



# APPLICATION FOR PLANNED DEVELOPMENT PUBLIC HEARING UNINCORPORATED AREAS ONLY

**Project Name:** Carissa Minor RPD

**Request:** Rezone from: CPD To: RPD

Type:  Major PD  Minor PD  DRI w/Rezoning  PRFPD  
 Major PD Amendment  Minor PD Amendment

**Bonus Density included?**  NO  YES<sup>1</sup> for: 88 Bonus Units

<sup>1</sup> If **YES**, submit additional fee required by LDC 2-147(A)(3)

## Summary of Project:

Rezone ±19.96 acres from Commercial Planned Development (CPD) to minor Residential Planned Development (RPD) to replace 100,000 SF of retail, 50,000 SF of office and 100 hotel rooms with 265 multi-family units (including 88 bonus units) with a maximum height of 45 feet.

## PART 1 APPLICANT/AGENT INFORMATION

- A. Name of Applicant:** Carissa, LLC  
Address: 9250 Corkscrew Road, Suite 8  
City, State, Zip: Estero, FL 33928  
Phone Number: \_\_\_\_\_  
E-mail Address: \_\_\_\_\_
- B. Relationship of Applicant to owner (check one) and provide [Affidavit of Authorization](#) form:**  
 Applicant is the sole owner of the property. [34-201(a)(1)a.1.]  
 Applicant has been authorized by the owner(s) to represent them for this action. [34-202(a)(3)]  
 Application is County initiated. Attach BOCC authorization.
- C. Authorized Agent: (If different than applicant) Name of the person who is to receive all County-initiated correspondence regarding this application. [34-202(a)(4)]**
1. Company Name: Banks Engineering  
Contact Person: Stacy Ellis Hewitt, AICP  
Address: 10511 Six Mile Cypress Parkway, Suite 101  
City, State, Zip: Fort Myers, FL 33966  
Phone Number: (239) 939-5490 Email: SHewitt@bankseng.com
2. **[Additional Agent\(s\)](#):** Provide the names of other agents that the County may contact concerning this application. [34-202(a)(4)]

LEE COUNTY COMMUNITY DEVELOPMENT  
PO BOX 398 (1500 MONROE STREET), FORT MYERS, FL 33902  
PHONE (239) 533-8585

**PART 2  
PROPERTY OWNERSHIP**

**A. Property owner(s): If multiple owners (corporation, partnership, trust, association), provide a list with owner interest. [34-202(a)(2)]**

Name: Carissa, LLC

Address: 9250 Corkscrew Road, Suite 8

City, State, Zip: Estero, FL 33928

Phone Number: \_\_\_\_\_

Email: \_\_\_\_\_

**B. Disclosure of Interest [34-202(a)(2)]:**

Attach [Disclosure of Interest](#) Form.

**C. Multiple parcels:**

Property owners list. [34-202(a)(8)]

Property owners map. [34-202(a)(8)]

**D. Certification of Title and Encumbrances [34-202(a)(7)]**

1. Title certification document, no greater than 90 days old.

2. Date property was acquired by present owner(s): 1/10/06/17-45-25-01-00000.07CE: 10/09/2007

**PART 3  
PROPERTY INFORMATION**

**A. STRAP Number(s): [Attach extra sheets if additional space is needed.] [34-203(a)(5)]**

17-45-25-01-00000.0270; 17-45-25-00-00004.0000; 17-45-25-01-00000.0280, 17-45-25-00-00004.0020 & 17-45-25-01-00000.07CE

**B. Street Address of Property: Carissa Commerce Court**

**C. Legal Description (must submit) [34-202(a)(5)]:**

Legal description (metes and bounds) (8½"x11") and sealed sketch of the legal description.

**OR**

Legal description (NO metes and bounds) if the property is located within a subdivision platted per F.S. Chapter 177, and is recorded in the Official Records of Lee County under Instruments or Plat Books. ([Click here](#) to see an example of a legal description with no metes and bounds.)

**AND**

**Boundary Survey [34-202(a)(6)]:**

A Boundary survey, tied to the state plane coordinate system.

**OR**

Not required if the property is located within a subdivision platted per F.S. Chapter 177.

**D. Surrounding property owners (within 500 feet of the perimeter of the subject parcel or portion thereof that is subject of the request):**

1.  List of surrounding property owners. [34-202(a)(9)]

2.  Map of surrounding property owners. [34-202(a)(9)]

3.  One set of mailing labels. [34-202(a)(9)]

*Note: When the case is found complete/ sufficient, a new list and mailing labels must be submitted.*

**E. Current Zoning of Property: CPD**

Provide a list of all Zoning Resolutions and Zoning Approvals applicable to the subject property.

**F. Use(s) of Property:**

1. Current uses of property are: Vacant

2. Intended uses of property are: Multi-family development

**G. Future Land Use Classification (Lee Plan):**

Central Urban	<u>19.96</u>	Acres	<u>100</u>	% of Total
_____	_____	Acres	_____	% of Total
_____	_____	Acres	_____	% of Total

**H. Property Dimensions:**

1. Width (average if irregular parcel): 651 ± Feet
2. Depth (average if irregular parcel): 1322 ± Feet
3. Total area: 19.96 Acres or square feet
4. Frontage on road or street: 1389 ± Feet on Six Mile Cypress Pkwy Street
- 2<sup>nd</sup> Frontage on road or street: 749± Feet on Crystal Dr. Street
- 665± Feet on JV Parker Lane

**I. Planning Communities/Community Plan Area Requirements:** If located in one of the following planning communities/community plan areas, provide a meeting summary document of the required public informational session.

- Not Applicable
- Captiva Planning Community (Captiva Island). [33-1612(a)&(b); Lee Plan Policy 13.1.7]
- North (Upper) Captiva Community Plan area. [33-1711]
- Boca Grande Planning Community. [Lee Plan Policy 22.1.5]
- Caloosahatchee Shores Community Plan area. [33-1482(a)&(b); Lee Plan Policy 21.6.3]
- Page Park Community Plan area. [33-1203(a) & (b); Lee Plan Policy 27.11.2]
- Palm Beach Boulevard Community Plan area. [Lee Plan Policy 23.5.2]
- Buckingham Planning Community. [Lee Plan Policy 17.7.2]
- Pine Island Planning Community. [33-1004(a) & (b); Lee Plan Policy 14.7.1]
- Lehigh Acres Planning Community. [33-1401(a)&(b); Lee Plan Policy 32.12.2]
- North Fort Myers Planning Community. [33-1532(a)&(b)]
- North Olga Community Plan area. [33-1663(a)&(b)]

**J. Waivers from Application Submission Requirements:** Attach waivers, if any, approved by the Director of Zoning. [34-201(c)]

**PART 4  
TYPES OF LAND AREA ON PROPERTY**

<b>A. Gross Acres (total area within described parcel)</b>		<u>19.96</u>	<b>Acres</b>
1. Submerged land subject to tidal influence		<u>        </u>	Acres
2. a. Preserved freshwater wetlands	<u>4.21</u>	Acres	
b. Impacted wetlands	<u>2.32</u>	Acres	
c. Preserved saltwater wetlands	<u>0</u>	Acres	
d. Total wetlands (A.2.a. plus A.2.b. plus A.2.c.)		<u>6.53</u>	Acres
3. R-O-W providing access to non-residential uses		<u>0</u>	Acres
4. Non-residential use areas <sup>(1)(2)</sup>		<u>0</u>	Acres
<b>B. Total area not eligible as gross residential acreage (Items A.1. + A.3. + A.4.).</b>		<u>0</u>	<b>Acres</b>
<b>C. Gross residential acres. (A minus B) <sup>(3)</sup></b>		<u>19.96</u>	<b>Acres</b>
<b>D. Gross residential acres (by Land Use Category)</b>			
1. a. Intensive Development – upland		<u>0</u>	Acres
b. Intensive Development – preserved freshwater wetlands		<u>0</u>	Acres
c. Intensive Development – impacted wetlands		<u>0</u>	Acres
2. a. Central Urban – upland		<u>13.43</u>	Acres
b. Central Urban – preserved freshwater wetlands		<u>4.21</u>	Acres
c. Central Urban – impacted wetlands		<u>2.32</u>	Acres
3. a. Urban Community or Suburban – upland		<u>0</u>	Acres
b. Urban Community or Suburban – preserved freshwater wetlands		<u>0</u>	Acres
c. Urban Community or Suburban – impacted wetlands		<u>0</u>	Acres

4.	a.	Suburban – upland	0	Acres
	b.	Suburban – preserved freshwater wetlands	0	Acres
	c.	Suburban – impacted wetlands	0	Acres
5.	a.	Outlying Suburban – upland	0	Acres
	b.	Outlying Suburban – preserved freshwater wetlands	0	Acres
	c.	Outlying Suburban – impacted wetlands	0	Acres
6.	a.	Sub-Outlying Suburban – upland	0	Acres
	b.	Sub-Outlying Suburban – preserved freshwater wetlands	0	Acres
	c.	Sub-Outlying Suburban – impacted wetlands	0	Acres
7.	a.	Rural, Outer Island, Rural Community Preserve – upland	0	Acres
	b.	Rural, Outer Island, Rural Community Preserve – wetlands	0	Acres
8.	a.	Open Lands – upland	0	Acres
	b.	Open Lands – wetlands	0	Acres
9.	a.	Resource – upland	0	Acres
	b.	Resource – wetlands	0	Acres
10.	a.	Wetlands	0	Acres
11.	a.	New Community – upland	0	Acres
	b.	New Community – wetlands	0	Acres
12.	a.	University Community – upland	0	Acres
	b.	University Community – wetlands	0	Acres
13.	a.	Coastal Rural – upland	0	Acres
	b.	Coastal Rural – wetlands	0	Acres
<b>TOTAL (should equal "C" above)</b>			<b>19.96</b>	<b>Acres</b>

Notes:

- (1) Lands for commercial, office, industrial uses, natural water bodies, and other non-residential uses must not be included except within the Mixed Use Overlay {see Note (2) below}.
- (2) Within the Mixed Use Overlay, lands for commercial, office, industrial uses, natural water bodies, and other non-residential uses may be included in density calculations {see Lee Plan Objective 4.3}.
- (3) Lands to be used for residential uses including land within the development proposed to be used for streets & street rights of way, utility rights-of-way, public & private parks, recreation & open space, schools, community centers, & facilities such as police, fire & emergency services, sewage & water, drainage, and existing man-made waterbodies.

**PART 5  
RESIDENTIAL DEVELOPMENT - PRELIMINARY DENSITY CALCULATIONS**

- i. Complete only if living units are proposed in a Future Land Use Category.
- ii. If more than one classification, calculations for each classification must be submitted. Attach extra sheets as necessary.
- iii. If wetlands are located on the property, density calculations are considered preliminary pending a wetlands jurisdictional determination.

**A. Future Land Use Category: Central Urban**

		<b>Lee Plan Table 1(a)</b>		
		<b>Max. standard density</b>		<b>Units</b>
<b>1. Standard Units</b>				
a.	Total upland acres (from Part 4, D.)	13.43	x 10 equals	134.3
b.	Total preserved freshwater wetlands acres (from Part 4, D.)	4.21	x 10 equals	42.1
c.	Total impacted wetlands acres (from Part 4, D.)	2.32	x 1/20 equals	0.12
d.	<b>Total Allowed Standard Units</b> <sup>(1)</sup>			<b>176.5</b>
<b>2. Bonus Units [2-143]</b>				
a.	Site-built Affordable Housing			*
b.	Transferrable Dwelling Units			*up to 176.52 if GPITDU
c.	Sub-total			<b>176.5</b>
<b>3. Total Permitted Units</b> <sup>(1)</sup>				<b>Max 353</b>

Note:

(1) Subject to revision if wetlands jurisdictional determination indicates a different acreage of wetlands.

