of pavement to the existing right-of-way line.

Applicant is aware that further development internal of the site will require further development applications with Lee County.

If you have any questions regarding the above, please contact our office at (239) 936-5222.

Sincerely,
Quattrone & Associates, Inc.

A handwritten signature in blue ink, appearing to read 'Paul M. Torocco'.

Paul M. Torocco, P.E.
Project Manager
Paul@qainc.net

LEE COUNTY DEVELOPEMNT ORDER

FOR

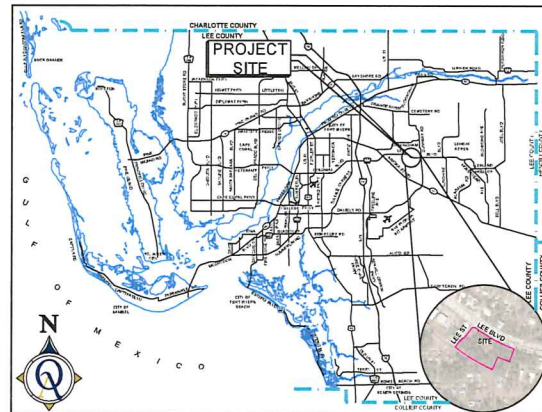
BLOCK 55 LOT 6

4925 LEE BLVD.
LEHIGH ACRES, FLORIDA 33971

OWNER / DEVELOPER:

BERMUDEZ LUIS A & AMERICA F
325 NW 119TH CT
MIAMI, FL. 33182

LOCATION MAP



LEE COUNTY, FLORIDA

SECTION 29, TOWNSHIP 44S, RANGE 26E

STRAP # 29-44-26-07-00055.0010

210801 - A

SHEET INDEX

SITE DEVELOPMENT: SD

SD: 01 - COVER
SD: 02 - EXISTING CONITION & DEMO PLAN
SD: 03 - LOT-06 SITE PLAN
SD: 04 - PROJECT DETAILS & NOTES

SITE PERMIT REQUIREMENTS		
AGENCY	STATUS	NOTES
LEE COUNTY DEVELOPMENT ORDER	REQUIRED	
LEE COUNTY PORT AUTHORITY	REQUIRED	
LEE COUNTY UTILITY	REQUIRED	
S.F.W.M.S. ENVIRONMENTAL RESOURCE	REQUIRED	
S.F.W.M.S. DEWATERING PERMIT	REQUIRED	
S.F.W.M.S. WATER USE	REQUIRED	
DDW WATERLINE EXTENSION PERMIT	REQUIRED	
PDWP WASTE WATER EXTENSION PERMIT	REQUIRED	

Exhibit B

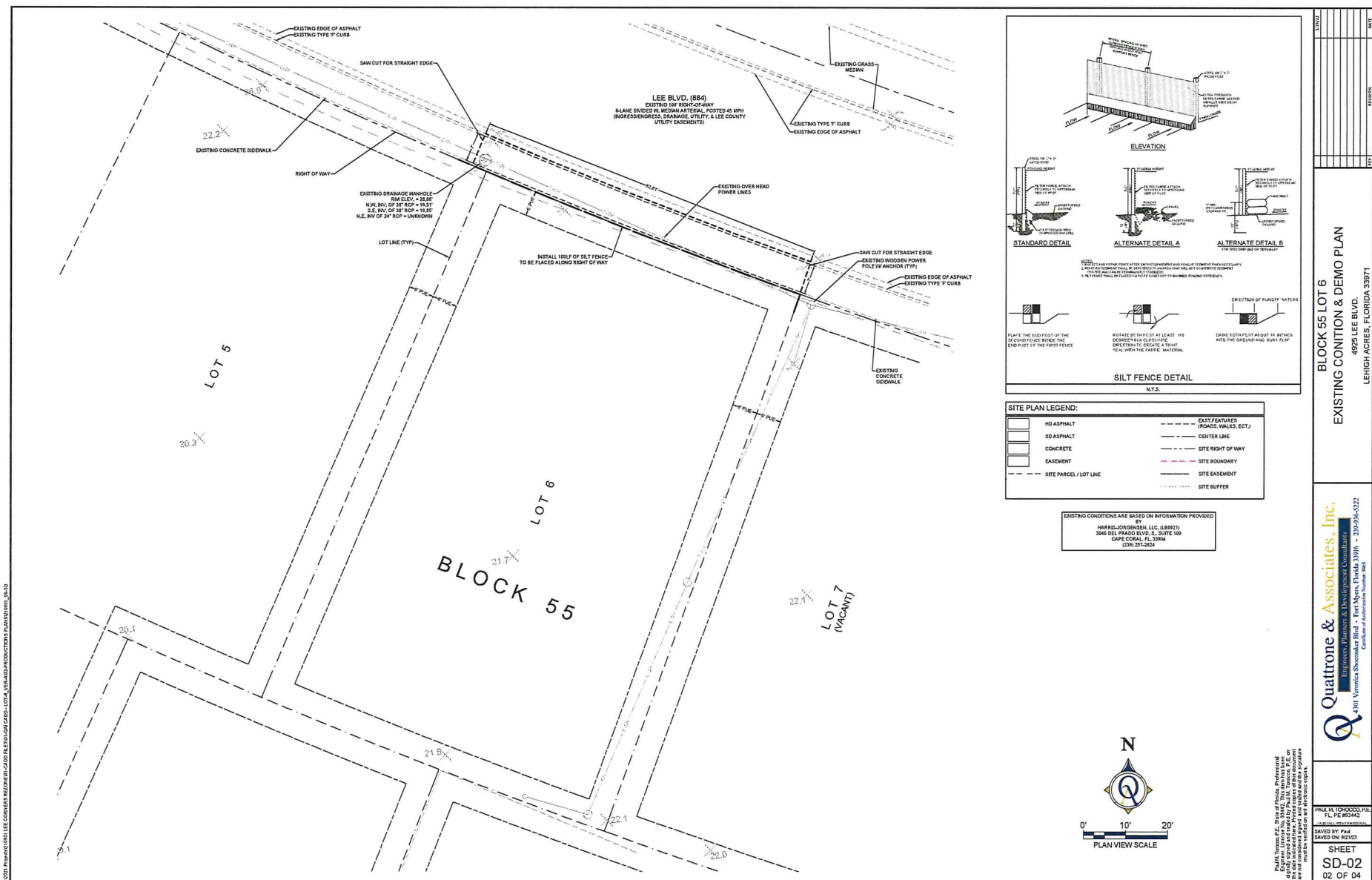
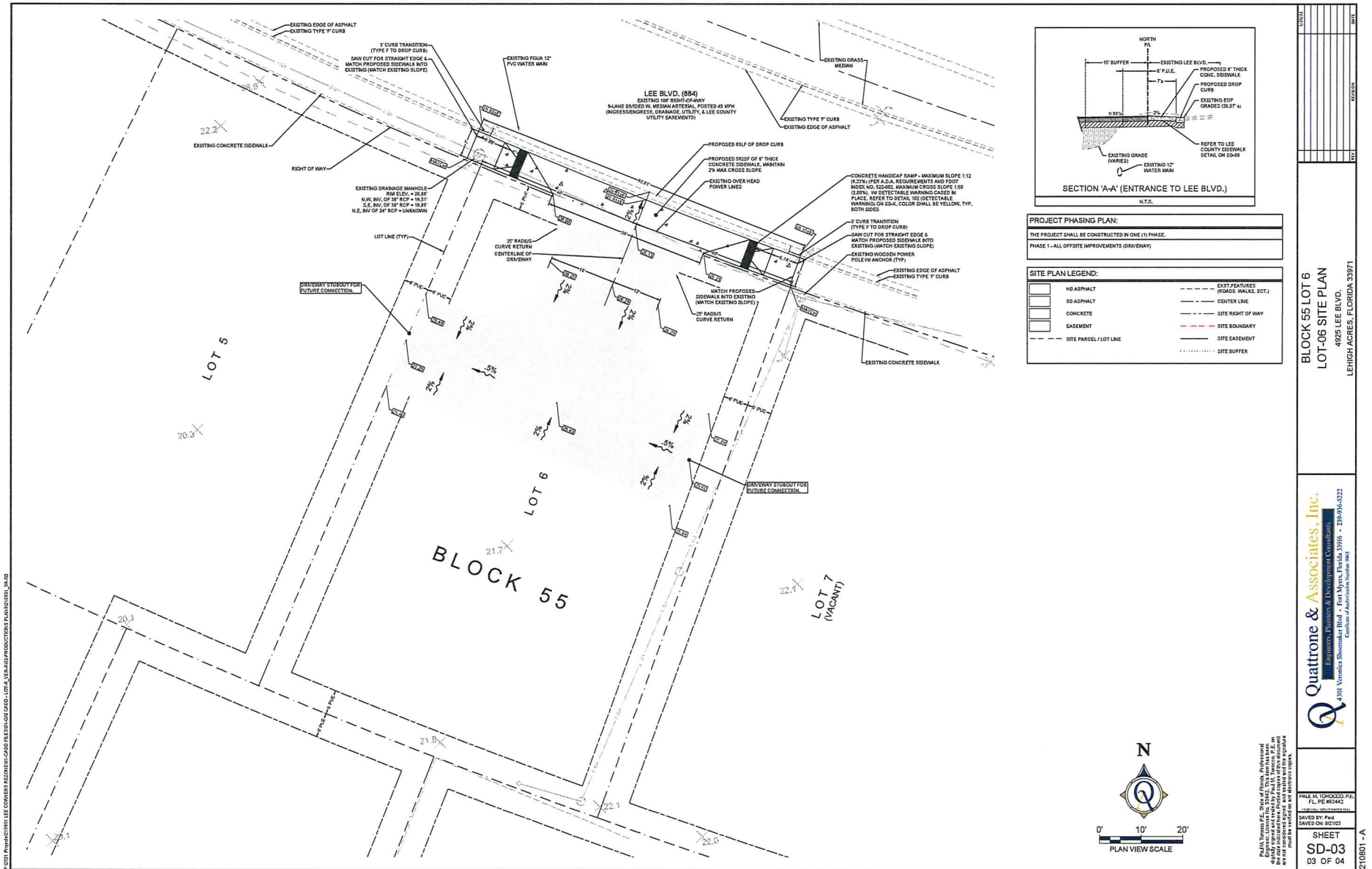


Exhibit B





**APPLICATION FOR AMENDMENT OF
DEVELOPMENT ORDER
FOR UNINCORPORATED AREAS ONLY**

☒ This application will be processed electronically. I acknowledge that final plans and documents will only be available through Lee County's [ePlan](#) system.

NOTE: If an applicant wishes to amend any part of a development for which a Development Order has been issued, this application for an amendment to the development order must be submitted. The development order amendment application must be accompanied by revised plans, reports and other appropriate submittals to allow the Director of Development Review to ensure that the proposed amendment complies with the requirements of Chapter 10 of the LCLDC. The amendment process may not be used to substantively modify the scheme of development as originally approved under an approved development order. Development order amendment applications and submittals will be prepared, reviewed and processed in accordance with the procedures specified in LCLDC Sections 10-108, 10-109 & 10-110, as well as other procedural and technical sections of the LCLDC. A development order amendment fee, in accordance with the adopted fee schedule, must be paid by the applicant prior to review of the amendment submittal. **[Sec. 10-118]**

- | | | |
|----|---|-------------------------------|
| 1. | Project Name (should be same as original DO): | Lee Corners |
| | Original Development Order Number: | DOS2016-00010 |
| 2. | Development Order Dates: | |
| | a. Original Approval Date: | 12/21/2018 |
| | b. Expiration Date: | 12/21/2024 |
| 3. | Name of Applicant: | Quattrone & Associates, Inc. |
| | Street Address: | 4301 Veronica Shoemaker Blvd. |
| | City, State, Zip: | Fort Myers, Florida 33916 |
| | Phone Number: | 239-936-5222 |
| | Email Address: | Permits@gainc.net |

- 4. Specific amendment(s) proposed to the Development Order are:**

NOTE: This section must be completed or application cannot be accepted. This application must itemize and specify the amendment(s) requested. Phrases such as "see plan" are unacceptable. If the scope of the project is proposed to be changed, the previously approved parameters and the proposed parameters must be listed (e.g. DO approved 100 single family units, amendment proposes 88 single family units and 12 duplex units). Use additional sheets if needed.

Remove the previously approved access on Lee Blvd. The project will rely on the proposed driveway being constructed on Lot 6 to the east.

5. Does this amendment result in an increased number of dwelling units or square footage of commercial or industrial buildings?
- ☒ **NO**
- ☐ **YES** – If **YES**, please include a Revised Traffic Impact Statement.
6. Does this amendment alter the exterior appearance or architectural features of a commercial building?
- ☒ **NO**
- ☐ **YES** – If **YES**, please include revised Architectural plans (with changes highlighted).

SUBMITTAL REQUIREMENTS

Clearly label all submittal documents with the document name indicated below.

One copy of all submittal items may be submitted electronically through [ePlan](#) or at the Permitting Lobby unless otherwise noted.

SUBMITTAL ITEMS

☐	Completed application [10-153]
☐	Filing Fee - [10-108(a)]
☐	Amended Plan Sheets [10-154(7)] (please highlight all changes to the approved plans)
☐	Affidavit of Authorization [10-153(1)] <i>Prior to DO approval, one signed & notarized original must be submitted</i>
☐	Professional Consultants Information [10-153(2)(f)]
☐	Any other required paperwork

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LEE COUNTY
COMMUNITY DEVELOPMENT
P.O. BOX 398 (1500 MONROE STREET)
FORT MYERS, FLORIDA 33902
PHONE (239) 533-8585

DEVELOPMENT ORDER PLANS

LEE CORNERS

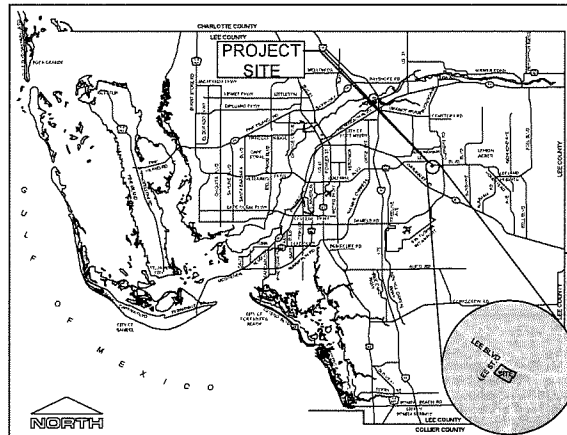
4925 LEE BLVD.
LEHIGH ACRES, FL. 33971

DOS2016-00010

OWNER / DEVELOPER:

BERMUDEZ LUIS A & AMERICA F
325 NW 119TH CT
MIAMI, FL. 33182

LOCATION MAP



LEE COUNTY, FLORIDA

SECTION 29, TOWNSHIP 44S, RANGE 26E

STRAP #29-44-26-07-00055.0010,.0020,.0030,.0230,.0240,.0250,.0260,.0270

QAI PROJECT # - 141116-PHASE 1

CONTRACTOR STAKEOUT SHALL BE FROM THE APPROVED
CAD FILE BY QUATTRONE AND ASSOCIATES

SHEET LIST

SITE DEVELOPMENT: SD

- SD 01 COVER
- SD 02 EXISTING CONDITION & DEMO PLAN
- SD 03 AERIAL & FLUCCS PLAN
- SD 04 SWP3 & EXISTING HYDROLOGY PLAN
- SD 05 MASTER SITE PLAN
- SD 06 MASTER STRIPING PLAN
- SD 07 PAVING GRADING & DRAINAGE PLAN
- SD 08 TYPICAL PROJECT DETAILS & SECTIONS
- SD 09 TYPICAL DETAILS
- SD 10 TYPICAL NOTES
- SD 11 MASTER UTILITY PLAN
- SD 12 LIFT STATION DETAILS
- SD 13 LCU DETAILS
- SD 14 LIGHTING PHOTOMETRIC PLAN
- SD 15 LIGHTING PHOTOMETRIC DETAILS

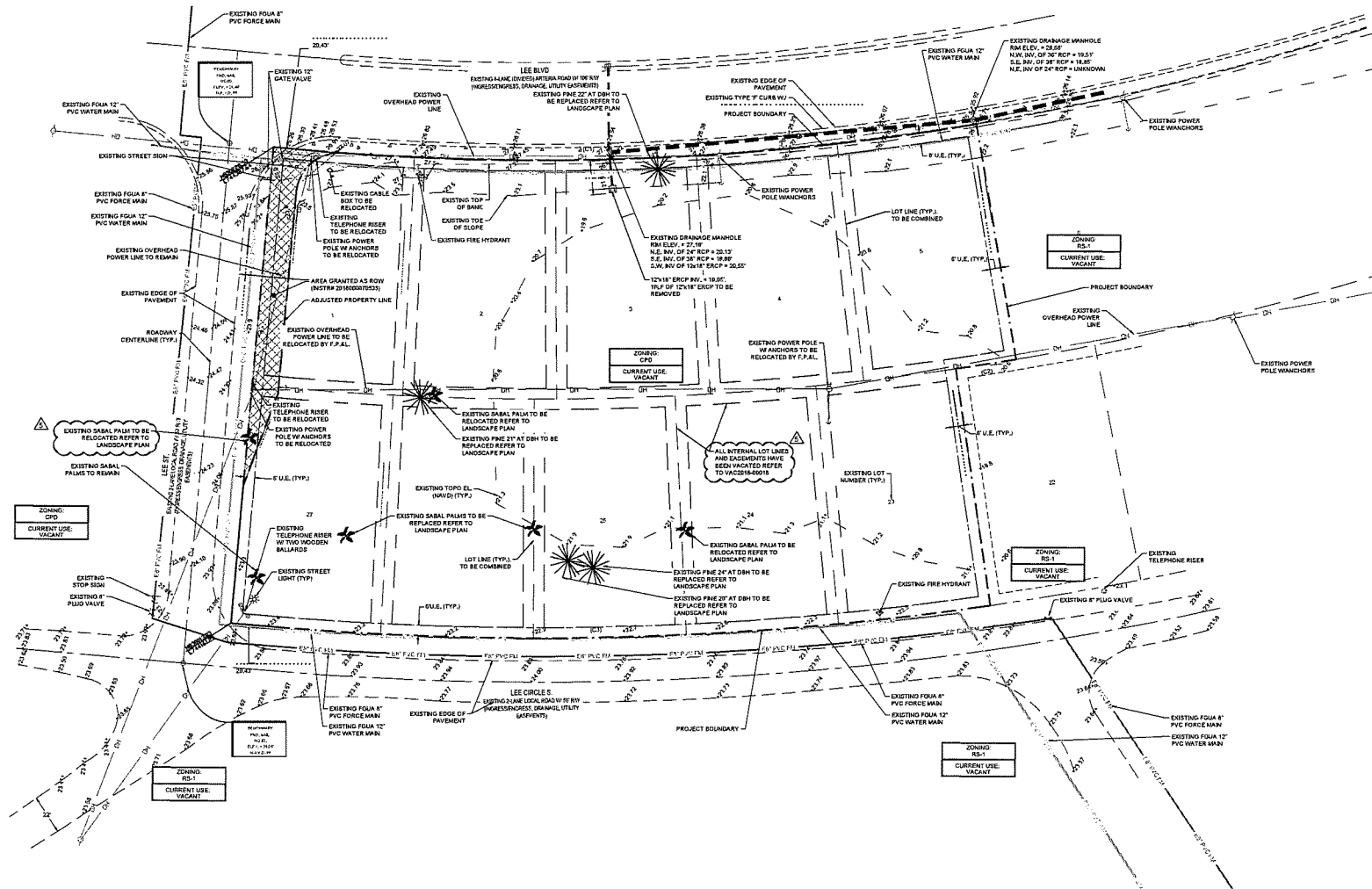
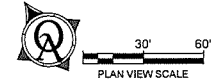
LANDSCAPING: LS

- LS 01 LANDSCAPING PLAN - A
- LS 02 LANDSCAPING PLAN - B

A	DATE	DESCRIPTION
1	05/21/2016	REVISION FOR LEE COUNTY COMMENTS
2	10/27/2017	REVISION FOR LEE COUNTY COMMENTS DATED 9/25/2016
3	3/29/2018	REVISION FOR DESIGNATED RIGHT-OF-WAY AREA
4	3/17/2018	REVISION FOR LEE COUNTY COMMENTS DATED 10/17/2017
5	11/14/2018	REVISION FOR LEE COUNTY COMMENTS DATED 10/26/2018

ALFRED QUATTRONE, P.E.
FL. REG #22741
DATE:

CURVE TABLE				
CURVE	DELTA ANGLE	RADIUS	ARC CHORD	CHORD BEARING
C1	1403.77	379.58	379.58	
C2	11629.80	34.80	34.60	
C3	11766.03	411.27	410.34	



LEE CORNERS
EXISTING CONDITION & DEMO PLAN
4825 LEE BLVD.
LEHIGH ACRES, FL 33971

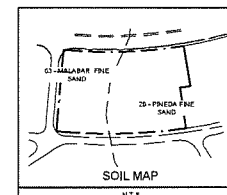
Quattrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4301 Veronica Shoemaker Blvd. - Fort Myers, Florida 33916 - 239-936-5222
Certificate of Accreditation Number 1945

APPROVED FOR THE CLIENT
DATE: 01/11/2014
BY: [Signature]
PROJECT: LEE CORNERS
SHEET: 02 OF 15

SHEET
SD-02
02 OF 15

422/1 424 - BRAZILIAN PEPPER & MELALEUCA	0.53 AC (20.55%)
422H/1 424H - S. PEPPER & MELALEUCA HYDRIC	0.45 AC (17.17%)
411 - SLASH PINE	0.32 AC (13.00%)
843 - FRESHWATER EMERGENT*	0.52 AC (13.89%)
740 - DISTURBED/CLEAR	0.35 AC (22.55%)
* = EXOTIC DOMINATED	0.35 AC (12.53%)
H = HYDRIC	

*WETLAND LINES NOT VERIFIED BY AGENCIES
 **WETLAND DELINEATION IS APPROXIMATE, NOT LOCATED BY SURVEYOR

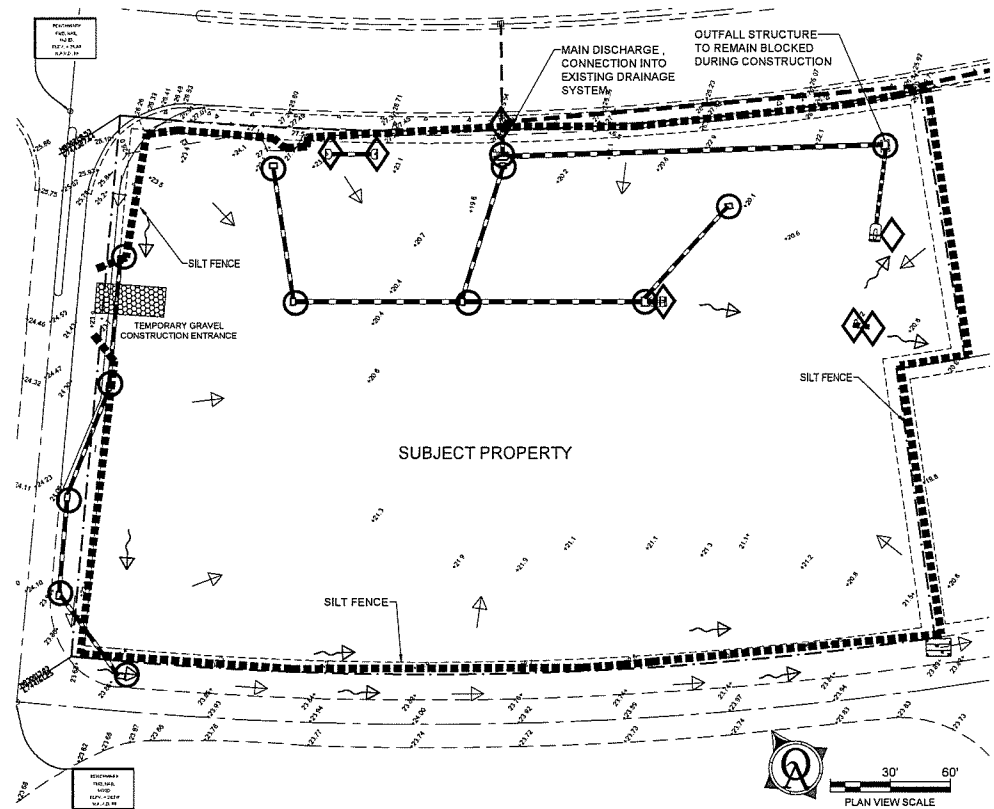
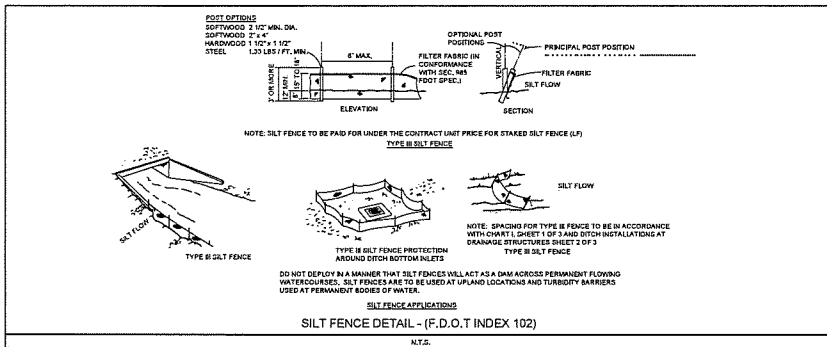
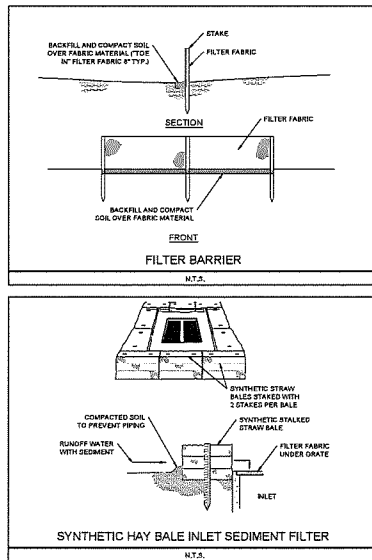
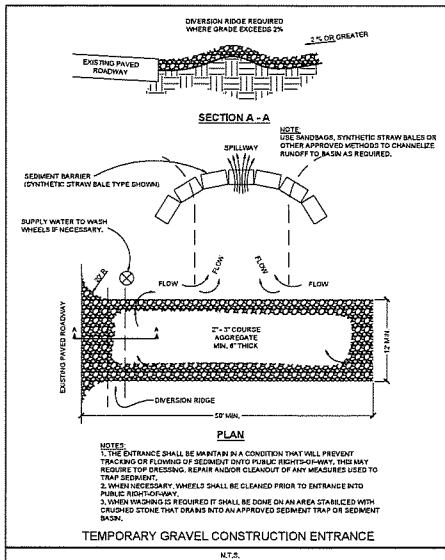
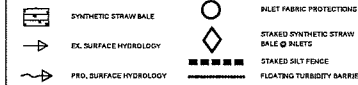