**PART 6 – N/A**  
**COMMERCIAL, INDUSTRIAL, MINING, ASSISTED LIVING FACILITIES, HOTELS & MOTELS**  
**PRELIMINARY INTENSITY CALCUATIONS**

<b>A. Commercial</b>	<b>Height</b>	<b>Total Floor Area (Square Feet)</b>
1. Medical		
2. General Office		
3. Retail		
4. Other: _____		
5. <b>TOTAL FLOOR AREA</b>		
<b>B. Industrial</b>	<b>Height</b>	<b>Total Floor Area (Square Feet)</b>
1. Under Roof		
2. Not Under Roof		
3. <b>TOTAL FLOOR AREA</b>		
<b>C. Mining</b>	<b>Depth</b>	<b>Total Acres</b>
1. Area to be excavated		
<b>D. Assisted Living Facilities</b>	<b>Height</b>	<b>Total Beds/Units</b>
1. Dependent Living Units		
2. Independent Living Units		
3. <b>TOTAL BEDS/UNITS</b>		
<b>E. Hotels/Motels (Room Size)</b>	<b>Height</b>	<b>Total Rental Units</b>
1. < 425 sq. ft.		
2. 426-725 sq. ft.		
3. 725 < sq. ft.		
4. <b>TOTAL UNITS</b>		

**PART 7**  
**ACTION REQUESTED**

- A. Request Statement:** Provide a single narrative explaining the nature of the request and how the property qualifies for the rezoning to a planned development. This narrative should include how the proposed development complies with the Lee Plan, the Land Development Code, and the applicable findings/review criteria set forth in LDC section 34-145(d)(4). This narrative may be utilized by the Board of County Commissioners, Hearing Examiner and staff in establishing a factual basis for the granting or denial of the rezoning. **[34-373(a)(5)]**
  
- B. Traffic Impact Statement.** A traffic impact statement in a format and to the degree of detail required by the County and in conformance with the adopted Lee County Administrative Code. TIS is not required for an existing development. **[34-373(a)(7)]**
  
- C. Master Concept Plan:**
  - 1. Master Concept Plan, Non-PRFPD:** A graphic illustration (Master Concept Plan) of the proposed development, showing and identifying the information required by LCLDC Section 34-373(a)(6)a. Copies of the Master Concept Plan must be provided in two sizes, 24"x36" and 11"x17", and must be clearly legible and drawn at a scale sufficient to adequately show and identify the required information. In addition to the Master Concept Plan, an open space design plan delineating the indigenous preserves and/or native tree preservation areas as required by LDC Section 10-415(b) must be submitted. **[34-373(a)(6)]**
  - 2. Schedule of Uses:** A schedule of uses keyed to the Master Concept Plan as well as a summary for the entire property including the information required by LCLDC Section 34-373(a)(8). **[34-373(a)(8)]**

3. **Schedule of Deviations and Written Justification:** A schedule of deviations and a written justification for each deviation requested as part of the Master Concept Plan accompanied by documentation including sample detail drawings illustrating how each deviation would enhance the achievement of the objectives of the planned development and will not cause a detriment to public interests. The location of each requested deviation must be located/shown on the Master Concept Plan. [34-373(a)(9)]

D. **Bonus Density:** [34-202(a)(11)]

- Not Applicable  
 Bonus Density will be used. Provide the number of Bonus Density units being requested and a narrative of how the request meets the requirements of LDC Section 2-146.

**PART 8  
ENVIRONMENTAL REQUIREMENTS**

- A. **Topography:** Describe the range of surface elevations of the property. Attach a county topographic map (if available) or a USGS quadrangle map showing the subject property. [34-373(a)(4)b.iv.]  
 See attached survey
- 
- B. **Sensitive Lands:** Identify any environmentally sensitive lands, including, but not limited to, wetlands (as defined in the LEE Plan Section XII), flowways, creek beds, sand dunes, other unique land forms [see LEE Plan Policy 77.1.1 (2)] or listed species occupied habitat [see LCLDC Section 10-473(f)].  
 See attached environmental assessment and protected species survey
- 
- C. **Preservation/Conservation of Natural Features:** Describe how the lands listed in PART 6.B. above will be protected by the completed project:  
 Please see attached environmental assessment and protected species survey
- 
- D. **Shoreline Stabilization:** If the project is located adjacent to navigable natural waters, describe the method of shoreline stabilization, if any, being proposed:  
 N/A
- 
- E. **Soils Map:** Attach maps drawn at the same scale as the Master Concept Plan marked or overprinted to show the soils classified in accordance with the USDA/SCS System. [34-373(a)(4)b.i.]
- F. **FLUCCS Map:** A Florida Land Use, Cover and Classification System (FLUCCS) map, at the same scale as the Master Concept Plan, prepared by an environmental consultant. The FLUCCS map must clearly delineate any Federal and State jurisdictional wetlands and other surface waters, including the total acreage of Federal and State wetlands. [34-373(a)(4)c.]
- G. **Rare & Unique Upland Habitat Map:** Maps drawn at the same scale as the Master Concept Plan marked or overprinted to show significant areas of rare and unique upland habitat as defined in the LEE Plan Section XII. [34-373(a)(4)b.iii.]
- H. **Existing and Historic Flow-Ways Map:** Map(s) drawn at the same scale as the master concept plan marked or overprinted to show existing and historic flow-ways. [34-373(a)(4)b.v.]

**PART 9  
SANITARY SEWER & POTABLE WATER FACILITIES**

- A. **Special Effluent:** If the discharge of any special effluent is anticipated, please specify what it is and what strategies will be used to deal with its' special characteristics:  
 N/A
- 
- B. **Private On-Site Facilities:** If a private on-site wastewater treatment and disposal facility is proposed, please provide a detailed description of the system including:
1. Method and degree of treatment:  
 N/A
  2. Quality of the effluent:  
 N/A

3. Expected life of the facility:

N/A

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4. Who will operate and maintain the internal collection and treatment facilities:

N/A

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5. Receiving bodies or other means of effluent disposal:

N/A

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**C. Spray Irrigation:** If spray irrigation will be used, specify:

1. The location and approximate area of the spray fields:

N/A

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2. Current water table conditions:

N/A

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3. Proposed rate of application:

N/A

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4. Back-up system capacity:

N/A

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## PART 10 ADDITIONAL REQUIREMENTS

**A. Major Planned Developments:**

1. **Surface Water Management Plan.** A written description of the surface water management plan as required by LCLDC Section 34-373(b)(1). **[34-373(b)(1)]**
2. **Phasing Program.** If the development is to be constructed in phases or if the Traffic Impact Statement utilized phasing, then a description of the phasing program must be submitted. **[34-373(b)(3)]**
3. **Protected Species Survey.** A protected species survey is required for large developments (as defined in LCLDC Section 10-1) as specified in LCLDC Section 10-473. **[34-373(b)(2)]**

**B. Amendments to Built Planned Developments:** The consent of the owners of the remainder of the original planned development is not required, but these owners must be given notice of the application and other proceedings as if they were owners of property abutting the subject property regardless of their actual proximity to the subject property. Attach proof of notice to other property. **[34-373(c)]**

**C. Development of Regional Impact:** Binding letter of interpretation from DCA or a complete and sufficient ADA. (See also Application for Public Hearing for DRI Form.) **[34-373(d)(9)]**

**D. Private Recreational Facility Planned Developments (PRFPDs):**

1. **Master Concept Plan, PRFPD.** Master Concept Plan showing and identifying information required by LDC Section 34-941(g)(1). Copies of the Master Concept Plan must be provided in two sizes, 24"x36" and 11"x17", and must be clearly legible and drawn at a scale sufficient to adequately show and identify the required information. **[34-941(g)(1)]**
2. **Conceptual Surface Water Management Plan.** A Conceptual Surface Water Management Plan must be submitted. The plan must be viable and take into consideration any natural flowway corridors, cypress heads, natural lakes, and the restoration of impacted natural flowway corridors. **[34-941(d)(3)b.i.1]**
3. **Well Drawdown Information.** If within an area identified as an anticipated drawdown area for existing or future well development, demonstration of compliance with LCLDC Section 34-941(d)(3)d.i & ii. must be provided. **[34-941(d)(3)d.]**
4. **Preliminary Indigenous Restoration Plan.** A Preliminary Indigenous Restoration Plan must be provided if on-site indigenous restoration is being used to meet the indigenous native plant community preservation requirement. **[34-941(e)(5)f.iii.]**

5. **Environmental Assessment.** An Environmental Assessment must be provided which includes, at a minimum, an analysis of the environment, historical and natural resources. **[34-941(g)(2)]**
6. **Demonstration of Compatibility.** Written statements concerning how the applicant will assure the compatibility of the proposed development with nearby land uses (by addressing such things as noise, odor, lighting and visual impacts), and the adequate provision of drainage, fire and safety, transportation, sewage disposal and solid waste disposal must be provided. **[34-941(g)(4)]**
- E. **Potable Water & Central Sewer.** Will the project be connected to potable water and central sewer as part of any development of the property?
- YES** (Provide a letter from the appropriate Utility to which the connection(s) are proposed confirming availability of service.) **[34-202(a)(10)]**
- NO** (Provide a narrative explaining why the connection is not planned and how the water and sewer needs of the project will be met.) **[34-202(a)(10)]**
- F. **Existing Agricultural Use:** If the property owner intends to continue an existing agricultural use on the property subsequent to the zoning approval, an Existing Agricultural Use Affidavit must be provided. Entitle as "Existing Agricultural Uses at Time of Zoning Application." **[34-202(a)(12)]**
- G. **Flood Hazard:**
- Not applicable
- The property is within an Area of Special Flood Hazard as indicated in the Flood Insurance Rate Maps (FIRM)s.
- The minimum elevation required for the first habitable floor is 15' NAVD (MSL)
- H. **Excavations/Blasting:**
- No blasting will be used in the excavation of lakes or other site elements.
- If blasting is proposed, provide Information Regarding Proposed Blasting (including soil borings, a map indicating the location of the proposed blasting, and other required information).
- I. **Hazardous Materials Emergency Plan for Port Facilities: [12-110(a)(16)]**
- Not Applicable
- Provide a Hazardous materials emergency plan.
- J. **Mobile Home Park: [34-174(h)]**
- Not Applicable
- Request includes rezoning of a Mobile Home Park. Provide facts related to the relocation of dislocated owners that meets the requirements of F.S. § 723.083 (1995).
- K. **Airport Zones & Lee County Port Authority (LCPA) Requirements:**
- Not Applicable
- Property is located within \_\_\_\_\_ Airport Noise Zone: **[34-1104]**
- Property is located within Airport Runway Protection Zone. Indicate which Zone below. **[34-1105]**
- Property is located within Airport Residential and Educational Protection Zone: **[34-1106]**
- Property is located in an Airport Obstruction Notification Zone and subject to LCPA regulations. **[34-1107]**
- A Tall Structures Permit is required. **[34-1108]**

<b>PART 5 SUBMITTAL REQUIREMENT CHECKLIST</b>		
<i>Clearly label your attachments as noted in bold below</i>		
<b>Copies Required</b>		<b>SUBMITTAL ITEMS</b>
3	<input checked="" type="checkbox"/>	Completed application for Public Hearing [34-202(a)(1)]
1	<input checked="" type="checkbox"/>	Filing Fee - [34-201(d)]
1	<input checked="" type="checkbox"/>	Bonus Density Filing Fee - (if applicable) [34-202(a)(11)]
3	<input checked="" type="checkbox"/>	<b><u>Affidavit of Authorization</u></b> (notarized) Form [34-202(a)(3)]
3	<input checked="" type="checkbox"/>	<b><u>Additional Agents</u></b> [34-202(a)(4)]
3	<input type="checkbox"/>	<b>Multiple Owners List</b> (if applicable) [34-202(a)(2)]
3	<input checked="" type="checkbox"/>	<b><u>Disclosure of Interest</u></b> Form (multiple owners) [34-202(a)(2)]
3	<input checked="" type="checkbox"/>	<b>Legal description (must submit)</b> [34-202(a)(5)]
	<input checked="" type="checkbox"/>	Legal description (metes and bounds) and sealed sketch of legal description
		<b>OR</b>
	<input type="checkbox"/>	Legal description (NO metes and bounds) if the property is located within a subdivision platted per F.S. Chapter 177, and is recorded in the Official Records of Lee County under Instruments or Plat Books. ( <a href="#">Click here</a> to see an example of a legal description with no metes and bounds.)
3	<input checked="" type="checkbox"/>	<b>Boundary Survey</b> – not required if platted lot (2 originals required) [34-202(a)(6)]
3	<input type="checkbox"/>	<b>Property Owners list</b> (if applicable) [34-202(a)(8)]
3	<input type="checkbox"/>	<b>Property Owners map</b> (if applicable) [34-202(a)(8)]
3	<input checked="" type="checkbox"/>	Confirmation of <b>Ownership/Title Certification</b> [34-202(a)(7)]
3	<input type="checkbox"/>	<b>STRAP Numbers</b> (if additional sheet is required) [34-202(a)(5)]
1	<input checked="" type="checkbox"/>	<b>List of Surrounding Property Owners</b> [34-202(a)(9)]
1	<input checked="" type="checkbox"/>	<b>Map of Surrounding Property Owners</b> [34-202(a)(9)]
1	<input checked="" type="checkbox"/>	<b>Mailing labels</b> [34-202(a)(9)]
3	<input checked="" type="checkbox"/>	List of <b>Zoning Resolutions</b> and Approvals
3	<input type="checkbox"/>	Summary of <b>Public Informational Session</b> (if applicable)
3	<input type="checkbox"/>	<b>Waivers</b> from Application Submission Requirements (if applicable) [34-201(c)]
3	<input type="checkbox"/>	Preliminary <b>Density</b> Calculations (if applicable)
3	<input checked="" type="checkbox"/>	<b>Request Statement</b> [34-373(a)(5)]
3	<input checked="" type="checkbox"/>	Traffic Impact Statement ( <b>TIS</b> ) (not required for existing development) [34-373(a)(7)]
3	<input checked="" type="checkbox"/>	Master Concept Plan ( <b>MCP</b> ), <b>Non-PRFPD</b> [34-373(a)(6)]
3	<input checked="" type="checkbox"/>	<b>Schedule of Uses</b> [34-373(a)(8)]
3	<input checked="" type="checkbox"/>	Schedule of <b>Deviations</b> and Written <b>Justification</b> [34-373(a)(9)]
3	<input checked="" type="checkbox"/>	<b>Topography</b> (if available) [34-373(a)(4)b.iv.]
3	<input checked="" type="checkbox"/>	<b>Soils Map</b> [34-373(a)(4)b.9.]
3	<input checked="" type="checkbox"/>	<b>FLUCCS Map</b> [34-373(a)(4)c.]
3	<input checked="" type="checkbox"/>	Rare & Unique <b>Upland Habitat Map</b> [34-373(a)(4)b.iii.]
3	<input checked="" type="checkbox"/>	Existing and Historic <b>Flow-Ways Map</b> [34-373(a)(4)b.v.]
3	<input checked="" type="checkbox"/>	<b>Surface Water Management Plan</b> (if applicable) [34-373(b)(1)]
3	<input type="checkbox"/>	<b>Phasing Program</b> (if applicable) [34-373(b)(3)]
3	<input checked="" type="checkbox"/>	<b>Protected Species Survey</b> (if applicable) [34-373(b)(2)]
3	<input type="checkbox"/>	<b>Proof of Notice</b> (if applicable) [34-373(c)]