\\MSK\projdata\PL\062014\Proj\062014\1116 LEE CORNERS - (LOUTD0227) - ACTIVITY-CADD FILEBOOK CADD VERSION 1 (DO APPROVE) (1116) PHASE 1

STORM WATER POLLUTION PREVENTION NOTES AND LEGEND:

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
2. THE CONTRACTOR SHALL SUPPLEMENT THIS PLAN AS MAY BE REQUIRED TO CONTROL AND REDUCE SOIL EROSION BASED ON THE CONTRACTOR'S JUDGMENT, METHODS AND TECHNIQUE OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO FILE A WRITTEN NOTICE OF INTENT WITH THE FPA AND LEE COUNTY DEVELOPMENT SERVICE DIVISION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT LEE COUNTY INFOS STORMWATER REVIEWER PRIOR TO ANY DRAINAGE OPERATIONS.
4. ALL PROPOSED AND EXISTING INLETS SUBJECT TO SEDIMENTATION SHALL BE COVER WITH FILTER FABRIC HELD IN PLACE BY THE GRATES.

NOTE: THESE DETAILS REPRESENT TYPICAL BEST MANAGEMENT PRACTICES FOR SOIL EROSION CONTROL. THEY MAY NOT SATISFY ALL REQUIREMENTS FOR COMPLIANCE WITH REGULATORY AGENCIES AND/OR SPECIFIC PERMIT CONDITIONS.



LEE CORNERS
SWP3 & EXISTING HYDROLOGY PLAN
4829 LEE BLVD.
LEHIGH ACRES, FL 33971

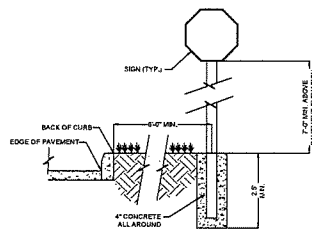
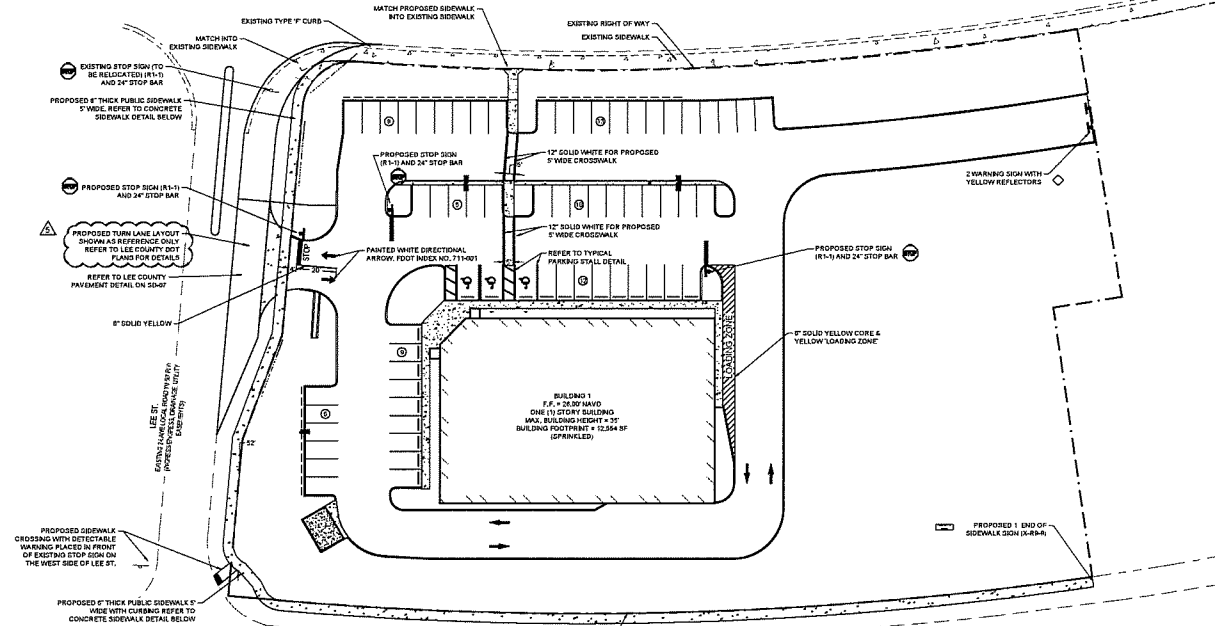
Quattrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4101 Veronica Shoemaker Blvd. • Fort Myers, Florida 33916 • 239-936-5222
Certificate of Authorization Number: 8485

ALFRED QUATTRONE, P.E.
FL REG #52741
REGISTERED PROFESSIONAL ENGINEER

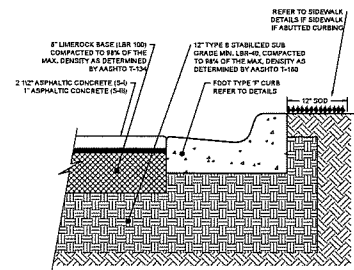
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SD-04
04 OF 15

1. ALL SIGNING AND PAVERS/MATERIAL HANDLING SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE F.D.O.T. ROADWAY AND TRAFFIC CONTROL DEVICES LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE COUNTY DEPARTMENT OF TRANSPORTATION PUBLISHED STANDARDS.
2. PAVEMENT MARKINGS SHALL BE PERMANENT TRAFFIC PANT IN ACCORDANCE WITH F.D.O.T. STANDARDS OPERATING AND MAINTENANCE MANUAL.
3. MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
4. REMOVE ANY EXISTING SIGNS OR PAVEMENT MARKINGS IN CONFLICT WITH THOSE SHOWN ON PLAN.
5. ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SIGNIFICATION FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND TRAFFIC OPERATION.
7. THE CONTRACTOR SHALL FURNISH AND INSTALL STREET NAME SIGNS IN ACCORDANCE WITH ALL COUNTY DEVELOPMENT STANDARDS.
8. ALL MATERIALS WITHIN THE ROAD RIGHT OF WAY SHALL BE THERMO PLASTIC.
9. ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY HYDRO BLASTING.

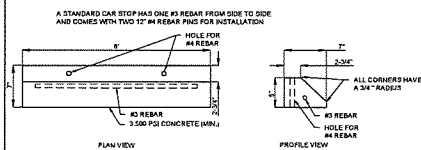
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CURVE	DELTA ANGLE	RADIUS	ARC	CHORD	CHORD BEARING
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C2	11629.90"	34.60	34.60		
C3	11756.03"	411.27	410.34		



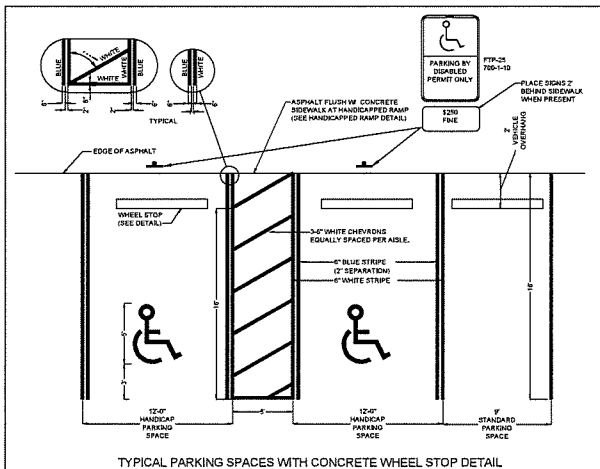
TYPICAL SIGN MOUNTING DETAIL



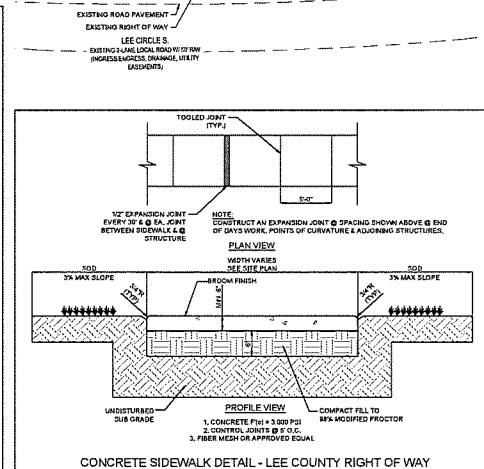
PAVEMENT SECTION - LEE COUNTY RIGHT OF WAY



STANDARD WHEEL STOP DETAIL



TYPICAL PARKING SPACES WITH CONCRETE WHEEL STOP DETAIL



CONCRETE SIDEWALK DETAIL - LEE COUNTY RIGHT OF WAY

LEE CORNERS
MASTER STRIPING PLAN
4925 LEE BLVD.
LEHIGH ACRES, FL. 33971

Quattrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4301 Veronica Shoemaker Blvd. • Fort Myers, Florida 33916 • 239-936-2222
Certificate of Authorization Number 9453

ALFRED CLATTHONE, P.E.
FL REG #02741
VAN DYKE CONSULTING AND DESIGN

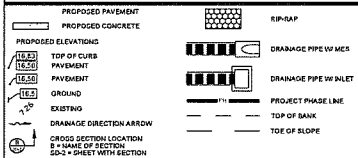
SHEET
SD-06
06 OF 15

USING SOUTH FLORIDA WATER MANAGEMENT DISTRICT CRITERIA FOR STORMWATER DETENTION FACILITIES AS OUTLINED IN SFWMD MANUAL VOLUME 9 TO CALCULATE THE REQUIRED STORAGE VOLUME.			
TOTAL AREA	113.418 SF		
AREA (AREA)	0 SF		
TOTAL DEVELOPMENT AREA	113.418 SF		100.0%
BUILDING FOOTPRINT AREA	113.418 SF		11.0%
PERVIOUS AREA	41.234 SF		36.4%
TOTAL IMPERVIOUS AREA	72.184 SF		63.6%
TOTAL PAVED AREA	72.184 SF		63.6%
FIRST TWO FEET OF RUNOFF OVER THE DEVELOPMENT AREA			
DESIGN RAINFALL "IN" / "HOUR"	4.728 IN		
STORMAGE REQUIRED "IN" / "HOUR"	4.728 IN		
STORMAGE PROVIDED "IN" / "HOUR"	52.658 IN		

GENERAL DRAINAGE NOTES:

1. THE LENGTH OF STORM DRAIN PIPES SHOWN ON PLANS ARE APPROXIMATE AND HAVE BEEN MEASURED FROM THE INSIDE FACE OF STRUCTURE.
2. LOCATIONS OF DRAINAGE STRUCTURES MAY BE FIELD ADJUSTED TO PRESERVE EXISTING VEGETATION AS APPROVED BY THE ENGINEER.
3. THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RISERS, GRATES, ETC. AS REQUIRED TO MATCH PROPOSED GRADES.
4. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING CONSTRUCTION.
5. SHALE PROFILES SHOWN ARE TO TOP OF SLOPE. CONTRACTOR TO ADJUST SHALE GRADING ACCORDINGLY.
6. UNLESS OTHERWISE NOTED, SODA 12" STRIP BEHIND ALL CONCRETE CURB AND VALLEY OUTER AND AT EDGE OF PAVEMENT PER F.O.D.T. REQUIREMENTS. REMAINING AREAS WITHIN THE ROAD PAVEMENT SHALL BE GRADED, FERTILIZED AND MULCHED. SODA OR SEED & MULCH ARE DIRECTED BY ENGINEER. ALL DRAINAGE, BERM, RETENTION AREAS AND SLOPES WITHIN LIMITS OF CONSTRUCTION.
7. THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL ENCOUNTERED FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL UNSUITABLE MATERIAL EXCAVATED SHALL BE STOCKPILED OR REMOVED AS DIRECTED BY ENGINEER.
8. REAR LOT LINE ELEVATIONS ARE SUBJECT TO FIELD CHANGE FOR THE PURPOSE OF MATCHING THE EXISTING NATURAL CONDITIONS AND/OR RETAINING EXISTING VEGETATION.
9. DURING CONSTRUCTION, THROAT INLET OPENINGS, WHERE APPROPRIATE, SHALL BE COVERED WITH FILTER FABRIC (MINIMUM 100% APPROVED) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
10. GASING AND/OR CONDUIT SHALL EXTEND 5' BEYOND THE EDGE OF PAVEMENT, BACK OF CURB AND/OR SIDEWALK AT EACH END.
11. OPTIONAL BRICK PAVEMENT MAY BE INSTALLED IN LIEU OF ASPHALT PAVEMENT AT THE DISCRETION OF THE OWNER. SEE TYPICAL SECTIONS AND DETAILS FOR PAVEMENT SECTIONS.
12. THE TOP OF ALL DRAINAGE SHALL BE NO HIGHER THAN ONE FOOT (1') BELOW THE LAKE CONTROL ELEVATION. THE CONTRACTOR SHALL REVIEW PROPOSED STRUCTURE LOCATIONS WITH THE ENGINEER AFTER STAKEOUT AND BEFORE COMMENCING CONSTRUCTION. ALL DRAINAGE STRUCTURES TO BE LOCATED ON THE LAKE BANK SHALL BE FIELD ADJUSTED AS TO MEET THE STRUCTURE TO THE GREATEST EXTENT POSSIBLE IN THE LAKE BANK.
13. YARD DRAINAGE SHALL BE ADDED IN GREEN AREAS AS NECESSARY AT THE DISCRETION OF THE LANDSCAPE ARCHITECT OR ENGINEER.
14. CONTRACTOR TO COORDINATE IRRIGATION CONDUIT LOCATIONS WITH IRRIGATION CONTRACTOR.
15. AT THE REQUEST OF THE OWNER, STORMWATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED TO CONFORM WITH THE MINIMUM REQUIREMENTS OF LEE COUNTY AND/OR ESTABLISHED STORM PERMIT DESIGN CRITERIA FOR THIS AREA. DOWNSTREAM DRAINAGE BASIN OUTFALL IS REGULATED BY OTHERS. THE ENGINEER CANNOT WARRANT THE WATER MANAGEMENT SYSTEM TO FUNCTION PROPERLY DURING EXTREME STORM EVENTS.
16. ALL PERMIT BERM AND ANY NECESSARY PERMIT BERM GRADING ARE TO BE CONSTRUCTED FIRST IN ORDER TO RETAIN ALL SURFACE WATER RUNOFF ON SITE WITH THE ONLY DISCHARGE ALLOWED TO BE THROUGH APPROVED VEGES.
17. ALL TRENCHES TO BE BACKFILLED WITH CLEAN DRY SAND, FINE LINE ROCK OR PIT SHELL MESH, AND TO BE COMPACTED TO AT LEAST 95% OF MAX. DENSITY, OR 95% IF UNDER PAVED AREA OF ROADWAY, AS DETERMINED BY STANDARD SPECIFICATION 5-10.0.
18. ALL METEOR AND SETTINGS SHALL BE RUP-MAF ACCORDINGLY.

DRAINAGE PLAN LEGEND:



ROOF DRAINS:

CONTRACTOR AND/OR DEVELOPER SHALL COORDINATE BETWEEN THE ARCHITECT AND THE SITE ENGINEER TO ENSURE THAT ADEQUATE MEASURES ARE IN PLACE FOR ROOF DRAINAGE (I.E. DOWN SPOUTS AND DIRECTLY CONNECTED TO THE STORM SEWER SYSTEM DOWN SPOUTS DISCHARGE DIRECTLY INTO DETENTION AREAS WITH ADEQUATE RUP-MAF PROPOSED). AND/OR DOWN SPOUTS SHEET FLOW ACROSS PAVEMENT AREAS THAT HAVE ADEQUATE STABILIZATION AT THE TRAILING EDGE OF THE PAVEMENT, THE SITE ENGINEER IS NOT RESPONSIBLE FOR EROSION ASSOCIATED WITH ROOF DRAINS.

VERTICAL DATUM: NAVD

THIS DRAWING AND ALL ELEVATIONS SHOWN ARE BASED ON THE NATIONAL AMERICAN VERTICAL DATUM (NAVD 88) AND 12" TO CONVERT TO NAVD 88.

FILL IMPORT NOTE:

DRY DETENTION AREA SHALL BE GRADDED TO EL. 21.0' NAVD AND FILLED, ALONG WITH DETENTION AREA BERMS WITH SAND THAT MEETS THE FOLLOWING CRITERIA:
HORIZONTAL CONDUCTIVITY OF MIN. 15 FT / DAY
VERTICAL CONDUCTIVITY OF MIN. 15 FT / DAY
EFFECTIVE POROSITY OF MIN. 0.35
BOTTOM OF DETENTION AREA SHALL BE COMPACTED TO 95% OF MAX. DENSITY
CONTRACTOR SHALL PROVIDE ENGINEER WITH A SOLE REPORT PRIOR TO FINAL CERTIFICATION OF THE SITE

CURVE	DELTA ANGLE	RADIUS	ARC	CHORD	CHORD BEARING
C1	4.483.77	379.58	379.58	379.58	0.0000
C2	4.483.77	34.50	34.50	34.50	0.0000
C3	4.483.77	411.27	411.27	411.27	0.0000

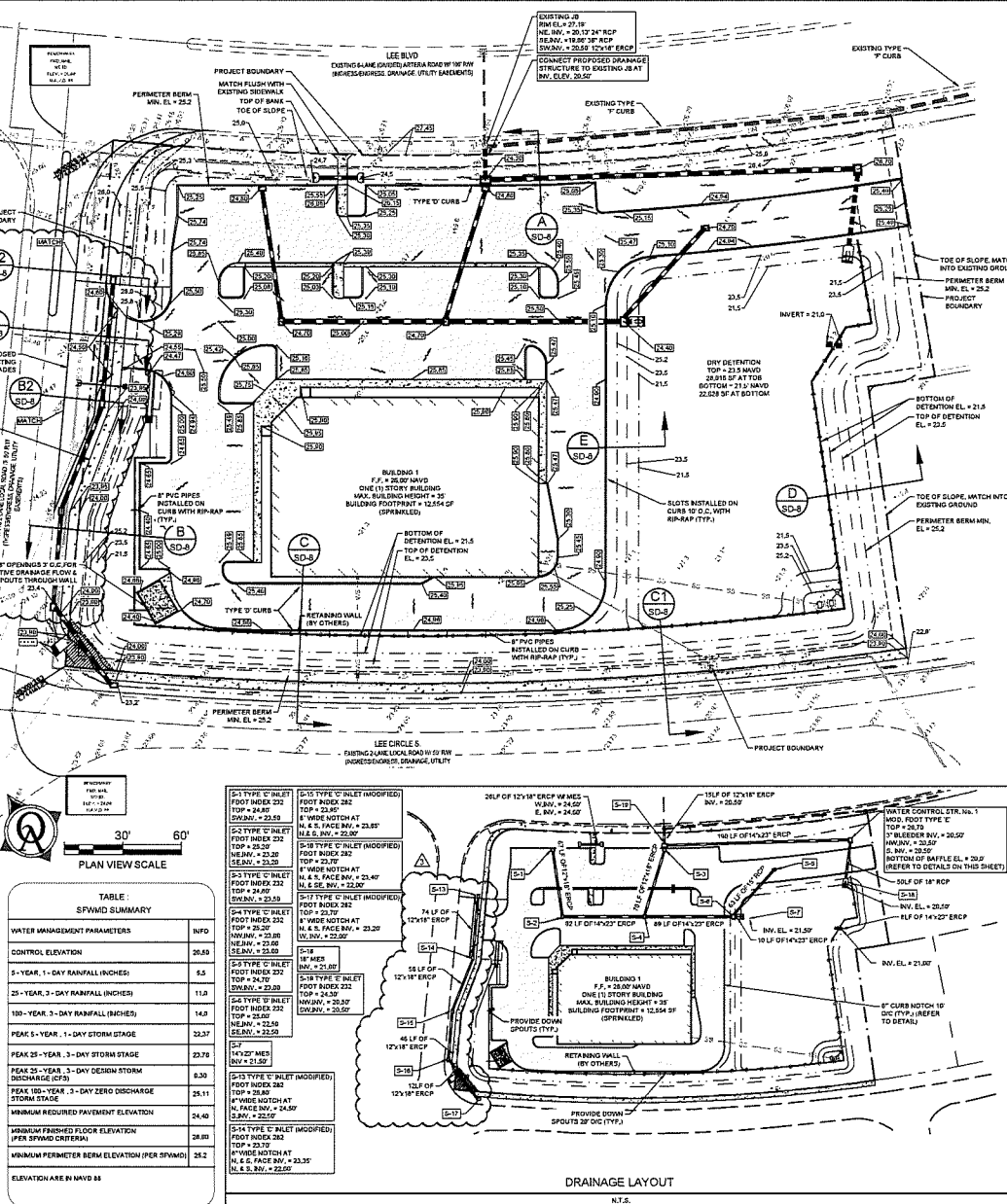
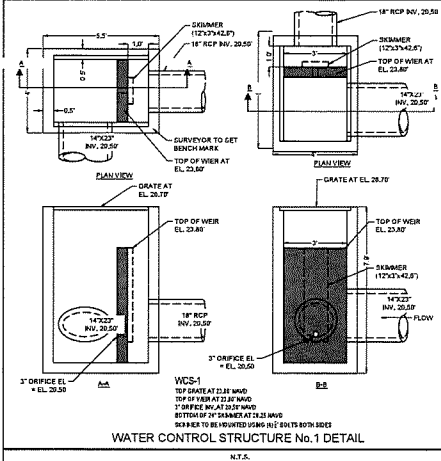


TABLE	
SFWMD SUMMARY	
WATER MANAGEMENT PARAMETERS	INFO
CONTROL ELEVATION	25.83
5-YEAR, 1-DAY RAINFALL (INCHES)	6.59
25-YEAR, 1-DAY RAINFALL (INCHES)	11.0
100-YEAR, 1-DAY RAINFALL (INCHES)	14.8
PEAK 5-YEAR, 1-DAY STORM STAGE	23.27
PEAK 25-YEAR, 1-DAY STORM STAGE	23.76
PEAK 100-YEAR, 1-DAY STORM STAGE	24.30
PEAK 100-YEAR, 3-DAY ZERO DISCHARGE STORM STAGE	25.11
MINIMUM REQUIRED PAVEMENT ELEVATION	24.40
MINIMUM FINISHED FLOOR ELEVATION PER SFWMD CRITERIA	24.80
MINIMUM PERMITTER BERM ELEVATION (PER SFWMD)	25.2
ELEVATIONS ARE IN NAVD 88	

DATE: 11/11/2021
DRAWN BY: J. L. QUATRONE
CHECKED BY: J. L. QUATRONE
IN CHARGE: J. L. QUATRONE

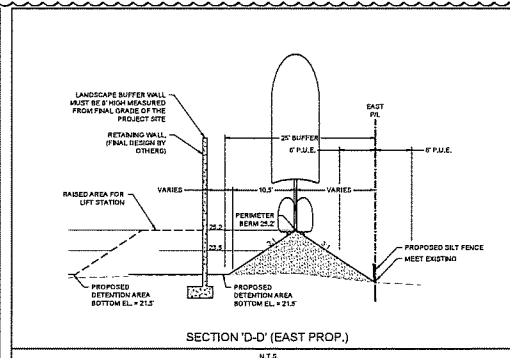
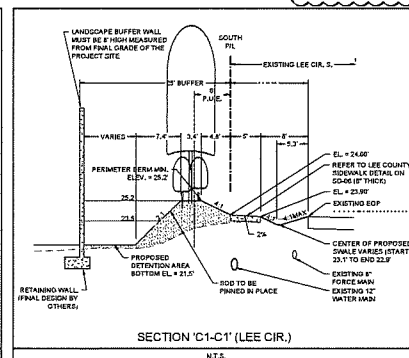
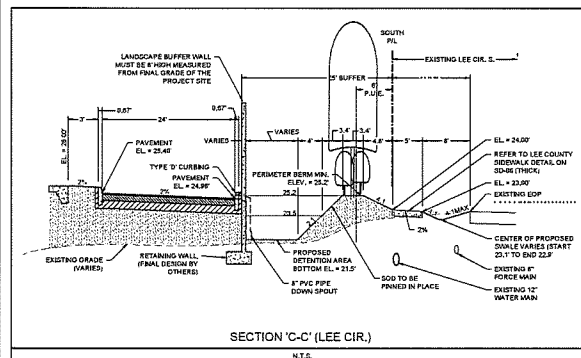
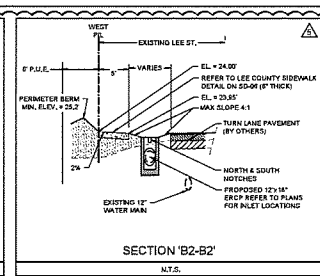
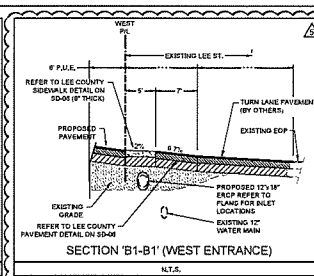
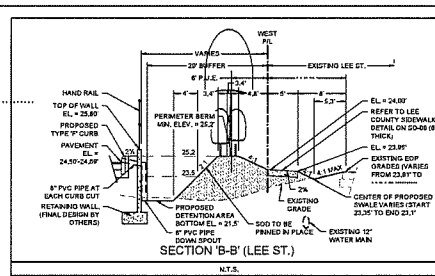
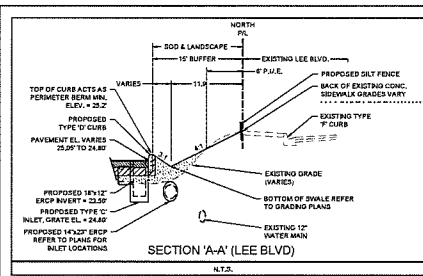
PROJECT: LEE CORNERS
PAVING, GRADING & DRAINAGE PLAN
4975 LEE BLVD.
LEHIGH ACRES, FL 33971

Quatrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4301 Veronica Shoemaker Blvd. - Fort Myers, Florida 33916 - 239-916-5222
Certificate of Accreditation Number: 035

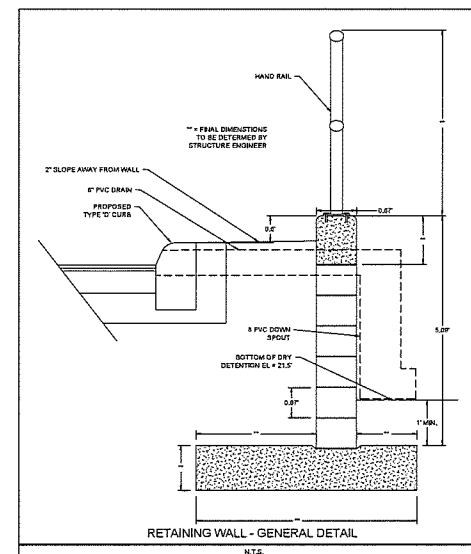
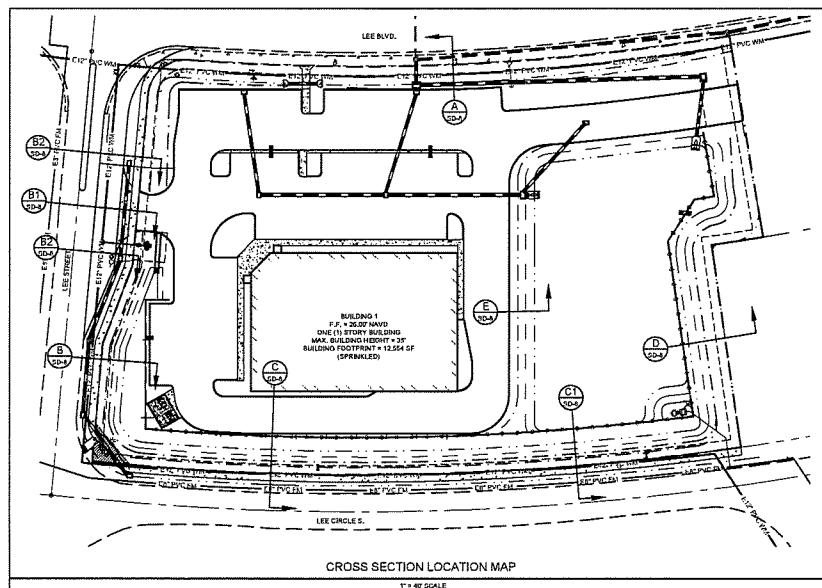
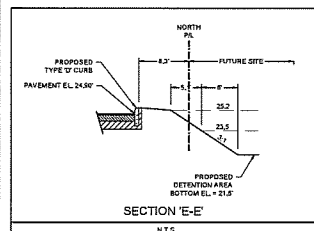
ALFRED QUATRONE, P.E.
FL REG #27241

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CROSS SECTION NOTE:
ANY NATURAL GROUND AREA DISTURBED BY THE CONTRACTOR SHALL BE FERTILIZED, MULCHED, AND SEED.



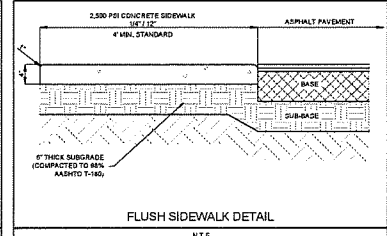
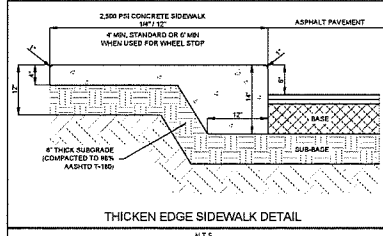
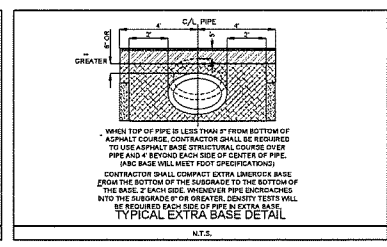
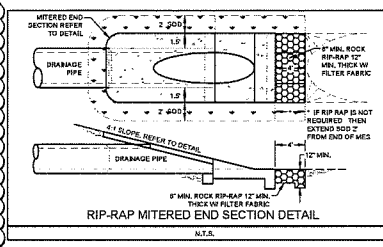
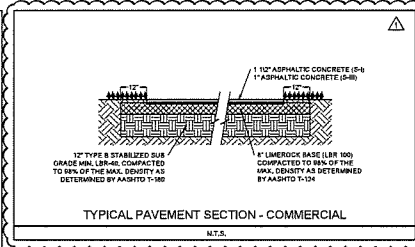
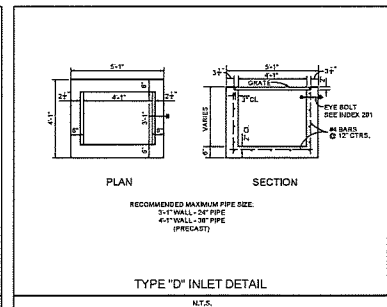
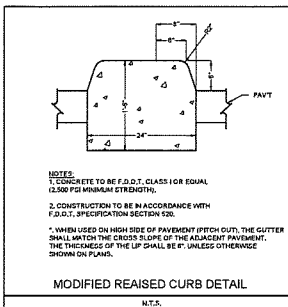
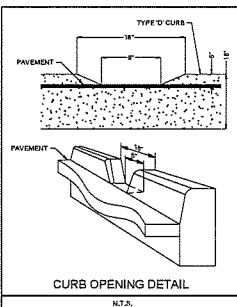
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2	ISSUED FOR PERMIT	03/03/23
3	ISSUED FOR PERMIT	03/03/23
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5	ISSUED FOR PERMIT	03/03/23
6	ISSUED FOR PERMIT	03/03/23
7	ISSUED FOR PERMIT	03/03/23
8	ISSUED FOR PERMIT	03/03/23
9	ISSUED FOR PERMIT	03/03/23
10	ISSUED FOR PERMIT	03/03/23

LEE CORNERS
TYPICAL PROJECT DETAILS & SECTIONS
4825 LEE BLVD.
LEHIGH ACRES, FL 33971

Quattrone & Associates, Inc.
Engineers, Planners, & Development Consultants
4301 Veronica Shoemaker Blvd. - Fort Myers, Florida 33916 - 239-596-5222
Certificate of Accreditation Number 645

APPROVED FOR PERMIT
DATE: 03/03/23
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08 OF 15

Figure 3 consists of three technical drawings of a 100' diameter pipe section. The top left drawing is a cross-section of a '100' VENT-SINGLE PIPE', showing a central vent pipe surrounded by a thick wall. The top right drawing is a cross-section of a '100' VENT-MULTIPLE PIPE', showing a central vent pipe surrounded by a thick wall with multiple internal layers. The bottom drawing is a longitudinal section of a '100' VENT-SINGLE PIPE', showing the internal structure of the pipe, including the vent and the surrounding material. Labels include '100' VENT-SINGLE PIPE', '100' VENT-MULTIPLE PIPE', 'SECTION', and '100' VENT-SINGLE PIPE'.



POTABLE WATER	GARBAGE COLLECTION
FLORIDA GOVERNMENTAL UTILITY AUTHORITY 1215 HOMETOWN ROAD NORTH LEHIGH ACRES, FL 33504-6003 (215) 384-1615	WASTE PRO 1115 HUNTERS LANE FORT MYERS, FL 33903-4467 (239) 337-6666
SAWTRAY SIDER	IRRIGATION WATER
FLORIDA GOVERNMENTAL UTILITY AUTHORITY 1215 HOMETOWN ROAD NORTH LEHIGH ACRES, FL 33504-6003 (215) 384-1615	ON-DEMAND UTILITY LOCATING SERVICE SUNSHINE STATE ONE CALL CENTER PHONE NUMBER: 854-4777 MINIMUM 48 HOURS NOTICE REQUIRED
TELEPHONE	TELEPHONE
DIALPAD 1000 DANIELS PAVY, RD 1000 W. 10TH AVE, SUITE 1012 LEHIGH ACRES, FL 33504-6040 (215) 384-0440	FIRE CONTROL DISTRICT: SAN CARLOS PARK FIRE PROTECTION & RESCUE 1801 S. BOLLING CROFT PARK FORT MYERS, FLORIDA 33913 (239) 387-7720
ELECTRIC	
FLORIDA POWER AND LIGHT COMPANY 601 S. TAMMANTT FT. MYERS, FLORIDA (239) 387-7720	

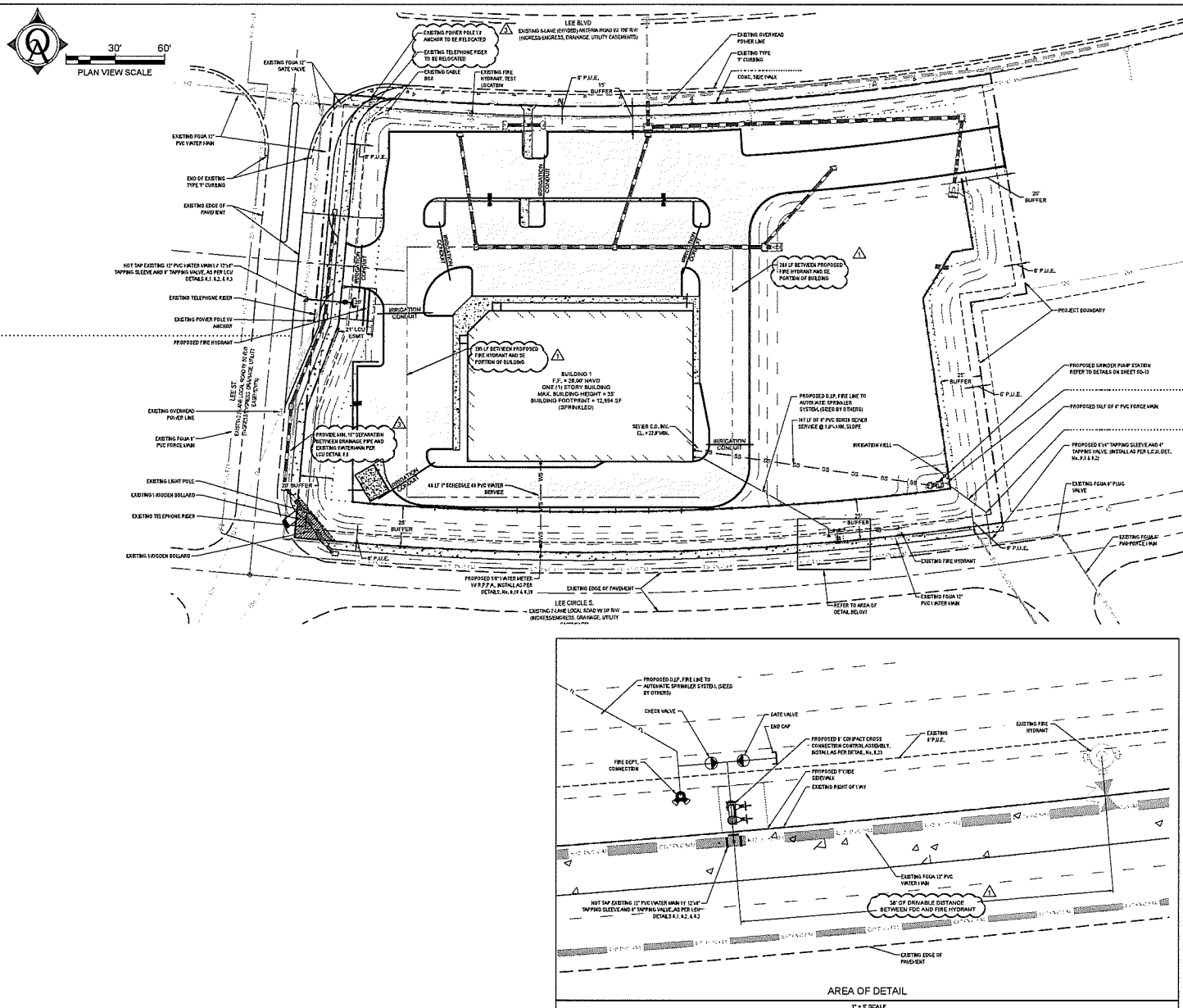
- ALL WATERLINES 12" AND SMALLER SHALL HAVE A MINIMUM COVER OF 2' AND ALL WATERLINES LARGER THAN 12" SHALL HAVE A MINIMUM COVER OF 3'; PER APPA 24.07 UNDERGROUND LINES REQUIRE MINIMUM COVER OF 4'.
- THE ENDS OF ALL CAPPED BRIDGES AND POTABLE WATERLINES SHALL BE MARKED WITH ELECTROME MARKERS AND 24" STAKES 5' IN LENGTH WITH 2" ABOVE GROUND.
- ALL POTABLE AND IRRIGATION WATERLINES SHALL BE AWAY-COA. ORDN 1018 OR 1019 RUBBER MARKERS SHALL BE USED TO MARK ALL POTABLE AND IRRIGATION WATERLINES. ALL POTABLE DEFLECTIONS AND IRRIGATION WATERLINES FOUND ON SIDEWALK SHALL BE CLIP, CLASS 50.
- ALL WATER SERVICES UNDER ROADWAY SHALL BE PLACED IN A 24" MIN. 40 CLASS 100 PAVING PIPE.
- PROPOSED WATERLINE FITTINGS ARE SHOWN AT BENDS IN WATERLINE. ADDITIONAL FITTINGS AND MANHOLES ARE REQUIRED TO BE INSTALLED AT ALL BENDS EXCEEDING 75% OF THE MANUFACTURER'S RECOMMENDED MAXIMUM PIPE DEFLECTION.
- THE CONTRACTOR SHALL PLACE PROPOSED VALVES AS SHOWN. THE VALVE BOX SHALL NOT BE LOCATED IN PAVEMENT, BRICK PAVES, SIDEWALKS OR DRIVEWAY AREAS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BLUE / BLUE REFLECTIVE MARKERS AS INDICATED MARK PROPOSED FIRE HYDRANTS.
- ALL WATER SERVICES UNDER ROADWAY SHALL BE PLACED IN A 24" MIN. 40 CLASS 100 PAVING PIPE.
- ALL COMPONENTS OF THE POTABLE WATER SYSTEM SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) INTERNATIONAL STANDARD BY ALL COMPONENTS OF THE IRRIGATION SYSTEM SHALL BE IN CONFORMANCE WITH SYSTEM SHALL BE IN ACCORDANCE WITH ANY AVAILABLE STANDARDS.
- WHERE HORIZONTAL CLEARANCE FROM WATERLINE TO DRAINAGE STRUCTURE IS LESS THAN 5' CENTER-TO-CENTER OF 2" SHALL BE LOCATING REQUIRING HORIZONTAL DEFLECTION.
- WATER SERVICES TO MAINTAIN 2" SEPARATION FROM DRAINAGE STRUCTURES.

	PROPOSED EASEMENT		PROPOSED FIRST LINE
	PROPOSED SEWER DIG		PROPOSED SEWER SERVICE
	EXISTING SEWER DIG		EXISTING SEWER SERVICE
	PROPOSED WATER METER		PROPOSED WATER SERVICE
	EXISTING WATER METER		EXISTING WATER SERVICE
	EXISTING GATE VALVE		EXISTING FORCE MAIN
	EXISTING FIRE HYDRANT		EXISTING POWER POLE W ANCHOR
	EXISTING BOLLARD		
	EXISTING TRANSFORMER		
	EXISTING LIGHT POLE		

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES, WHETHER OR NOT THEY ARE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT QUATRIENGE ENGINEERING INC. AND HAVE UTILITIES MARKED AT LEAST 72 HOURS BEFORE BEGINNING WORK. WHERE MARKINGS ARE NEAR PROPOSED FOUNDATIONS, THE CONTRACTOR SHALL LOCATE UNDERGROUND UTILITIES BY POT HOLEING PRIOR TO EXCAVATING.

THE CONTRACTOR IS SOLELY RESPONSIBLE TO PROVIDE ALL LABOR AND EQUIPMENT NECESSARY TO LOCATE EXISTING UNDERGROUND FACILITIES BEYOND THE INFORMATION PROVIDED BY QUATRIENGE ENGINEERING INC. MARKING INCLUDE, BUT NOT LIMITED TO METAL DETECTORS, WIRE LOCATORS (OR WIRE LOCATING EQUIPMENT), AND POT HOLEING.

THE CONTRACTOR IS SOLELY RESPONSIBLE TO PROVIDE ALL LABOR AND EQUIPMENT NECESSARY TO LOCATE EXISTING UNDERGROUND FACILITIES BEYOND THE INFORMATION PROVIDED BY QUATTRONE ENGINEERING INC. MARKING INCLUDE, BUT NOT LIMITED TO METAL DETECTORS, WIRE LOCATIONS (OR WIRE LOCATING EQUIPMENT), AND POTHOLDS. CONTRACTOR TO LOCATE THE FOLLOWING: WATER MAINS AND SEWER MAINS.

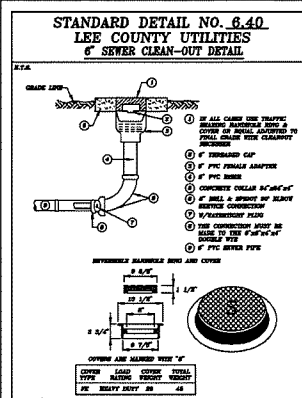
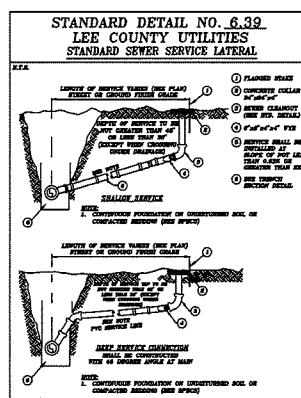
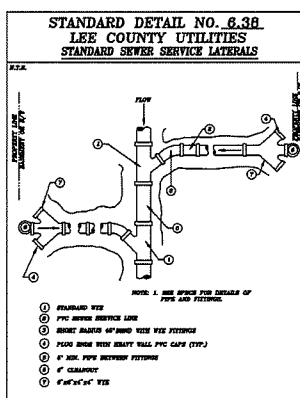
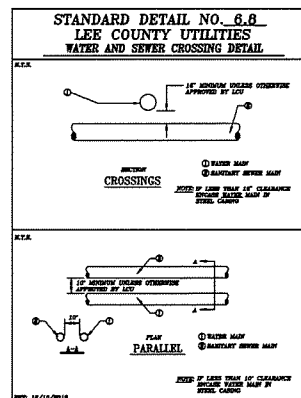
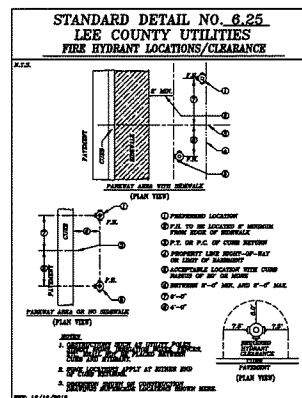
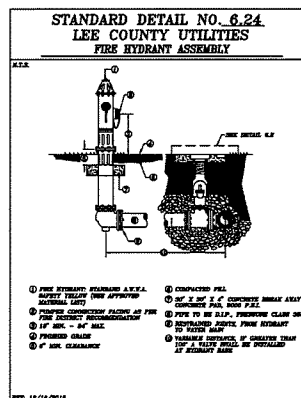
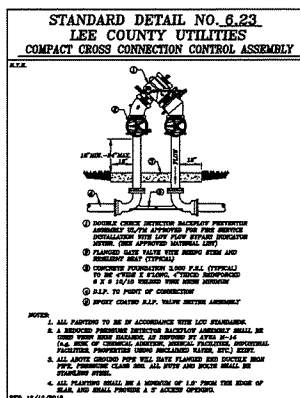
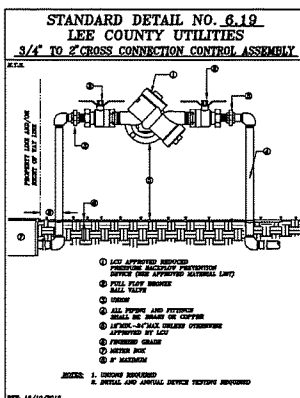
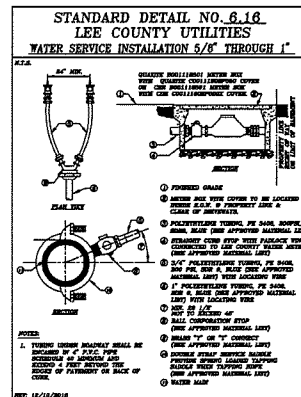
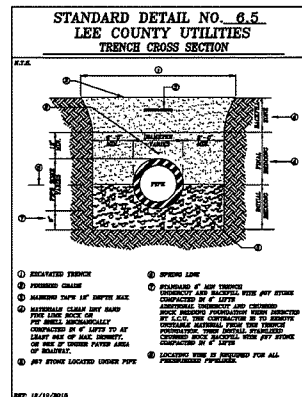
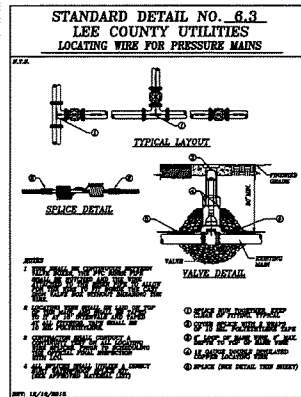
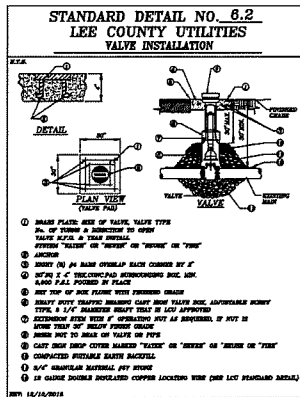
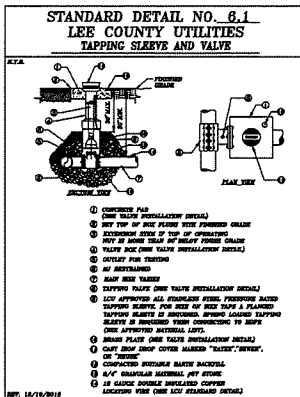


LEE CORNERS
MASTER UTILITY PLAN

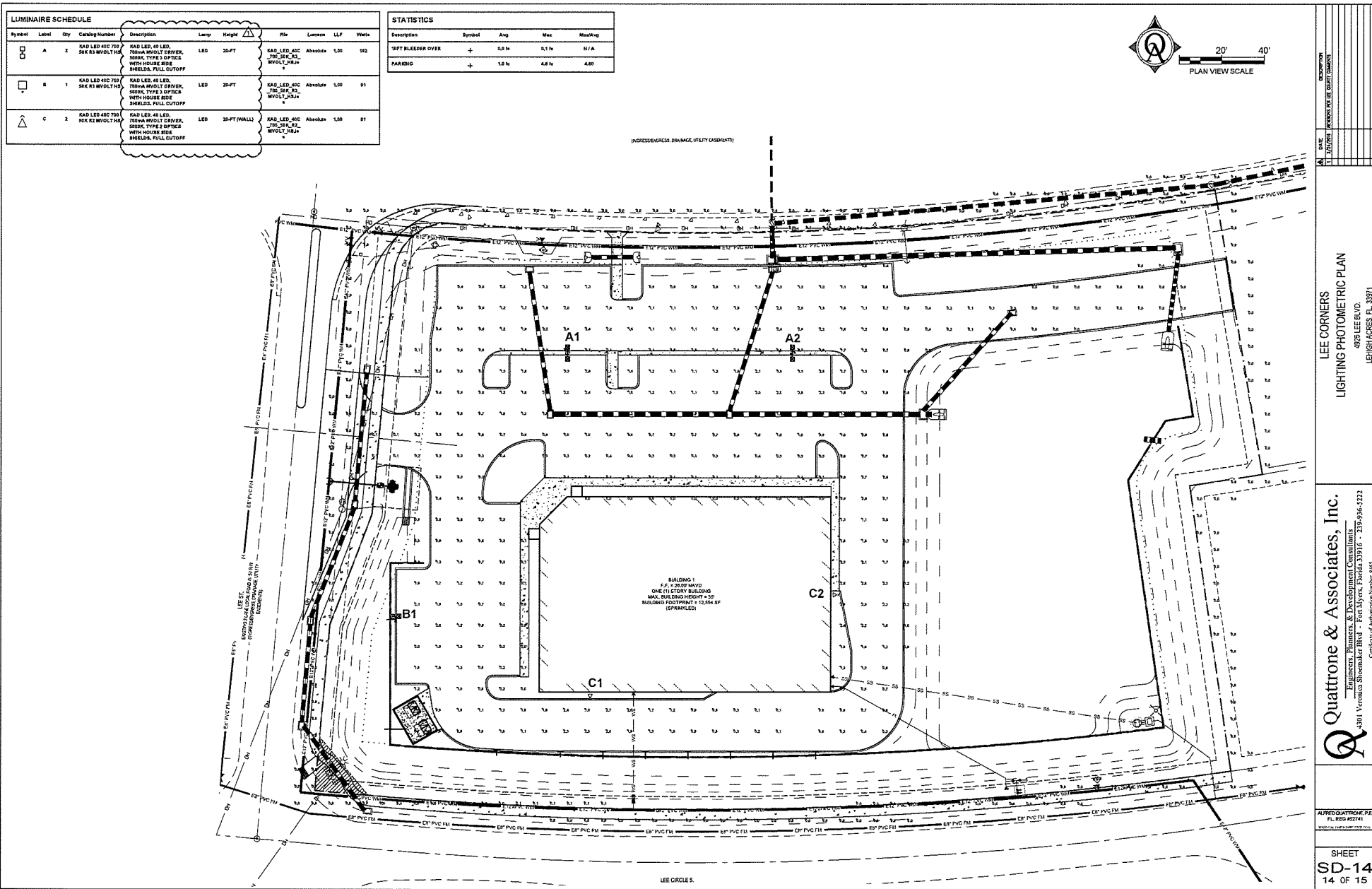
Quattrone & Associates, Inc.