3	<input type="checkbox"/>	<b>Binding Letter</b> from DCA (if applicable) [34-373(d)(9)]
3	<input type="checkbox"/>	Master Concept Plan ( <b>MCP</b> ), <b>PRFPD</b> (if applicable) [34-941(g)(1)]
3	<input type="checkbox"/>	<b>Conceptual Surface Water Management Plan</b> (if applicable) [34-941(d)(3)b.i.1)]
3	<input type="checkbox"/>	<b>Well Drawdown</b> Information (if applicable) [34-941(d)(3)d.]
3	<input type="checkbox"/>	Preliminary Indigenous <b>Restoration Plan</b> (if applicable) [34-941(e)(5)f.iii.]
3	<input type="checkbox"/>	<b>Environmental Assessment</b> (if applicable) [34-941(g)(2)]
3	<input type="checkbox"/>	Demonstration of <b>Compatibility</b> (if applicable) [34-941(g)(4)]
3	<input checked="" type="checkbox"/>	<b>Potable Water &amp; Sanitary Sewer.</b> Letter from the appropriate utility entity indicating the utility entity or explanation of how water and sewer needs will be met if connection will not be made. [34-202(a)(10)]
3	<input type="checkbox"/>	Existing <b>Agricultural Use Affidavit</b> (if applicable) [34-202(a)(12)]
3	<input type="checkbox"/>	Information Regarding <b>Proposed Blasting</b> (if applicable).
3	<input type="checkbox"/>	Hazardous Materials <b>Emergency Plan</b> (if applicable)
3	<input type="checkbox"/>	Mobile Home Park <b>Dislocated Owners</b> Information (if applicable) [34-202(b)(4)]
3	<input type="checkbox"/>	<b>Tall Structures Permit</b> (if applicable) [34-1108]

**AFFIDAVIT OF AUTHORIZATION**

**APPLICATION IS SIGNED BY INDIVIDUAL OWNER, APPLICANT, CORPORATION, LIMITED LIABILITY COMPANY (L.L.C.), LIMITED COMPANY (L.C.), PARTNERSHIP, LIMITED PARTNERSHIP, OR TRUSTEE**

I, Stephanie S. Miller (name), as Manager (owner/title) of Carissa, LLC (company/property), swear or affirm under oath, that I am the owner or the authorized representative of the owner(s) of the property and that:

1. I have full authority to secure the approval(s) requested and to impose covenants and restrictions on the referenced property as a result of any action approved by the County in accordance with this application and the Land Development Code;
2. All answers to the questions in this application and any sketches, data or other supplementary matter attached hereto and made a part of this application are honest and true;
3. I have authorized the staff of Lee County Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application; and that
4. The property will not be transferred, conveyed, sold or subdivided unencumbered by the conditions and restrictions imposed by the approved action.

**\*Notes:**

- If the applicant is a corporation, then it is usually executed by the corp. pres. or v. pres.
- If the applicant is a Limited Liability Company (L.L.C.) or Limited Company (L.C.), then the documents should typically be signed by the Company's "Managing Member."
- If the applicant is a partnership, then typically a partner can sign on behalf of the partnership.
- If the applicant is a limited partnership, then the general partner must sign and be identified as the "general partner" of the named partnership.
- If the applicant is a trustee, then they must include their title of "trustee."
- In each instance, first determine the applicant's status, e.g., individual, corporate, trust, partnership, estate, etc., and then use the appropriate format for that ownership.

**Under penalties of perjury, I declare that I have read the foregoing Affidavit of Authorization and that the facts stated in it are true.**

Stephanie S. Miller  
Signature

8/26/2020  
Date

**\*\*\*\*\*NOTE: NOTARY PUBLIC IS NOT REQUIRED FOR ADMINISTRATIVE APPROVALS\*\*\*\*\*  
ALL OTHER APPLICATION TYPES MUST BE NOTARIZED**

**STATE OF FLORIDA  
COUNTY OF LEE**

The foregoing instrument was sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization, this 26<sup>th</sup> day of August, 2020, by Stephanie Miller (name of person providing oath or affirmation), who is personally known to me or who has produced \_\_\_\_\_ (type of identification) as identification

STAMP/SEAL



Nancy Elizabeth Brodbeck  
Signature of Notary Public

**DISCLOSURE OF INTEREST  
AFFIDAVIT**

BEFORE ME this day appeared Stephanie S. Miller, who, being first duly sworn and deposed says:

1. That I am the record owner, or a legal representative of the record owner, of the property that is located at 17-45-25-01-00000.0270; 17-45-25-01-00000.0280; 17-45-25-00-00004.0020 & 17-45-25-00-00004.0000 and is the subject of an Application for zoning action (hereinafter the "Property").

2. That I am familiar with the legal ownership of the Property and have full knowledge of the names of all individuals that have an ownership interest in the Property or a legal entity owning an interest in the Property.

[OPTIONAL PROVISION IF APPLICANT IS CONTRACT PURCHASER: In addition, I am familiar with the individuals that have an ownership interest in the legal entity that is under contract to purchase the Property.]

3. That, unless otherwise specified in paragraph 6 below, no Lee County Employee, County Commissioner, or Hearing Examiner has an Ownership Interest in the Property or any legal entity (Corporation, Company, Partnership, Limited Partnership, Trust, etc.) that has an Ownership Interest in the Property or that has contracted to purchase the Property.

4. That the disclosure identified herein does not include any beneficial Ownership Interest that a Lee County Employee, County Commissioner, or Hearing Examiner may have in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, whose interest is for sale to the general public.

5. That, if the Ownership Interest in the Property changes and results in this affidavit no longer being accurate, the undersigned will file a supplemental Affidavit that identifies the name of any Lee County Employee, County Commissioner, or Hearing Examiner that subsequently acquires an interest in the Property.

6. Disclosure of Interest held by a Lee County Employee, County Commissioner, or Hearing Examiner.

Name and Address	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Under penalty of perjury, I declare that I have read the foregoing and the facts alleged are true to the best of my knowledge and belief.

Stephanie S. Miller  
Property Owner

Stephanie S. Miller  
Print Name

\*\*\*\*\*NOTE: NOTARY PUBLIC IS NOT REQUIRED FOR ADMINISTRATIVE APPROVALS\*\*\*\*\*  
ALL OTHER APPLICATION TYPES MUST BE NOTARIZED

STATE OF FLORIDA  
COUNTY OF LEE

The foregoing instrument was sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization, on August 26th, 2020 (date) by Stephanie Miller (name of person providing oath or affirmation), who is personally known to me or who has produced (type of identification) as identification.

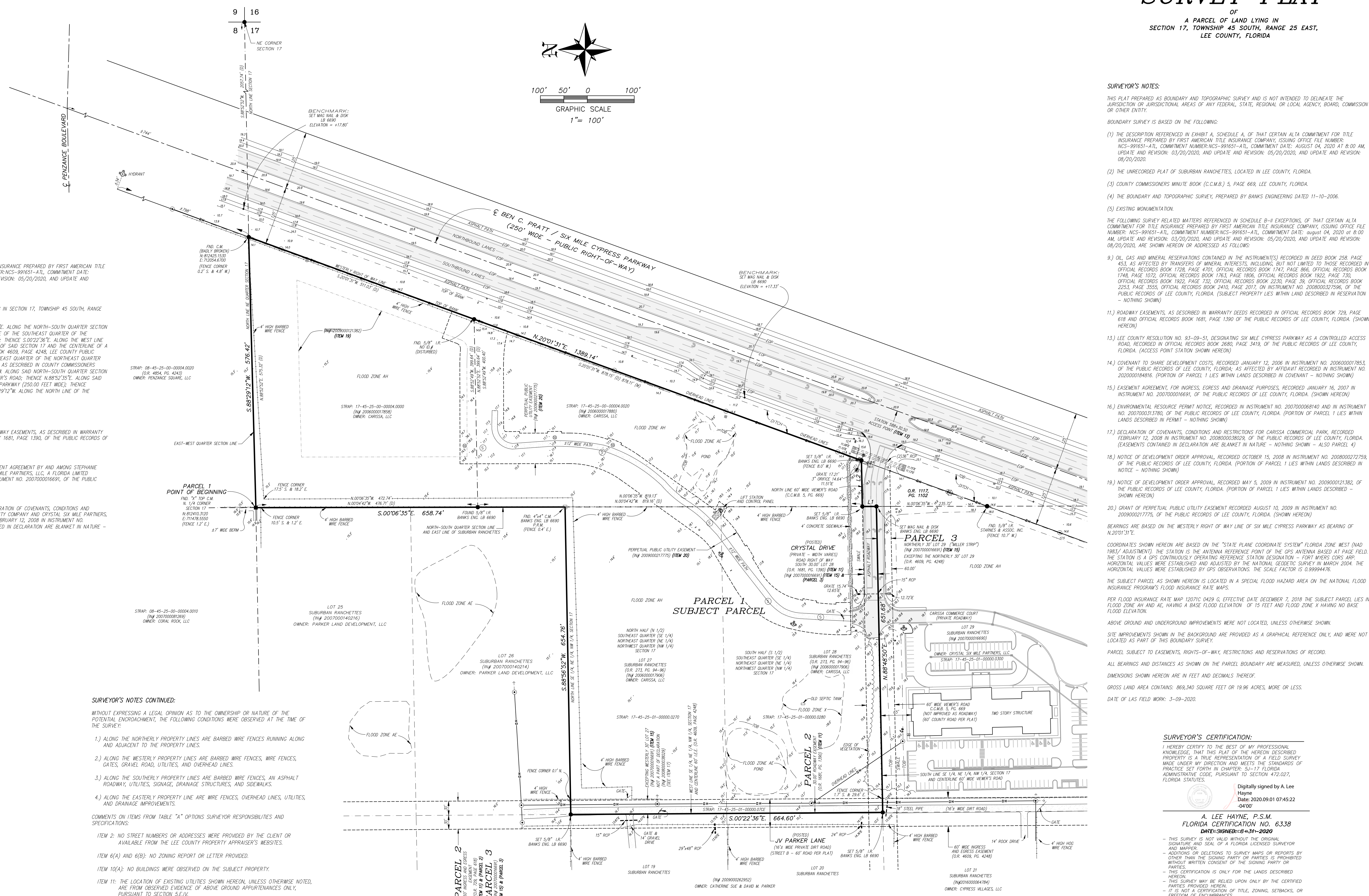
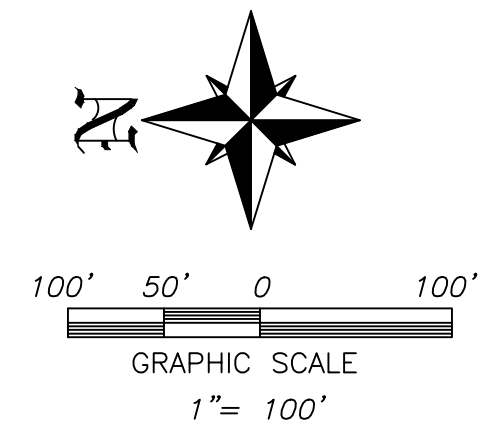
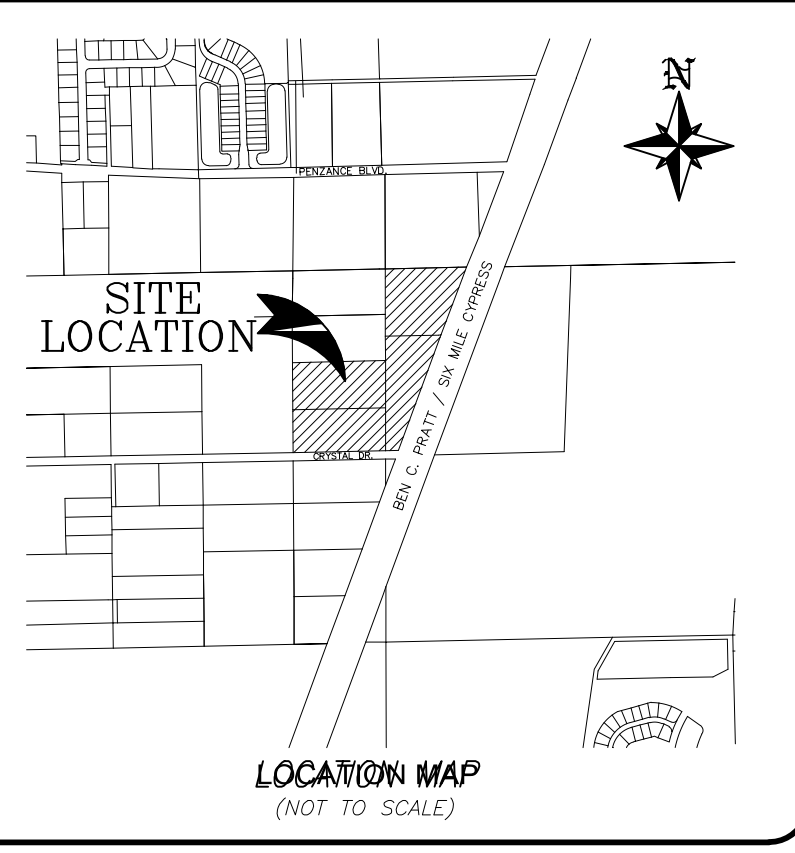
Nancy Elizabeth Brodbeck  
Signature of Notary Public