ALFRED QUATTRONE, P.J.
FL. REG. #52741
N. E. L. M. COMPANY, INC. TEAM

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11 OF 15



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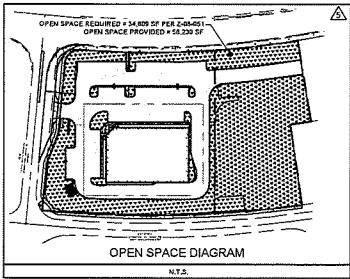
This isometric view shows the site plan from a perspective that highlights the building's footprint and its relationship to the parking areas. The building is a rectangular structure with a central courtyard. The parking areas are shown as hatched regions. Labels A1, A2, B1, C1, and C2 are used to identify specific features or sections of the site plan.

TYPICAL AND SPECIFIC CONSTRUCTION STANDARDS:

1. ALL PLANTING AREAS SHALL BE PROPERLY PREPARED TO RECEIVE PLANT MATERIAL PRIOR TO INSTALLATION. PLANTING AREAS WITH BOULDER (OVER 4" IN DIA) AND BASE ROCK LIMESTONE SHALL NOT BE ACCEPTED AND MUST BE RECTIFIED PRIOR TO CERTIFICATION. ALL FINISHED GRADES SHALL BE WITHIN TWO INCHES (2") OF ALL TRANSITION LINES, CURVES, ETC., NO EXPOSED SURFACES AT FINAL GRADE OR NEARER THAN TWO INCHES (2") WILL BE ACCEPTED. (SEE DETAILS ONCE 300 AND 400 ARE APPLIED. ALL TRANSITIONS SHALL BE EVEN, SMOOTH, CONGRUENT, AND WITHOUT INTERRUPTION.)
2. ALL EXOTIC PLANT SPECIES, HEREIN DEFINED, SHALL BE PHYSICALLY REMOVED FROM THE SITE. LANCE STUMPS ARE TO BE GROUND MINIMUM 2" BELOW GRADE OR REMOVED. SMALLER STUMPS (LESS THAN 8" DIA) MAY BE CUT TO GROUND LEVEL AND TREATED.

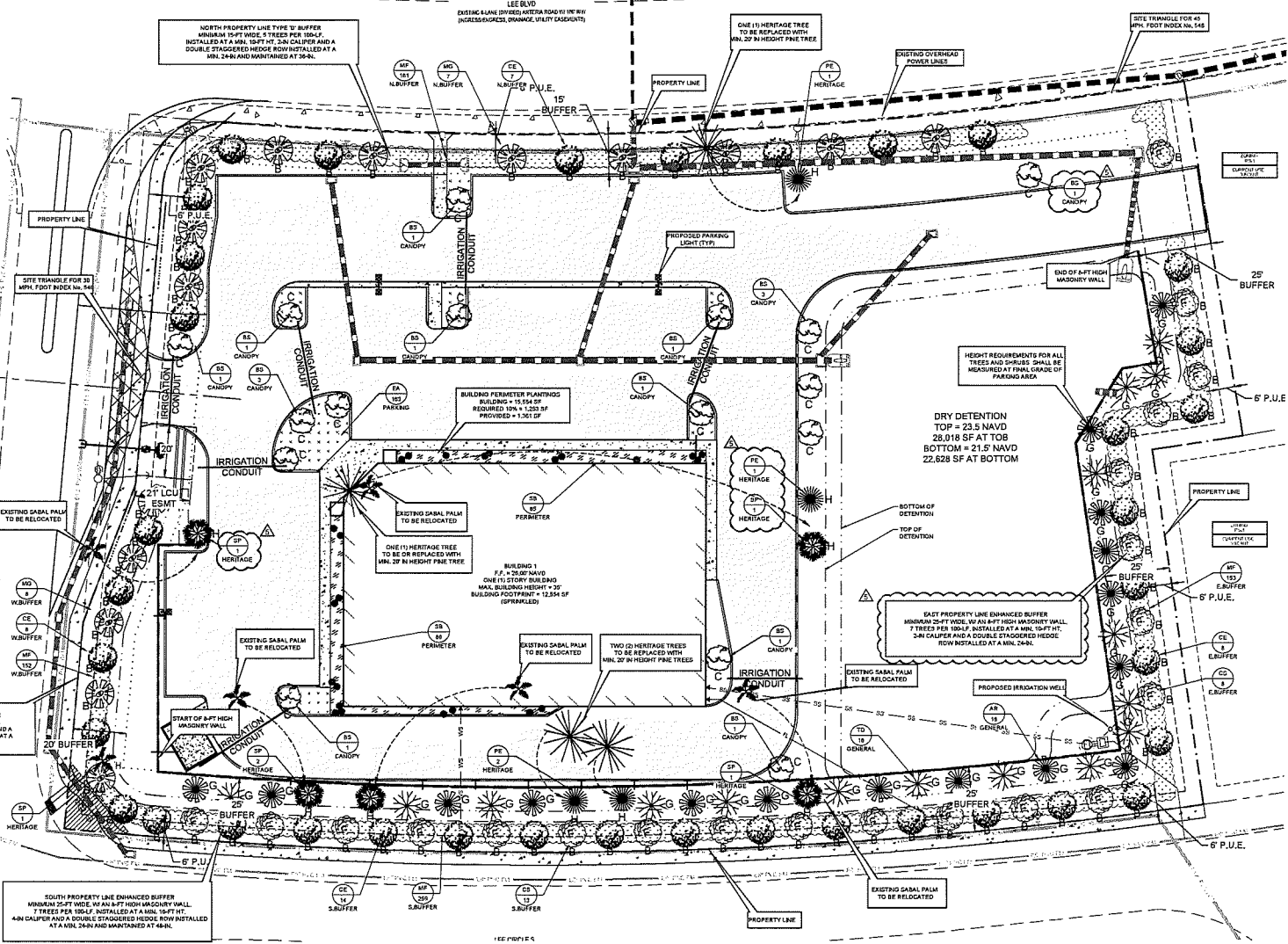
LANDSCAPING CLEARING AND CREDIT NOTE:

1. OPEN CLEARING ALL EXOTICS. EACH EXISTING INDIGENOUS NATIVE TREE PRESERVED IN PLACE WHICH HAS A TRUNK DIAMETER OF FOUR INCHES OR GREATER MEASURED AT FOUR AND ONE-HALF FEET ABOVE THE GROUND (30" DIA) WILL RECEIVE A CREDIT OF FIVE TREES AGAINST THE GENERAL LANDSCAPE REQUIREMENTS. NATIVE PALMS PRESERVED IN PLACE THAT ARE EIGHT FEET OR GREATER FROM GROUND LEVEL TO BASE OF FRONDS, WILL RECEIVE A CREDIT OF THREE TREES. EXISTING SABAL PALMS, IDENTIFIED ON THE DEVELOPMENT ORDER PLANS THAT ARE RELOCATED OR REPLACED WITH A TWO TREE CREDIT. CREDITS FOR EXISTING TREES MAY NOT BE USED TO REDUCE THE REQUIRED PARKING CANOPY TREES IN PARKING OR VEHICLE USE AREAS. EXISTING NATIVE TREES IN BUFFERS MAY BE USED FOR CREDIT PROVIDED THEY OCCUR WITHIN THE REQUIRED 100-FOOT BUFFER ZONING.
2. CREDITS WILL APPLY ONLY WHEN THE TREES ARE LABELED AS PROTECTED-CREDIT TREES. IF THE PROTECTED-CREDIT TREES DIE WITHIN THREE YEARS FROM THE DEVELOPMENT ORDER CERTIFICATE OF COMPLIANCE, THEY MUST BE REPLACED BY THE NUMBER OF CREDIT TREES TAKEN. REFER TO LDC 19-420 (a) (2).
3. EFFORT MUST BE MADE TO PRESERVE HERITAGE TREES WITH AT LEAST A 24-INCH CALIPER (DBH), INCLUDING BUT NOT LIMITED TO LIVE OAK, SOUTH FLORIDA GLASH PINE, OR LONGLEAF PINE. IF A HERITAGE TREE MUST BE REMOVED FROM A SITE THEN A REPLACEMENT TREE WITH A MINIMUM 24-INCH HEIGHT MUST BE PLANTED WITHIN AN APPROPRIATE OPEN SPACE AREA. REFER TO LDC 19-418 (B) (1).



SITE PLAN LEGEND:

PROPOSED PAVEMENT	CENTER LINE
PROPOSED CONCRETE / PAVING	EXIST. FEATURES (ROADS, WALKS, ECT.)
PROPOSED BUILDING LINE	RIGHT OF WAY
PROPOSED SHRUBS	SITE BOUNDARY
PROPOSED ISLAND GROUND COVER	TOP OF BANK
	TOE OF SLOPE
	BUFFER LINE
	BASEMENTS



DATE: 01/11/2024
 DRAWN BY: J. KELLEY ASHLA
 CHECKED BY: J. KELLEY ASHLA
 PROJECT NO: 23-09-06-5222

LEE CORNERS
 LANDSCAPING PLAN - A
 4925 LEE BLVD.
 LEHIGH ACRES, FL 33971

Quattrone & Associates, Inc.
 Engineers, Planners, & Development Consultants
 1301 Vermilion Shoemaker Blvd. • Fort Myers, Florida 33916 • 239-936-5222
 Conflicts of Interest Number: 935

JOSEPH KELLEY ASHLA
 FL REG #1750
 PROJECT MANAGER/DESIGNER

SHEET
 LS-01
 01 OF 01

PROJECT INFORMATION			
PROJECT NAME	LEE CORNERS		
PROJECT ADDRESS	4925 LEE BLVD.		
PROJECT ZONING CLASSIFICATION	COMMERCIAL	COM	
PROJECT STRIP NUMBER	29-444147-0005.001...		
PROJECT NUMBER	141116		
LDC SEC 14-115 OPEN SPACE			
PROJECT ZONING CLASSIFICATION	COMMERCIAL		
PROJECT DEVELOPMENT AREA		110,786	SQFT
OPEN SPACE REQUIRED	31.2%	34,669	SQFT
OPEN SPACE PROVIDED	50.8%	56,230	SQFT
LDC SEC 416-4(x)4 GENERAL TREE REQUIREMENTS			
TOTAL PROJECT AREA		110,786	SQFT
1 TREE PER 3,200 SQFT REQUIRED			
GENERAL TREES REQUIRED		32	TREES
GENERAL TREES PROVIDED		32	TREES

LDC SEC 414(b) BUILDING PERIMETER PLANTING REQUIREMENTS		
BUILDING 1 AREA		12,354 SQFT
10% PERIMETER PLANTING AREA REQUIRED		
PERIMETER PLANTING AREA REQUIRED	1,235	SQFT
PERIMETER PLANTING AREA PROVIDED	1,261	SQFT
PERIMETER PLANTS PROVIDED	151	PLANTS
LDC SEC 414(c)(2) PARKING AREA REQUIREMENTS		
TOTAL PARKING AREA	38,873	SQFT
10% OF PARKING AREA REQUIRED AS LANDSCAPE	3,887	SQFT
1 TREE PER 215 SQFT OF REQ. LANDSCAPE AREA		
CANOPY TREES REQUIRED	16	TREES
CANOPY TREES PROVIDED	16	TREES
LDC SEC 32-1405(b) PARKING/INTERNAL ISLAND GROUNDCOVER		
PARKING ISLANDS AREA	1,425	SQFT
10% ISLAND PLANTING AREA CAN BE SODDED		
GROUNDCOVER PLANTING AREA REQUIRED	1,463	SQFT
GROUNDCOVER PLANTING AREA PROVIDED	1,463	SQFT
GROUNDCOVER PLANTS PROVIDED	163	SQFT

ABUTTING USE	ROW-C	RIGHT-OF-WAY (COUNT)		
	BUFFER TYPE	BUFFER WIDTH		WALL
	D	1'		NO
BUFFER LENGTH			360	LNFT
REDUCED BY EASEMENTS, BUFFERS OR DRAVES			86	LNFT
VEGETATED BUFFER LENGTH			274	LNFT
TREES REQUIRED	5 TREES/100'	14		TREES
TREES PROVIDED	PROPOSED		14	TREES
SHRUBS REQUIRED	HEDGE(2)	181		SHRUBS
SHRUBS PROVIDED	PROPOSED		181	SHRUBS

ABUTTING USE	ROW-C	RIGHT-OF-WAY (COUNT)	
	BUFFER TYPE	BUFFER WIDTH	WALL REQUIRED
	*ENHANCED	25'	YES
BUFFER LENGTH			432' LNFT
REDUCED BY EASEMENTS, BUFFERS OR DRIVES			40' LNFT
VEGETATED BUFFER LENGTH			392' LNFT
TREES REQUIRED	7 TREES / 100 LF	27	TREES
TREES PROVIDED	PROPOSED		27 TREES
SHRUBS REQUIRED	HEDGE(2)	259	SHRUBS

EAST PROPERTY LINE			
ABUTTING USE	SRF_C	SINGLE-FAMILY	
	BUFFER TYPE	BUFFER WIDTH	WALL REQUIRED
	"ENHANCED"	25'	YES
BUFFER LENGTH		272	UNFT
REDUCED BY EASEMENTS, BUFFERS OR DRIVES		40	UNFT
VEGETATED BUFFER LENGTH		232	UNFT
TREES REQUIRED	7 TREES / 100 LF	16	TREES
TREES PROVIDED	HEDGECALL	16	TREES
THINLY PLANTED?	HEDGECALL	16	TREES

WEST PROPERTY LINE			
ABUTTING USE	ROW-C	RIGHT-OF-WAY (COUNT)	
	BUFFER TYPE	BUFFER WIDTH	WALL REQUIRED
	ENHANCED	20	N/A
BUFFER LENGTH			289' UNFT
REDUCED BY EASEMENTS, BUFFERS OR DAVES			57' UNFT
VEGETATED BUFFER LENGTH			231' UNFT
TREES REQUIRED	7 TREES / 100 LF	16	TREES
TREES PROVIDED	PROPOSED	16	TREES

ABUTTING USE	ROW-C	NIGHT-OF-WAY (COUNT)	
	BURFER TYPE	BURFER WIDTH	WALL REQUIRED
	*ENHANCED	20	N/A
BURFER LENGTH		289	LNFT
REDUCED BY EASIMENTS, BURFERS OR DAVES		57	LNFT
VEGETATED BURFER LENGTH		231	LNFT
TREES REQUIRED	7 TREES / 100 LF	16	TREES
TREES PROVIDED	PROPOSED	16	TREES
SHRUBS REQUIRED	HEDGE(T)	152	SHRUBS

PLANTING BED PREPARATION:

APPLY 8 C.F. OF PRO-MIX PEAT-BARK MIX OR APPROVED EQUIVALENT, 2 LBS. OF 10-10-10 FERTILIZER PER 100 S.F. OF PLANTING BED SURFACE, TILL INTO THE SANDY LOAM TOPSOIL TO A MIN. DEPTH OF 6" TEST PREPARED SOIL pH AND APPLY ORGANO LIMESTONE AS REQUIRED TO BRING pH TO 6.5. THOROUGHLY MIX.

PLANT CROWN APPROX. 1/2" BELOW FINISHED GRADE.

12" MIN. SPACING VARIES

3" MULCH LAYER

FINISH LAYER

SANDY LOAM TOPSOIL

8" HIGH

PREPARED PLANTING BED

GROUND COVER / PERENNIAL DETAIL

N.E.S.

[illegible]

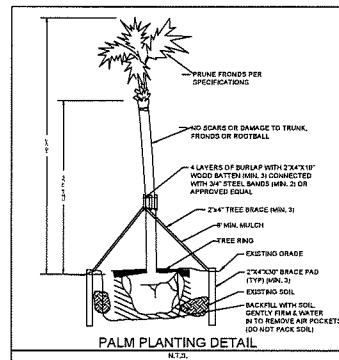
HERITAGE REPLACEMENT TREES					
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
	- PE	SLASH PINE (REPLACE)	PNUS ELLIOTTII V. DENSA	MORE THAN OR EQUAL TO 20' HEIGHT	NATV
	- SP	SABAL PALM (REPLACE)	SABAL PALMETTO	MORE THAN OR EQUAL TO 8' HEIGHT CLEAR TRUNK	NATV
	- SP	SABAL PALM (TO REMAIN)	SABAL PALMETTO	MORE THAN OR EQUAL TO 8' HEIGHT CLEAR TRUNK	NATV

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
-TD	18	BALD CYPRESS	TAXODIUM DISTICHUM	12 HT., 2" CAL. 4" SPREAD	NATIV
-AR	18	RED MAPLE	ACER RUBRUM	12 HT., 2" CAL. 4" SPREAD	NATIV

CANOPY TREES					
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
 - BS	16	OLIBO LIMBO	BURSEKA EDHARUBA	10' HT. 3" CAL. 4" SPREAD	NATV

PERIMETER AND ISLAND PLANTINGS					
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
 - BS	151	SAND CORDORASS	SPARTAN BAKERII	2" HT. 80 GAL. 30" O.C.	NATV
 - EA	182	FIRE BUSH	EUONYMUS ALATUS	2" HT. 80 GAL. 30" O.C.	NATV

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
SOD	N/A	BAHIA SOD	PASPALUM NOTATUM	SAND GROWN	NATV
MULCH	N/A	WOOD RED MULCH		3" DEPTH THROUGHOUT	N/A



NOTE:
GROUND LINE TO BE SAME
AS AT THE NURSERY

Labels and dimensions in the diagram:

- PRUNE TO BUT RETAIN NATURAL FORM
- SPRAY W/ 1% 2,4-D GP ACCORDING TO AHS INSTRUCTIONS IF FOLIAGE IS PRESENT
- 2" MIN. MULCH
- 1" SHREDED PINE BARK MULCH
- CONSTRUCT A 4" HIGH DAUCER BEAM
- TOP SOIL & FINANCING (SEE SPECS)
- 6" FOR PLANTS UP TO 4" HIGH & 6" FOR PLANTS OVER 4" HIGH
- REMOVE BURLAP FROM TOP OF BALL
- 1" MIN. FOR PLANTS UP TO 4" HIGH & 2" MIN. FOR PLANTS OVER 4" HIGH

SHRUB PLANTING DETAIL

U.T.A.

NORTH BUFFER TREES AND SHRUBS					
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
	- DE	7 GREEN BUTTWOOD	CORNICARPUS ERECTUS	10 FT. 2" CAL 4" SPREAD	NATIVE
	- MG	7 SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	10 FT. 2" CAL 4" SPREAD	NATIVE
	- SH	151 SIMPSON STOPPER	HYDRANTHES FRAGRANS	24" HT. 45 GAL 38" O.C.	NATIVE

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
CE-3	14	GREEN BUTTWOOD	CONOCARPUS ERECTUS	1" HT., 4" CAL. 8" SPREAD	NATIVE
CS-1	13	GEIGER TREE	CORBIA SEBESTENA	1" HT., 4" CAL. 8" SPREAD	NATIVE

SYMBOL		QUANTITY	COMMON NAME	SCIENTIFIC NAME	SPECIFICATION	STATUS
	-CE	8	GREEN BUTTONWOOD	CONDORCARPUS ERECTUS	18' HT. - 4" CAL # SPREAD	NATIVE
	-MG	8	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	18' HT. - 4" CAL # SPREAD	NATIVE
	-SF	152	SIMPSON STOPPER	MYRTACANTHES FRAGRANS	24" HT. - 40 GAL 3" O.C.	NATIVE

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	DEFINITION	STATUS
-CE	\$	GREEN BUTTWOOD	CONOCARPUS ERECTUS	10' HT., 2" CAL 4" SPREAD	NATIVE
-CS	\$	GEKKER TREE	CORNIA SEBESTENA	10' HT., 2" CAL 4" SPREAD	NATIVE

	MF	153	SIMPSON STOPPER	MYRACANTHES FRAGRANS	24" HT.; #3 GAL, 38" O.C.

[illegible]

TO IMPROVE THE SURVIVABILITY OF REQUIRED LANDSCAPING, CULTIVATED LANDSCAPE AREAS MUST BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM. ALL REQUIRED IRRIGATION SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE APPLICATION OF WATER TO PERVIOUS AREAS, INCLUDING ROADS, DRIVEWAYS AND OTHER VEHICLE AREAS. REQUIRED IRRIGATION MUST ALSO BE DESIGNED TO AVOID IMPACTS ON EXISTING NATIVE VEGETATION.

ALL NEW DEVELOPMENTS THAT HAVE REQUIRED LANDSCAPING MUST BE IRRIGATED BY THE USE OF AN AUTOMATIC IRRIGATION SYSTEM WITH CONTROLLER SET TO CONSERVE WATER. MOISTURE DETECTION DEVICES MUST BE INSTALLED IN ALL AUTOMATIC SPRINKLER SYSTEMS TO OVERRIDE THE SPRINKLER ACTIVATION MECHANISM DURING PERIODS OF INCREASED RAINFALL. WHERE EXISTING IRRIGATION SYSTEMS ARE MODIFIED REQUIRING THE ADDITION OF A PERMIT, AUTOMATIC ACTIVATION SYSTEMS AND OVERRIDING MOISTURE DETECTION DEVICES MUST BE

IRRIGATION NOTES:

1. IRRIGATION SYSTEM TO BE INSTALLED TO PROVIDE 100% COVERAGE (HEAD TO HEAD) TO CODE REQUIRED PLANTINGS.

2. IRRIGATION CONNECTION SHALL BE DETERMINED BY OWNER.
3. FLOOD DETENTION AREAS SHALL BE DERIVED FROM THE TOP OF BANK TO THE BOTTOM OF THE ESCAPE ONLY.
4. PARKING ISLANDS AND BUILDING PERIMETER PLANTING SHALL HAVE SPRAY TYPE HEADS OR FLOOD BUBBLER TYPE IRRIGATION.
5. CONTRACTOR TO DETERMINE IRRIGATION ZONE DELINEATION AND PIPE SIZES TO INSURE WATER VELOCITY SHALL NOT EXCEED 5 FEET PER SECOND THROUGH ANY PIPING OR IRRIGATION COMPONENT.
6. ALL IRRIGATION PIPING INSTALLED UNDER PAVEMENT SHALL BE INSTALLED IN SLEEVES EITHER EXISTING OR ADDED AS PART OF THE RENOVATION.
7. THIS PLAN IS SCHEMATIC IN NATURE. COMPONENTS ARE SHOWN FOR CLARITY. ACTUAL LOCATION OF COMPONENTS MAY VARY TO FIELD CONDITIONS.
8. FUTURE DEVELOPMENT AREA SHALL NOT BE IRRIGATED.
9. THE IRRIGATION SYSTEM SHALL BE DESIGNED SUCH THAT NO WATER SHALL BE APPLIED TO IMPERVIOUS SURFACES.

COMPONENT SPECIFICATIONS:	
CONTROLLER	RAIN BIRD ESP SERIES 4 STATION OUTDOOR
RAIN SENSOR	CONTROLLER MINI-CLIC II
SOLING VALVES	RAIN BIRD PDS SERIES VALVES 1" TO 2" SIZE
PERFORMANCE SPECIFICATIONS	20-700 PSI, 25-30 GPM
ROTOR TYPE IRRIGATION HEADS	RAIN BIRD T-BIRD SERIES
PERFORMANCE SPECIFICATIONS	RADIUS 19'-0"
	2.5-85 PSI, 0.8-8.1 GPM
SPRAY TYPE IRRIGATION HEADS	RAIN BIRD LUN-SPRAY SERIES 6" POPUP
PERFORMANCE SPECIFICATIONS	RADIUS 7'-6"
	15-70 PSI, 48-6.33 GPM
FLOOD DUBLER TYPE IRRIGATION HEADS	RAIN BIRD LUN-SPRAY SERIES 6" POPUP

OR APPROVED EQUAL

Exhibit D



Engineers, Planners & Development Consultants

4301 Veronica Shoemaker Blvd. Fort Myers, FL
239.936.5222 | QAINC.net | f 239.936.7228

September 14, 2023

Office of the Lee County Hearing Examiner
Lee County Department of Community Development
1500 Monroe Street, Room 218
Fort Myers, Florida 33901
Attention: Madame Hearing Examiner Amanda Rivera

**Re: Case No. REZ2022-00019
Lee Corners Rezoning**

Dear Madame Hearing Examiner Rivera

Please be advised that a Development Order Amendment to remove the previously permitted driveway shown on DOS2016-00010 was submitted to Lee County Development Services on September 8, 2023. In addition, LDO2023-00323 was submitted to Lee County on 7/31/2023 to relocate the driveway to the eastern most lot on Lee Boulevard which is a part of this zoning application.

Although Policy 25.8.1 of the Lee Plan discourages direct access to Lee Boulevard, it does not prohibit direct access. Lee County staff acknowledges that DOS2016-00010 is an active Development Order and is approved for direct access to Lee Boulevard. As such, relocating the driveway to the east 80 feet increases driveway separation from Lee Street. Therefore, it is our opinion that the modification meets the intent of Policy 25.8.1.

Sincerely,
Quattrone & Associates, Inc.

A handwritten signature in black ink, appearing to read 'Al Quattrone', with a horizontal line extending to the right.

Al Quattrone, P.E.
President