STAMP/SEAL



# SURVEY PLAT

OF  
LAND  
SECTION 17, TOWNSHIP 45 SOUTH, RANGE 25 EAST,  
LEE COUNTY, FLORIDA



**LEGAL DESCRIPTION:**  
(REFERENCED IN EXHIBIT A, SCHEDULE A, OF THAT CERTAIN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: NCS-991651-ATL, COMMITMENT NUMBER: NCS-991651-ATL, COMMITMENT DATE: AUGUST 04, 2020 AT 8:00 AM, UPDATE AND REVISION: 03/20/2020, AND UPDATE AND REVISION: 05/20/2020, AND UPDATE AND REVISION: 08/20/2020)

**PARCEL 1:**  
A TRACT OR PARCEL OF LAND SITUATED IN THE STATE OF FLORIDA, COUNTY OF LEE, LYING IN SECTION 17, TOWNSHIP 45 SOUTH, RANGE 25 EAST, BEING FURTHER BOUND AND DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTH ONE QUARTER CORNER OF SAID SECTION 17, THENCE S.00°06'35"E. ALONG THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 17, FOR 658.74 FEET; THENCE S.88°56'32"W. ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 17, FOR 854.76 FEET; THENCE S.00°22'36"E. ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 17 AND THE CENTERLINE OF A 60.00 FOOT WIDE INGRESS AND EGRESS EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4609, PAGE 4248, LEE COUNTY PUBLIC RECORDS, FOR 664.60 FEET; THENCE N.88°49'50"E. ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE CENTERLINE OF A 60.00 FOOT WIDE VIEWER'S ROAD AS DESCRIBED IN COUNTY COMMISSIONERS MINUTE BOOK 5, PAGE 669, SAID PUBLIC RECORDS, FOR 651.68 FEET; THENCE N.00°06'35"W. ALONG SAID NORTH-SOUTH QUARTER SECTION LINE OF SECTION 17, FOR 30.00 FEET TO THE NORTH LINE OF SAID 60.00 FOOT WIDE VIEWER'S ROAD; THENCE N.88°52'35"E. ALONG SAID NORTH LINE FOR 88.08 FEET TO THE WESTERN RIGHT-OF-WAY LINE OF SIX MILE CYPRESS PARKWAY (25.00 FEET WIDE); THENCE N.20°01'31"E. ALONG SAID WESTERN RIGHT-OF-WAY LINE FOR 1389.14 FEET; THENCE S.89°29'12"W. ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 17, FOR 576.42 FEET TO THE POINT OF BEGINNING.

SUBJECT PARCEL CONTAINS: 19.96 ACRES, MORE OR LESS.

**PARCEL 2:**  
EASEMENTS AND OTHER INTERESTS IN REAL PROPERTY CONTAINED IN THAT CERTAIN ROADWAY EASEMENTS, AS DESCRIBED IN WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 729, PAGE 618 AND OFFICIAL RECORDS BOOK 1681, PAGE 1390, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

**PARCEL 3:**  
EASEMENTS AND OTHER INTERESTS IN REAL PROPERTY CONTAINED IN THAT CERTAIN EASEMENT AGREEMENT BY AND AMONG STEPHANE MILLER, TRUSTEE, CARISSA, LLC, A FLORIDA LIMITED LIABILITY COMPANY AND CRYSTAL SIX MILE PARTNERS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, DATED JANUARY 11, 2006 AND RECORDED JANUARY 16, 2007 IN INSTRUMENT NO. 200700016691, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

**PARCEL 4:**  
EASEMENTS AND OTHER INTERESTS IN REAL PROPERTY CONTAINED IN THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CARISSA COMMERCIAL PARK BY CARISSA, LLC, A FLORIDA LIMITED LIABILITY COMPANY AND CRYSTAL SIX MILE PARTNERS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, DATED DECEMBER 21, 2007 AND RECORDED FEBRUARY 12, 2008 IN INSTRUMENT NO. 200800018029, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA. (EASEMENTS CONTAINED IN DECLARATION ARE BLANKET IN NATURE - NOTHING SHOWN)

- SYMBOL LEGEND:**
- Arrow: INDICATES ANCHOR
- Circle with dot: INDICATES SIGHT POLE
- Square with dot: INDICATES WATER METER
- Diamond with dot: INDICATES FIBER HYDRANT
- Square with dot: INDICATES CHIMNEY POINT
- Circle with cross: INDICATES FINE OPTIC BOX
- Circle with cross: INDICATES FOUND IRON ROD
- Circle with cross: INDICATES TELEPHONE WIRE
- Circle with cross: INDICATES FOUND IRON ROD
- Circle with cross: INDICATES TELEPHONE WIRE
- Circle with cross: INDICATES DISABLED PARKING
- Circle with cross: INDICATES WOOD UTILITY POLE
- Circle with cross: INDICATES TRAFFIC SIGNAL BOX
- Circle with cross: INDICATES CONCRETE HAND HOLE
- Circle with cross: INDICATES MIXER END SECTION
- Circle with cross: INDICATES BACKFLOW PREVENTOR
- Circle with cross: INDICATES ELECTRIC STRIKE BOX
- Circle with cross: INDICATES DRAINAGE CATCH BASIN
- Circle with cross: INDICATES CONCRETE UTILITY POLE
- Circle with cross: INDICATES ELECTRIC TRANSFORMER
- Circle with cross: INDICATES STORM SEWER MANHOLE
- Circle with cross: INDICATES SANITARY SEWER MANHOLE
- Circle with cross: INDICATES STORM SEWER CURB INLET
- Circle with cross: INDICATES SANITARY SEWER CLEAN OUT
- Circle with cross: INDICATES FOUND CONCRETE MONUMENT
- Circle with cross: INDICATES WATER BACKFLOW PREVENTOR
- Circle with cross: INDICATES SET 5/8" IRON ROD LB 6690

- LEGEND:**
- FNO: INDICATES FOUND
- NO: INDICATES NUMBER
- P.C.: INDICATES AT FACE
- EX: INDICATES EXISTING
- IR: INDICATES IRON ROD
- CONC: INDICATES CONCRETE
- M: INDICATES MEASURED
- C: INDICATES CENTERLINE
- ENG: INDICATES ENGINEERING
- TCB: INDICATES TOP OF BANK
- INC: INDICATES INCORPORATED
- LS: INDICATES LAND SURVEYOR
- IND: INDICATES PARTY IDENTIFICATION
- 19.4: INDICATES EXISTING ELEVATION
- ESP: INDICATES EDGE OF PRESENTMENT
- P.A.: INDICATES PARKER RAILWAY MAIL
- LB: INDICATES LICENSED BUSINESS
- P.O.B.: INDICATES POINT OF BEGINNING
- C.M.: INDICATES CONCRETE MONUMENT
- BHP: INDICATES BACKFLOW PREVENTOR
- OHP: INDICATES OVERHEAD UTILITY LINES
- P.O.C.: INDICATES POINT OF COMMENCEMENT
- P.O.L.: INDICATES LINE 1 OF THE LINE TABLE
- ROP: INDICATES REINFORCED CONCRETE PIPE
- L.E.: INDICATES LICENSED BUSINESS
- FDC: INDICATES FIRE DEPARTMENT CONNECTION
- C.M.B.: INDICATES COUNTY COMMISSIONER MINUTE BOOK
- P.A.M.: INDICATES PERMANENT EGRESS MONUMENT
- P.S.M.: INDICATES PROFESSIONAL SURVEYOR AND MAPPER
- P.R.: INDICATES PLAT BOOK, LEE COUNTY PUBLIC RECORDS
- (O): INDICATES BEARING OF DISSEMINATION PER DEED DESCRIPTION
- IND: INDICATES INSTRUMENT NUMBER, LEE COUNTY PUBLIC RECORDS
- O.R.: INDICATES OFFICIAL RECORDS BOOK, LEE COUNTY PUBLIC RECORDS
- (ITEM 20): INDICATES ITEM 20 OF SCHEDULE B-I EXCEPTIONS OF TITLE COMMITMENT

**SURVEYOR'S NOTES CONTINUED:**  
WITHOUT EXPRESSING A LEGAL OPINION AS TO THE OWNERSHIP OR NATURE OF THE POTENTIAL ENCROACHMENT, THE FOLLOWING CONDITIONS WERE OBSERVED AT THE TIME OF THE SURVEY:  
1.) ALONG THE NORTHERLY PROPERTY LINES ARE BARBED WIRE FENCES RUNNING ALONG AND ADJACENT TO THE PROPERTY LINES.  
2.) ALONG THE WESTERLY PROPERTY LINES ARE BARBED WIRE FENCES, WIRE FENCES, GATES, GRAVEL ROAD, UTILITIES, AND OVERHEAD LINES.  
3.) ALONG THE SOUTHERLY PROPERTY LINES ARE BARBED WIRE FENCES, AN ASPHALT ROADWAY, UTILITIES, SIGNAGE, DRAINAGE STRUCTURES, AND SIDEWALKS.  
4.) ALONG THE WESTERLY PROPERTY LINE ARE WIRE FENCES, OVERHEAD LINES, UTILITIES, AND DRAINAGE IMPROVEMENTS.  
**COMMENTS ON ITEMS FROM TABLE "A" OPTIONS SURVEYOR RESPONSIBILITIES AND SPECIFICATIONS:**  
ITEM 2: NO STREET NUMBERS OR ADDRESSES WERE PROVIDED BY THE SURVEYOR OR AVAILABLE FROM THE LEE COUNTY PROPERTY APPRAISER'S WEBSITE.  
ITEM 4(A) AND 6(B): NO ZONING REPORT OR LETTER PROVIDED.  
ITEM 10(A): NO LOCATION OF EXISTING UTILITIES SHOWN HEREON, UNLESS OTHERWISE NOTED, ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY, PURSUANT TO SECTION 5.I.VI.  
**SURVEYOR'S CERTIFICATION:**  
TO: CARISSA, LLC, A FLORIDA LIMITED LIABILITY COMPANY, NO INVESTMENTS, LLC, A GEORGIA LIMITED LIABILITY COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND THEREOF ITEMS 1, 2, 3, 4, 6(A) AND 6(B), 8, 10(A), 11, 13, 16, 17 AND 19 OF TABLE A. THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 9, 2020.  
DATE OF PLAT OR MAP: AUGUST 31, 2020

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 00°06'35" W	30.00'
L2	N 88°52'35" E	98.08'
L2 (O)	S 88°52'49" W	97.75'

NO.	DATE	REVISION DESCRIPTION	BY
4	8-31-20	REVISED SURVEY PER UPDATED TITLE COMMITMENT	AMV
3	5-28-20	REVISED SURVEY PER CORRECTED TITLE LEGAL DESCRIPTION	AMV
2	5-27-20	REVISED SURVEY PER UPDATED AND REVISED COMMITMENT	AMV
1	5-19-20	REVISED SURVEY PER TITLE COMMITMENT & COMMENTS	AMV

**BANKS ENGINEERING**  
Professional Engineers, Planners, & Land Surveyors  
Serving The State of Florida  
10511 SIX MILE CYPRESS PARKWAY  
FORT MYERS, FLORIDA 33966  
PHONE: (239) 939-4920  
FAX: (239) 939-2523  
ENGINEERING LICENSE # EB 6469  
SURVEY LICENSE # LB 6690  
WWW.BANKSENG.COM

**ALTA/NSPS LAND TITLE SURVEY  
SELECT REAL ESTATE  
LEE COUNTY, FLORIDA**  
DATE: 2020.09.01 07:45:22 -0400  
A. LEE HAYNE, P.S.M.  
FLORIDA CERTIFICATION NO. 6338  
DATE: 2008.06.18-31-2009  
THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A LICENSED SURVEYOR AND MAPPER.  
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.  
THIS CERTIFICATION IS ONLY FOR THE LANDS DESCRIBED HEREON.  
IT IS NOT A CERTIFICATION OF TITLE, ZONING, SETBACKS, OR FREEDOM OF ENCUMBRANCES.  
THIS SURVEY WAS PREPARED WITH THE BENEFIT OF THAT CERTAIN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: NCS-991651-ATL, COMMITMENT NUMBER: NCS-991651-ATL, COMMITMENT DATE: AUGUST 04, 2020 AT 8:00 AM, UPDATE AND REVISION: 03/20/2020, AND UPDATE AND REVISION: 05/20/2020, AND UPDATE AND REVISION: 08/20/2020, AND ALL ITEMS WITHIN THAT COMMITMENT THAT CAN BE DELINEATED ON THE SURVEY ARE SHOWN OR ADDRESSED HEREON.  
ALL MATTERS OF TITLE SHOULD BE REFERRED TO AN ATTORNEY AT LAW.

DATE	PROJECT	DRAWING	DRAWN	CHECKED	SCALE	SHEET	OF	FILE NO. (S-T-R)
8-21-2020	2061P	2061P-SR	ALH	ALH	1" = 100'	1	1	17-45-25

**CARISSA COMMERCIAL PARK**

**ENVIRONMENTAL ASSESSMENT &  
PROTECTED SPECIES SURVEY REPORT**

*August 2020*

Prepared For:

Banks Engineering  
Tom Lehnert – President  
10511 Six Mile Cypress Parkway  
Fort Myers, Florida 33966  
Phone: 239-939-5490  
E-Mail: [tlehner@bankseng.com](mailto:tlehner@bankseng.com)

Prepared By:



BearPaws Environmental Consulting  
1599 Covington Circle East  
Phone: (239) 340-0678  
Email: [BearPaws.Env.Consulting@GMail.com](mailto: BearPaws.Env.Consulting@GMail.com)

## Introduction

An environmental assessment was conducted on the Carissa Commercial Park property on August 4, 2020. The 19.96± acre site is located in Section 17, Township 45S, and Range 25E, of Lee County, Florida. More specifically, the site is located immediately west of Six Mile Cypress Parkway and north of Crystal Drive, in Fort Myers, Florida. Please see the attached Project Location Map (Exhibit A).

The purpose of the field investigation was to identify the potential for either U.S. Army Corps of Engineers (ACOE) and / or South Florida Water Management District (SFWMD) jurisdictional wetlands. This field investigation was also conducted to determine the potential of listed (endangered, threatened, etc.) species inhabiting the site that are regulated by the U.S. Fish & Wildlife Service (FWS) and the Florida Fish & Wildlife Conservation Commission (FWC).

Specific attention was paid toward that of locating any gopher tortoise (*Gopherus polyphemus*) and/or burrowing owl burrows (*Athene cunicularia floridana*), as well as locating any potential fox squirrel (*Sciurus niger*) nests, Florida bonneted bat (*Eumops floridanus*) cavity trees, and any bald eagle (*Haliaeetus leucocephalus*) nests.

The project's surrounding land uses are a mixture of residential developments, commercial developments, undeveloped vacant land, and forested land. The survey was conducted in the mid-morning; the temperature were in the mid-upper 80's, with a light breeze, and partly cloudy skies.

## Background

The ACOE and the SFWMD are the agencies that regulate development activities in wetlands. To be considered wetlands by the ACOE and/or SFWMD, the area should exhibit wetland hydrology, contain wetland vegetation, and have hydric soils. For an area to be considered wetlands, a site should have hydric soils, wetland hydrology, and wetland vegetation present. The property was reviewed for indicators of these parameters.

Hydric soils are identified by certain characteristics that are unique to wetland soils. Wetland hydrology is normally present if the soil is saturated or inundated for a period of time; typically, from May through November; the rainy season in Southwest Florida. In the absence of visual signs of saturation or inundation, the regulatory agencies typically use hydrologic indicators such as adventitious rooting, lichen lines, or algal matting as method of guidance. If the majority of the shrubs/plants that are present are those that are adapted to saturated soil conditions, it's likely wetland vegetation.

The FWS and FWC are the primary agencies that review potential impacts to listed species. The FWS reviews potential impacts and provides comments to the ACOE during the permitting process, while the FWC provides comments to the SFWMD. In general, the wildlife agency concerns need to be addressed in order for the permits to be authorized by the ACOE and the SFWMD.

## Methodology

The species survey was conducted utilizing combined methodologies from Lee County's Land Development Code (LDC, Chapter 10, Article III, Division 8 - Protection of Habitat) and also encompassed the Lee County Endangered Species Ordinance No. 89-34. Surveys for Lee County protected species are based on the presence of specific vegetation associations and habitat types noted on-site, as outlined in the LDC. The frequency of transects performed in these habitats, unless otherwise discussed, were designed to meet the minimum updated coverage requirement. Following the Lee County Endangered Species Ordinance No. 89-34, the specific methodology included pedestrian surveys of parallel transects. The survey was conducted according to the previously approved Lee County methodology, submitted by Kevin L. Erwin Consulting Ecologist, Inc.

These methods are comprised of a several step process. The vegetation communities or land-uses on the study area are delineated on an aerial photograph using the Florida Land Use, Cover and Forms Classification System (FLUCFCS). Next, these FLUCFCS codes are cross-referenced with the Lee County Protected Species List. With a list of the potential listed plants and animals, each FLUCFCS community is searched in the field for these species. An intensive pedestrian survey is conducted using parallel belt transects as a means of searching for protected plants and animals. Signs or sightings of these species are then recorded.

## Existing Site Conditions

*Boundary* – The project boundary was obtained from the Lee County parcel data and is assumed to be approximately 19.96± acres.

*Soils* - The soils on the property have been mapped by the National Resource Conservation Service (NRCS, formerly the Soil Conservation Service). These mappings are general in nature but can provide a certain level of information about the site as to the possible extent of wetland area. The agencies commonly use these mappings as justification for certain wetland/upland determinations. According to these mappings, the parcel is underlain by Hallandale fine sand, (NRCS #6; non-hydric), Oldsmar sand, (NRCS #33; non-hydric), and Malabar fine sand, (NRCS #34; hydric). Malabar fine sand soil is considered hydric at both the local and national levels. Please see the attached NRCS Soils Map (Exhibit D).

*Vegetation Descriptions* – Vegetation is one parameter used in determining the presence of uplands or wetlands; these community mappings will generally reflect what a specific area could be considered by the regulatory agencies. We identified approximately 5.71± acres of wetlands and approximately 0.53± acres of “other surface water” communities on-site during the site assessment. Formal wetlands delineations have previously been conducted on-site, per the South Florida Water Management (SFWMD) and US Army Corps of Engineers (ACOE) environmental resource permits. The vegetation descriptions and community locations were obtained from this SFWMD permit and the engineer. The proposed project will impact previously impacted and mitigated wetlands. According to the SFWMD permit, these wetlands were in fair condition with varying levels of exotic infestation.

Community delineations were defined utilizing different vegetation communities on-site and were based on the nomenclature of the Florida Land Use, Cover and Forms Classification System (FLUCFCS), Level III and IV (FDOT 1999). The FLUCFCS mapping and vegetation descriptions were previously provided

by Boylan Environmental Consultants and obtained from the South Florida Water Management (SFWMD). Updated community/vegetation descriptions have been provided and included below for each community identified on-site. Please see the attached FLUCFCS Map with Aerial (Exhibit B) and FLUCFCS Map without Aerial (Exhibit C). Listed below are the vegetation communities and land-uses identified on the site.

### **FLUCFCS Codes & Community Descriptions**

#### *Uplands*

*The following community areas have been designated as upland habitats. Uplands are any area that does not qualify as a wetland because the associated hydrologic regime is not sufficiently wet enough to elicit development of vegetation, soils, and/or hydrologic characteristics associated with wetlands.*

#### **FLUCFCS 411 E3 Pine Flatwoods (50-74% Exotics) – 2.82± Acres**

This upland community type occupies 2.82± acres of the property. The canopy contains slash pine (*Pinus elliottii*), with scattered live oak (*Quercus virginiana*). The sub-canopy also contains slash pine (*Pinus elliottii*), and live oak (*Quercus virginiana*) with cabbage palm (*Sabal palmetto*), Brazilian pepper (*Schinus terebinthifolius*), wax myrtle (*Myrica cerifera*), and myrsine (*Rapanea punctata*). The ground cover is dominated by saw palmetto (*Serenoa repens*), penny royal (*Stachydeoma graveolens*), and false buttonweed (*Spermacoce verticillata*) with other opportunistic weedy species. Commonly observed vines include grapevine (*Vitis munsoniana*), greenbriar (*Smilax* spp.), and poison ivy (*Toxicodendron radicans*). This community should be considered uplands by the regulatory agencies.

#### **FLUCFCS 420 E4 Mixed Upland Hardwoods (Exotics > 75%) – 7.10± Acres**

This upland community type occupies approximately 7.10± acres of the property. Exotic species such as earleaf acacia (*Acacia auriculiformis*), melaleuca (*Melaleuca quinquenervia*), mimosa (*Albizia julibrissin*), and Brazilian pepper (*Schinus terebinthifolius*) occupy approximately 75-99% of this community. The canopy is dominated by melaleuca (*Melaleuca quinquenervia*) with scattered earleaf acacia (*Acacia auriculiformis*), mimosa (*Albizia julibrissin*), slash pine (*Pinus elliottii*), and live oak (*Quercus virginiana*). The sub-canopy contains scattered cabbage palm (*Sabal palmetto*) and Brazilian pepper (*Schinus terebinthifolius*). The ground cover is mostly open, due to the dense exotic coverage, but contains scattered various opportunistic weedy species. Commonly observed vines include greenbriar (*Smilax* sp.), and grapevine (*Vitis rotundifolia*). This community would be considered uplands by the regulatory agencies.

#### **FLUCFCS 740 Disturbed Lands – Cleared Trails – 2.86± Acres**

This disturbed upland community type occupies 2.86± acres of the property and includes cleared trails throughout the property. The canopy is mostly open with scattered slash pine (*Pinus elliottii*) along the edges. The sub-canopy is also mostly open with scattered Brazilian pepper (*Schinus terebinthifolius*) and wax myrtle (*Myrica cerifera*) along the edges. The ground cover includes Spanish needle (*Bidens pilosa*), dog fennel (*Eupatorium capillifolium*), ragweed (*Ambrosia trifida*), caesar weed (*Urena lobata*), hairy beggar-ticks (*Bidens alba*), sandspur (*Cenchrus echinatus*), false buttonweed (*Spermacoce verticillata*), bahia grass (*Paspalum notatum*), and other various opportunistic weedy species. Commonly observed vines include greenbriar (*Smilax* sp.), and grapevine (*Vitis rotundifolia*).

**FLUCFCS 800 County Road ROW (Future Crystal Drive Ext.) – 0.53± Acres**

A portion of this community is a paved road, Crystal Drive, which leads to the commercial portion of the site, which was developed at part of the previously permitted site design; the remaining vegetated portion of this right-of-way, is the future Crystal Drive Extension. This community occupies 0.53± acres of the property. This community would be considered uplands by the regulatory agencies.

**FLUCFCS 814 Road ROW – 0.38± Acres**

This unpaved paved road right of way occupies 0.38± acres of the property, which is immediately west of the project site along J V Parker Lane. This community would be considered uplands by the regulatory agencies.

*Wetlands*

*The following community areas have been designated as wetland habitats. Wetlands are any areas that under normal circumstances have hydrophytic vegetation, hydric soils, and wetland hydrology.*

**FLUCFCS 617 E3 Wetland Hardwood Forest (50-74% Exotics) – 5.71± Acres**

This wetland community type occupies approximately 5.71± acres of the property. The canopy contains laurel oak (*Quercus laurifolia*), slash pine (*Pinus elliottii*), bald cypress (*Taxodium distichum*), and melaleuca (*Melaleuca quinquenervia*). The sub-canopy vegetation includes Brazilian pepper (*Schinus terebinthifolius*), cabbage palm (*Sabal palmetto*), myrsine (*Rapanea punctata*), buckthorn (*Rhamnus cathartica*), and wax myrtle (*Myrica cerifera*). The ground cover includes scattered saw palmetto (*Serenoa repens*), with swamp fern (*Blechnum serrulatum*), black needlerush (*Juncus roemerianus*), red-root (*Lachnanthes caroliniana*), chocolate weed (*Melochia corchorifolia*), and rosy camphorweed (*Pluchea rosea*), with various other grasses and sedges. Commonly observed vines include Japanese climbing fern (*Lygodium japonicum*), and greenbriar (*Smilax* spp.). This community does contain some transitional wetland vegetation, advantageous rooting, water line staining, and algal matting, as well as other signs in this community that would be classified as wetlands. This community would be considered wetlands by the regulatory agencies.

*Other Surface Waters (OSW)*

*The following community area has been designated as other surface waters. Surface waters are waters on the surface of the earth, contained in bounds created naturally or artificially.*

**FLUCFCS 500 Old Cow Pond – 0.53± Acres**

This “other surface water” (OSW) community occupies approximately 0.53± acres of the property and consists of a cow pond. The canopy is mostly open; the sub-canopy contains Carolina willow (*Salix caroliniana*), wax myrtle (*Myrica cerifera*), and buttonbush (*Cephalanthus occidentalis*), with Brazilian pepper (*Schinus terebinthifolius*) along the perimeter of the wetland.. The groundcover contains cat-tail (*Typha latifolia*), duckweed (*Lemna minor*), dotted smartweed (*Polygonum punctatum*), mermaid weed (*Proserpinaca palustris*), cyperus (*Cyperus* sp.), water hyssop (*Bacopa monnieri*), dollarweed (*Hydrocotyle umbellata*), and torpedo grass (*Panicum repens*). This community would be considered “other surface waters” by the regulatory agencies.

**Table 1. FLUCFCS Community Table**

<b>FLUCFCS Code</b>	<b>Community Description</b>	<b>Habitat Type</b>	<b>Acres</b>
411 E3	Pine Flatwoods (Exotics 50-74%)	Upland	2.82± Ac.
420 E4	Mixed Upland Hardwoods (Exotics > 75%)	Upland	7.10± Ac.
500	Old Cow Pond	OSW	0.53± Ac.
617 E3	Wetland Hardwood Forest (Exotics 50-74%)	Wetland	5.71± Ac.
740	Disturbed Lands – Cleared Trails	Upland	2.86± Ac.
800	County Road ROW (Future Crystal Drive Ext.)	Upland	0.56± Ac.
814	Road ROW	Upland	0.38± Ac.
<b>Total</b>			<b>19.96± Ac.</b>

### Protected Species Results

During the field survey for protected species on the property, no protected species or signs thereof observed on-site. There were a few small stick-nests observed in some of the melaleuca trees; however, they were believed to be that of a bird or perhaps a nest of one of the numerous grey squirrels (*Sciurus carolinensis*) that were observed on-site. There were no other nest-like structures or tree cavities noted, and there was no gopher tortoise (*Gopherus polyphemus*) burrows identified. We observed burrows belonging to armadillos (*Dasypus novemcinctus*), which were not marked in the field; there was no evidence that these burrows were being used by gopher tortoises.

There were several non-listed species identified while conducting the protected species survey, among those were several eastern grey squirrels (*Sciurus carolinensis*), an eastern cottontail rabbit (*Sylvilagus floridanus*), Northern mocking birds (*Mimus polyglottos*), and mourning doves (*Zenaida macroura*). The various listed species that may occur in the FLUCFCS communities on-site have been tabulated on the attached table. Please see the Protected Species Survey Map, attached as Exhibit E.

### Mitigation Discussion

Generally, the ACOE does not regulate isolated wetlands or excavation in wetlands where there is only incidental fall back of fill material. The recent U.S. Supreme Court decision in the Solid Water Agency of Northern Cook County v. U.S. Army Corps of Engineers (SWANCC) provides that the ACOE does not have jurisdiction over isolated wetlands. Since this ruling, there has been no guidance regarding how the ACOE should define an isolated wetland. In making the determination on whether the wetlands are isolated, the ACOE considers if water leaves the site, (i.e. ditches) or whether the wetlands are completely contained on-site or extend off-site. If the wetlands extend off-site, they will more than likely assert jurisdiction. Currently, the ACOE position on most all wetlands is that they have jurisdiction. The ACOE regulates navigable waters and adjacent wetlands. However, the agencies would not make this determination until a Joint Environmental Resource Permit (ERP) and Dredge & Fill Permit (D&F) application is received.

The SFWMD does not require mitigation for impacts to isolated wetlands not used by listed (protected) species that are less than 0.50± acres in size. Impacts to wetlands greater than 0.50± acres or those utilized by protected species would require mitigation. With the ACOE, impacts to wetlands that are less than 0.50± acres, the activity can usually be processed as a Nationwide Permit application. For projects with greater than 0.50± acres of impacts, the application will be processed as an Individual Permit application. This involves a public notice process and coordination with other federal agencies such as the EPA and the FWS.

There are three steps that are required to be addressed when requesting an ERP permit with the SFWMD and/or the ACOE for impacts to regulated wetlands:

- 1) Avoidance (i.e. can these wetland impacts be completely avoided)
- 2) Minimization (i.e. can the amount of wetland impact be reduced while maintaining a feasible project)
- 3) Mitigation (i.e. the loss of wetland function must be replaced)

It should be noted that avoidance and minimization must first be substantiated, before mitigation will be considered by the agencies. When wetlands are proposed to be impacted, the impacts cannot result in any loss of wetland function. In order to prevent net loss in wetland function, wetland mitigation must be provided. Mitigation is a way to off-set impacts to natural resources such as wetlands and may consist of wetland enhancement, wetland creation, wetland preservation, upland compensation, or off-site mitigation. Mitigation costs usually increase with the quantity of proposed impacts. The actual amount of mitigation required would be finalized during the Environmental Resource Permit review process with the SFWMD and ACOE.

There are two main categories of wetland mitigation, onsite or off-site. On-site mitigation would include preserving a portion of the on-site wetlands, treating and removing the exotics, potentially providing supplemental plantings, and placing the preserve areas under a Conservation Easement. Preserve areas are required to be maintained in perpetuity. Off-site mitigation requires the purchase of wetland credits at an approved mitigation bank within the service area of the site. A conservative estimate would result in a 1:1 ratio of wetland impacts to credits required. The parcel is located within the service area of Panther Island Mitigation Bank. Off-site mitigation at Island Mitigation Bank costs approximately \$130,000-150,000 per credit.

### **Summary**

Due to the disturbed nature of the site, the abundance of exotic plant species, the surrounding land uses, and roadways, it is unlikely that this site supports or would provide habitat for any protected species. Formal wetlands delineations have previously been conducted on-site, per the South Florida Water Management (SFWMD) and US Army Corps of Engineers (ACOE) environmental resource permits. The remaining community locations were drawn using non-rectified aerial images with approximate property boundaries; hence their location, aerial extent, and acreage is approximate.

The information contained and the work performed as part of this initial assessment, conforms to the standards and generally accepted practices in the environmental field, and was prepared substantially in accordance with then-current technical guidelines and criteria. The determination of ecological system classifications, functions, values, and boundaries, is an inexact science, and different individuals and agencies may reach different conclusions; therefore, the conclusions of this report are preliminary in nature and would require a full review by the appropriate regulatory agencies.

**Table 2: Listed Species by Habitat with Current Status**

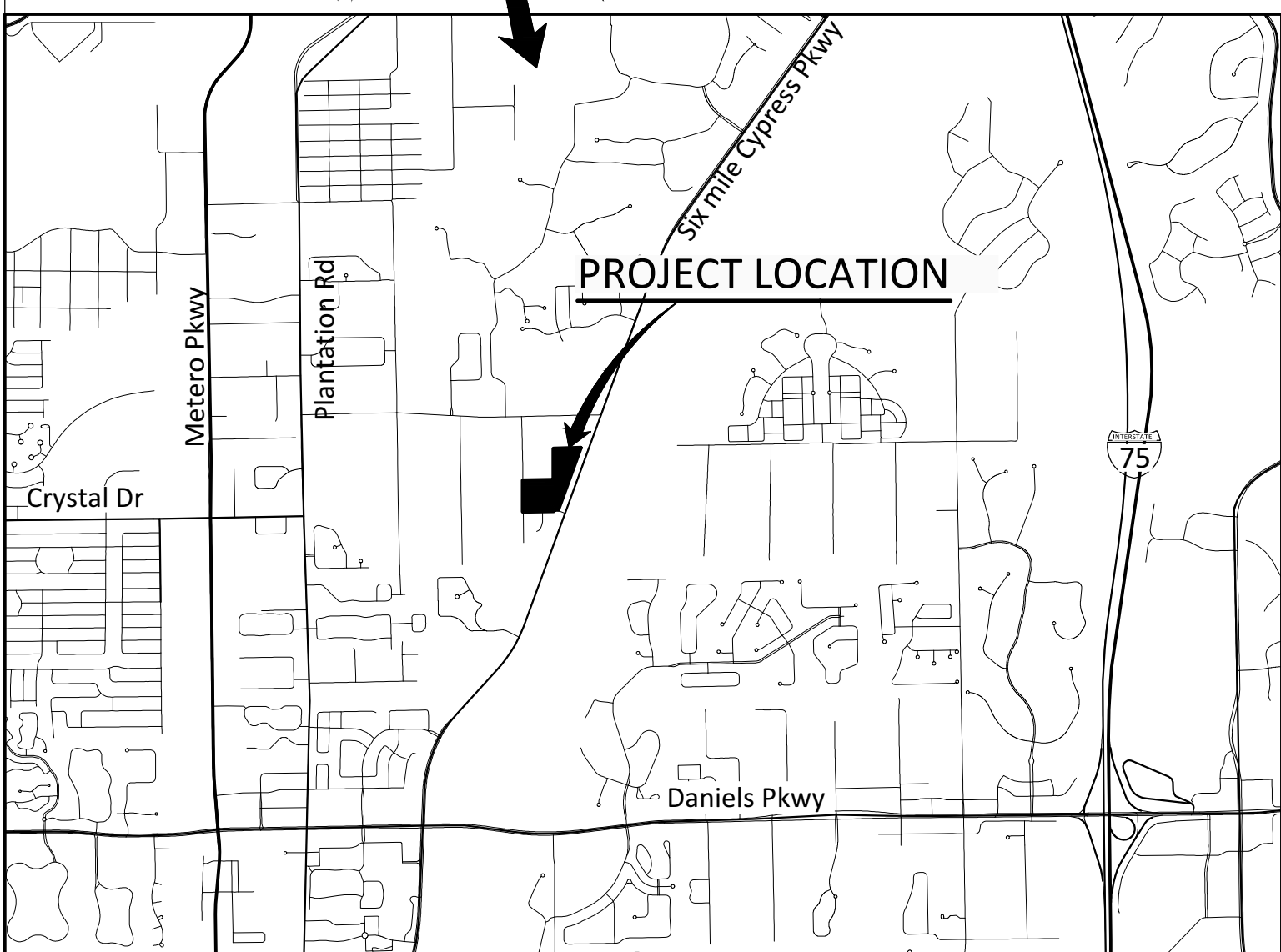
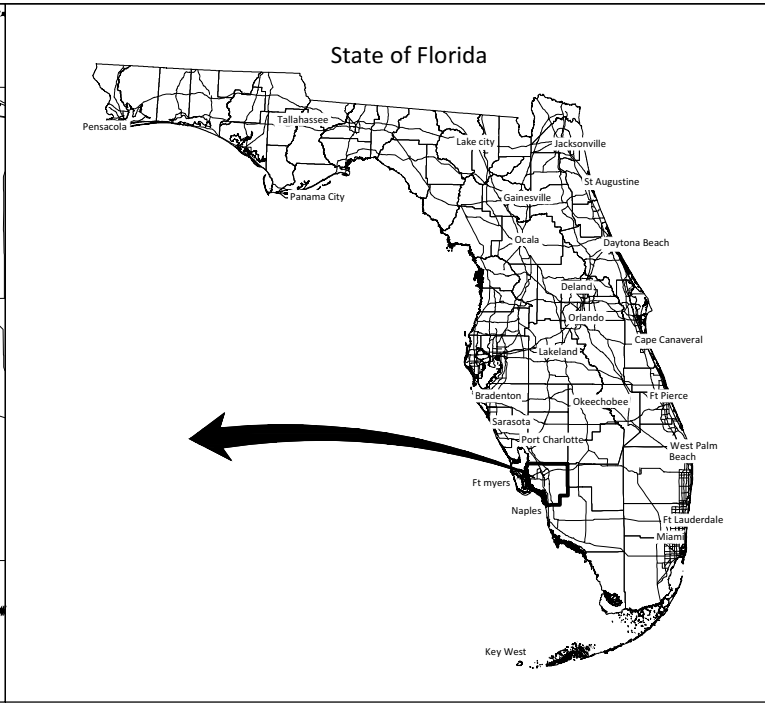
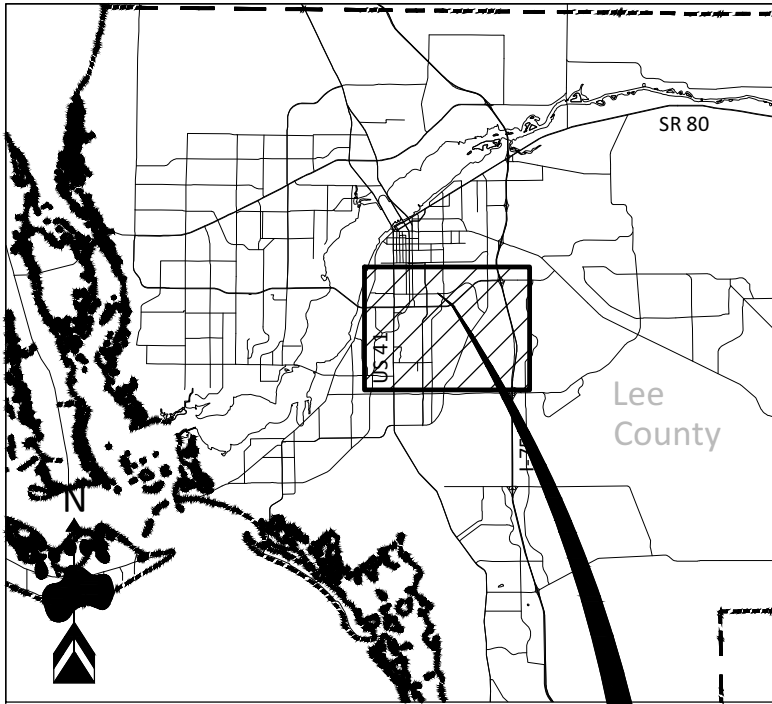
FLUCFCS Code	FLUCFCS Description	Common Name	Scientific Name	Percent Coverage	Observed	USDA	FDA&CS	FWS	FWC
411	Pine Flatwoods	Beautiful paw-paw	<i>Deeringothammus pulchellus</i>	90	--	E	E	E	--
		Big cypress fox squirrel	<i>Sciurus niger avicennia</i>	90	--	--	--	--	SSC
		Eastern indigo snake	<i>Drymarchon corais couperi</i>	90	--	--	--	T	T
		Fakahatchee burmannia	<i>Burmannia flava</i>	90	--	--	E	--	--
		Florida black bear	<i>Ursus americanus floridanus</i>	90	--	--	--	SAT	T
		Florida coontie	<i>Zamia floridana</i>	90	--	--	C	--	--
		Gopher frog	<i>Rana areolata</i>	90	--	--	--	--	SSC
		Gopher tortoise	<i>Gopherus polyphemus</i>	90	--	--	--	T	T
		Red-cockaded woodpecker	<i>Picoides borealis</i>	90	--	--	--	E	SSC
		Satinleaf	<i>Chrysophyllum olivaeforme</i>	90	--	--	T	--	--
		Southeastern American Kestrel	<i>Falco sparverius paulus</i>	90	--	--	--	--	T
420	Upland Hardwood Forest	Eastern indigo snake	<i>Drymarchon corais couperi</i>	90	--	--	--	--	T
		Florida scrub jay	<i>Aphelocoma coerulescens coerulescens</i>	90	--	--	--	T	T
		Florida coontie	<i>Zamia floridana</i>	90	--	--	C	--	--
		Gopher frog	<i>Rana areolata</i>	90	--	--	--	--	SSC
		Gopher tortoise	<i>Gopherus polyphemus</i>	90	--	--	--	T	T
500	Other Surface Water	American alligator	<i>Alligator mississippiensis</i>	90	--	--	--	SAT	SSC
		Everglades mink	<i>Mustela vison evergladensis</i>	90	--	--	--	--	T
		Limpkin	<i>Aramus guarauna</i>	90	--	--	--	--	SSC
		Little blue heron	<i>Egretta caerulea</i>	90	--	--	--	--	SSC
		Reddish egret	<i>Egretta rufescens</i>	90	--	--	--	--	SSC
		Roseate spoonbill	<i>Ajaia ajaja</i>	90	--	--	--	--	SSC
		Snowy egret	<i>Egretta thula</i>	90	--	--	--	--	SSC
		Tricolored heron	<i>Egretta tricolor</i>	90	--	--	--	--	SSC
617	Wetland Hardwood Forest	Florida black bear	<i>Ursus americanus floridanus</i>	90	--	--	--	SAT	T
		Limpkin	<i>Aramus guarauna</i>	90	--	--	--	--	SSC
		Little blue heron	<i>Egretta caerulea</i>	90	--	--	--	--	SSC
		Snowy egret	<i>Egretta thula</i>	90	--	--	--	--	SSC
		Tricolored heron	<i>Egretta tricolor</i>	90	--	--	--	--	SSC
740	Disturbed Lands	Gopher tortoise	<i>Gopherus polyphemus</i>	90	--	--	--	T	T
800	Roadways	N/A	--	90	--	--	--	--	--

C = Commercially Exploited, SAT = Similarity of Appearance Threatened, SSC = Species of Special Concern, T = Threatened, E = Endangered

Table designates listed species with potential to occur in each FLUCFCS community.

**EXHIBIT A**

**Project Location Map**



Drawn By:	Date:	Category
BWS	8/18/20	Location
Job Number		Scale:
		NTS
S/T/R		County
17/45S/25E		Lee

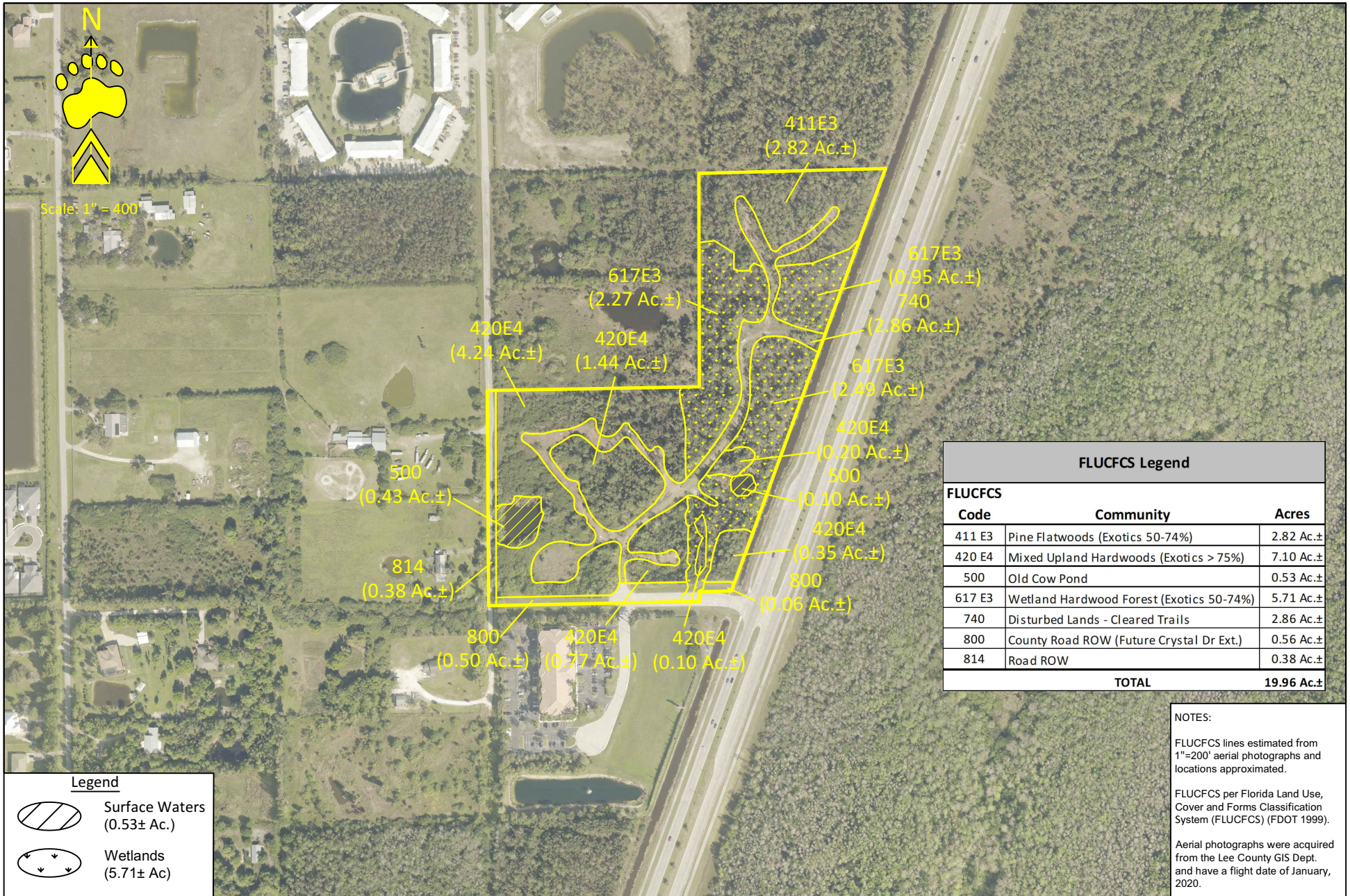
# Carissa Commercial Park

## Location Map

1599 Covington Circle East, Fort Myers, FL 33919  
(239) 340-0678 bearpaws.env.consulting@gmail.com

**EXHIBIT B**

**FLUCFCS Map with Aerial**



FLUCFCS Legend		
FLUCFCS Code	Community	Acres
411 E3	Pine Flatwoods (Exotics 50-74%)	2.82 Ac.±
420 E4	Mixed Upland Hardwoods (Exotics > 75%)	7.10 Ac.±
500	Old Cow Pond	0.53 Ac.±
617 E3	Wetland Hardwood Forest (Exotics 50-74%)	5.71 Ac.±
740	Disturbed Lands - Cleared Trails	2.86 Ac.±
800	County Road ROW (Future Crystal Dr Ext.)	0.56 Ac.±
814	Road ROW	0.38 Ac.±
<b>TOTAL</b>		<b>19.96 Ac.±</b>

**NOTES:**

FLUCFCS lines estimated from 1"=200' aerial photographs and locations approximated.

FLUCFCS per Florida Land Use, Cover and Forms Classification System (FLUCFCS) (FDOT 1999).

Aerial photographs were acquired from the Lee County GIS Dept. and have a flight date of January, 2020.

Legend	
	Surface Waters (0.53± Ac.)
	Wetlands (5.71± Ac)

Revisions	Date:	Drawn By:	Date:
		BWS	9/3/20
		Job Number	
		S/T/R	
		17/45S/25E	

# Carissa Commercial Park

## Aerial FLUCFCS Map

Category	FLUCFCS
Scale:	1" = 400'
County	Lee

1599 Covington Circle East, Fort Myers, FL 33919  
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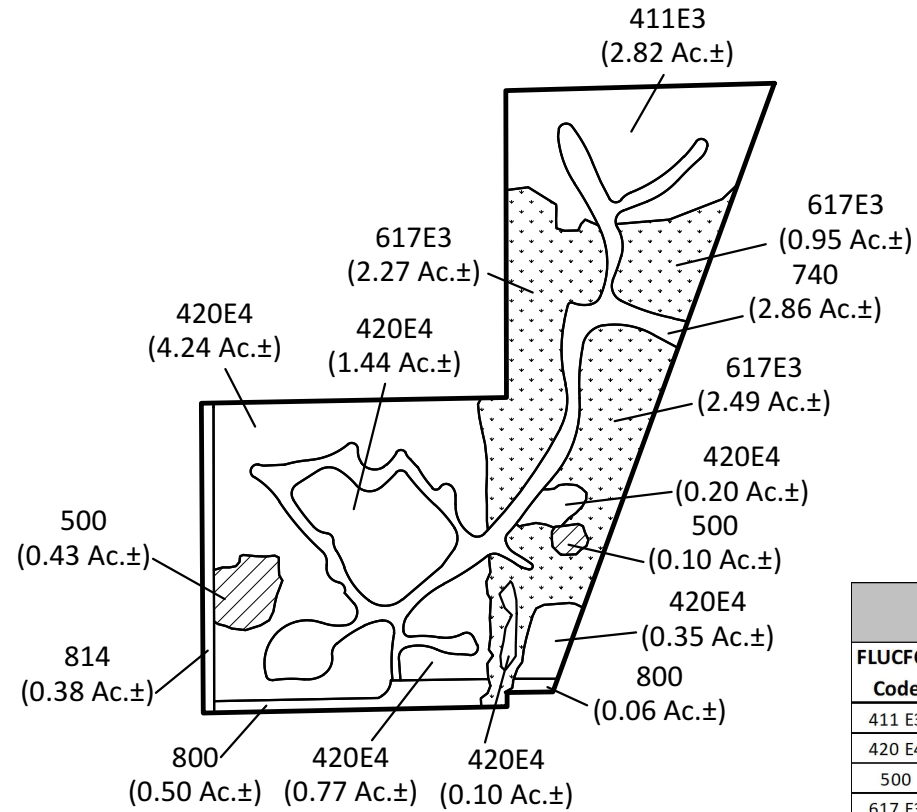
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Exhibit	-

**EXHIBIT C**

**FLUCFCS Map**





Scale: 1" = 400'



FLUCFCS Legend		
Code	Community	Acres
411 E3	Pine Flatwoods (Exotics 50-74%)	2.82 Ac.±
420 E4	Mixed Upland Hardwoods (Exotics > 75%)	7.10 Ac.±
500	Old Cow Pond	0.53 Ac.±
617 E3	Wetland Hardwood Forest (Exotics 50-74%)	5.71 Ac.±
740	Disturbed Lands - Cleared Trails	2.86 Ac.±
800	County Road ROW (Future Crystal Dr Ext.)	0.56 Ac.±
814	Road ROW	0.38 Ac.±
<b>TOTAL</b>		<b>19.96 Ac.±</b>

**Legend**

-  Surface Waters (0.53± Ac.)
-  Wetlands (5.71± Ac.)

**NOTES:**

FLUCFCS lines estimated from 1"=200' aerial photographs and locations approximated.

FLUCFCS per Florida Land Use, Cover and Forms Classification System (FLUCFCS) (FDOT 1999).

Revisions	Date:	Drawn By:	Date:
		BWS	9/3/20
		Job Number	
		S/T/R	
		17/45S/25E	

# Carissa Commercial Park

## FLUCFCS Map

Category	FLUCFCS
Scale:	1" = 400'
County	Lee



1599 Covington Circle East Fort Myers, FL 33919  
(239) 340-0678 bearpaws.env.consulting@gmail.com

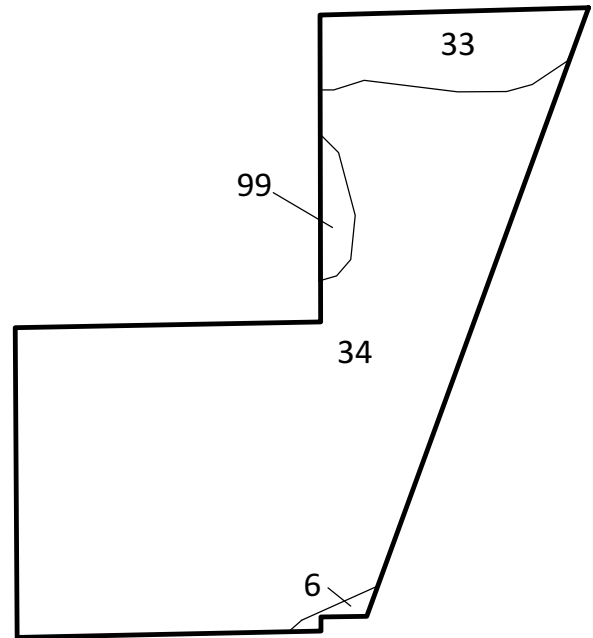
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Exhibit	-

**EXHIBIT D**

**NRCS Soils Map**



Scale: 1" = 400'



NRCS Soils Legend		
Soil No	Description	Status
6	Halandale Fine Sand	Non-Hydric
33	Oldsmar Sand	Non-Hydric
34	Malabar Fine Sand	Hydric
99	Water	Unranked

NOTES

Soils were acquired from LABINS and are from the NRCS.

Revisions	Date:	Drawn By:	Date:
		BWS	8/18/20
		Job Number	
		S/T/R	
		17/45S/25E	

## Carissa Commercial Park

### Soils Map

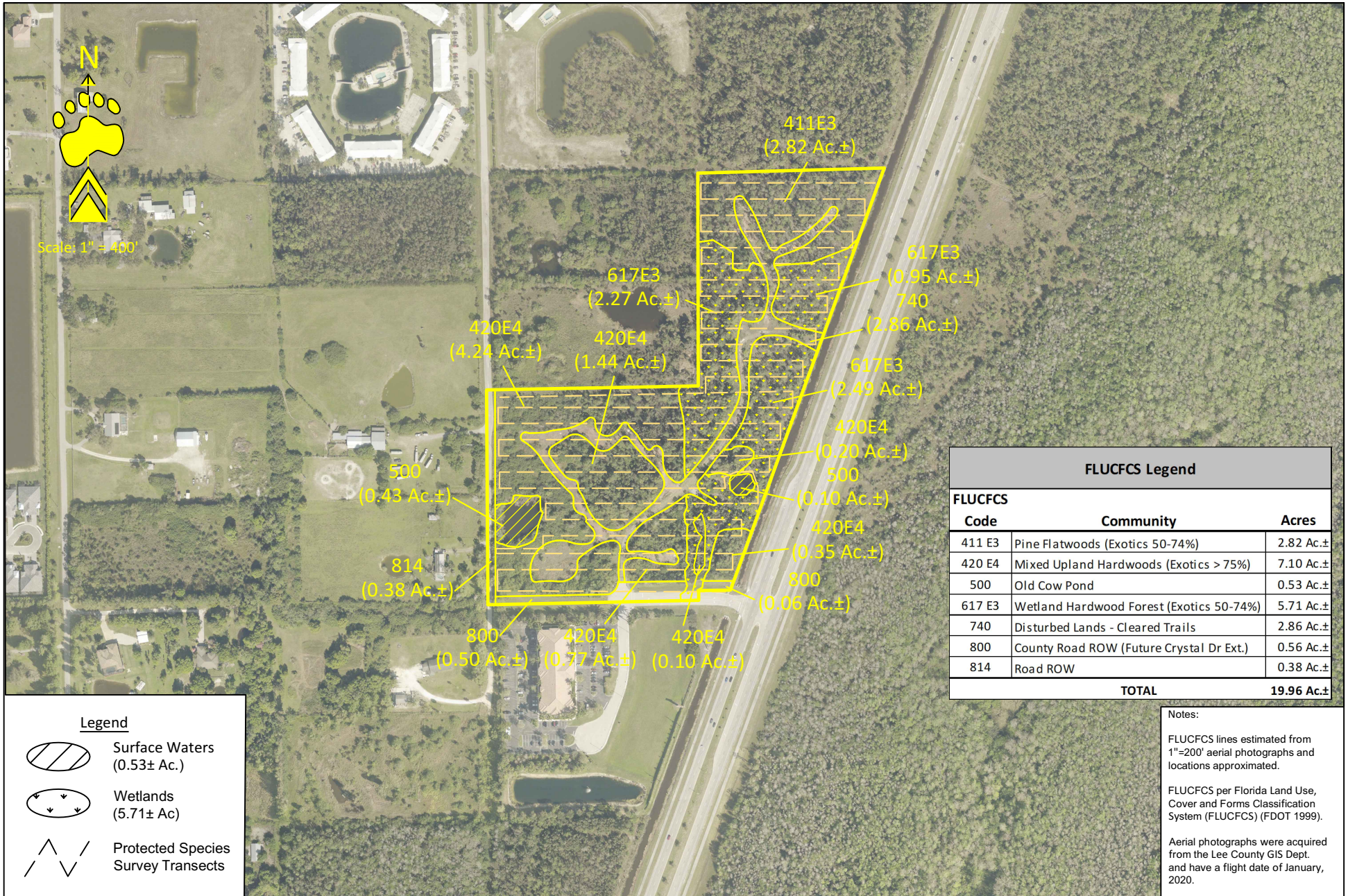
Category	Soils
Scale:	1" = 400'
County	Lee

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Page	-
Exhibit	-

**EXHIBIT E**

**Protected Species Survey Map**



FLUCFCS Legend		
FLUCFCS Code	Community	Acres
411 E3	Pine Flatwoods (Exotics 50-74%)	2.82 Ac.±
420 E4	Mixed Upland Hardwoods (Exotics > 75%)	7.10 Ac.±
500	Old Cow Pond	0.53 Ac.±
617 E3	Wetland Hardwood Forest (Exotics 50-74%)	5.71 Ac.±
740	Disturbed Lands - Cleared Trails	2.86 Ac.±
800	County Road ROW (Future Crystal Dr Ext.)	0.56 Ac.±
814	Road ROW	0.38 Ac.±
<b>TOTAL</b>		<b>19.96 Ac.±</b>

Legend	
	Surface Waters (0.53± Ac.)
	Wetlands (5.71± Ac.)
	Protected Species Survey Transects

Notes:  
 FLUCFCS lines estimated from 1"=200' aerial photographs and locations approximated.  
 FLUCFCS per Florida Land Use, Cover and Forms Classification System (FLUCFCS) (FDOT 1999).  
 Aerial photographs were acquired from the Lee County GIS Dept. and have a flight date of January, 2020.

Revisions	Date:	Drawn By:	Date:
		BWS	9/3/20
		Job Number	
		S/T/R	
		17/45S/25E	

## Carissa Commercial Park

### Aerial PSS Map

Category	PSS
Scale:	1" = 400'
County	Lee

1599 Covington Circle East, Fort Myers, FL 33919  
 (239) 340-0678 bearpaws.env.consulting@gmail.com

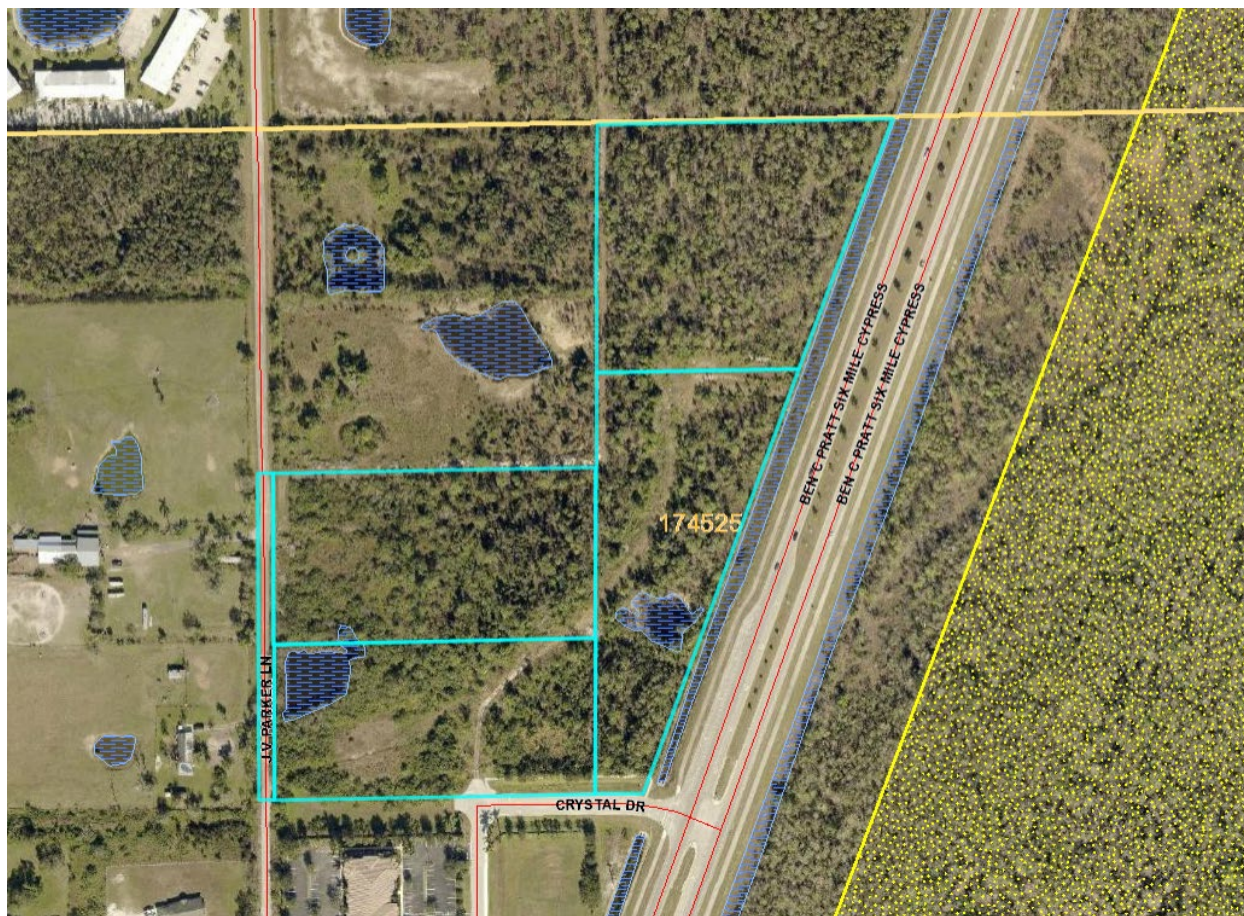
Page	-
Exhibit	-



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# Carissa Minor RPD Existing & Historic Flow-Ways Map

There are no existing or historic flow-ways on the site.



<input type="checkbox"/>	<input checked="" type="checkbox"/>		FIRM Floodway
<input type="checkbox"/>	<input checked="" type="checkbox"/>		FIRM Floodway - Old

S:\Jobs\29XX\2961F\Documents\Zoning\2961F\_Existing & Historic Flowways Map.doc

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DESCRIPTION  
OF  
A PARCEL OF LAND LYING IN  
SECTION 17, TOWNSHIP 45 SOUTH, RANGE 25 EAST,  
LEE COUNTY, FLORIDA

A TRACT OR PARCEL OF LAND SITUATED IN THE STATE OF FLORIDA, COUNTY OF LEE, LYING IN SECTION 17, TOWNSHIP 45 SOUTH, RANGE 25 EAST, BEING FURTHER BOUNDED AND DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTH ONE QUARTER CORNER OF SAID SECTION 17; THENCE S.00°06'35"E. ALONG THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 17, FOR 658.74 FEET; THENCE S.88°56'52"W. ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 17, FOR 654.76 FEET; THENCE S.00°22'36"E. ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 17 AND THE CENTERLINE OF A 60.00 FOOT WIDE INGRESS AND EGRESS EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4609, PAGE 4248, LEE COUNTY PUBLIC RECORDS, FOR 664.60 FEET; THENCE N.88°48'50"E. ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE CENTERLINE OF A 60.00 FOOT WIDE VIEWER'S ROAD AS DESCRIBED IN COUNTY COMMISSIONERS MINUTE BOOK 5, PAGE 669, SAID PUBLIC RECORDS, FOR 651.68 FEET; THENCE N.00°06'35"W. ALONG SAID NORTH-SOUTH QUARTER SECTION LINE OF SECTION 17, FOR 30.00 FEET TO THE NORTH LINE OF SAID 60.00 FOOT WIDE VIEWER'S ROAD; THENCE N.88°52'35"E. ALONG SAID NORTH LINE FOR 98.08 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SIX MILE CYPRESS PARKWAY (250.00 FEET WIDE); THENCE N.20°01'31"E. ALONG SAID WESTERLY RIGHT OF WAY LINE, FOR 1389.14 FEET; THENCE S.88°29'12"W. ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 17, FOR 576.42 FEET TO THE **POINT OF BEGINNING**.

SUBJECT PARCEL CONTAINS: 19.96 ACRES, MORE OR LESS.

BEARINGS ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF SIX MILE CYPRESS PARKWAY (A.K.A. BEN C. PRATT) AS BEARING N 20°01'31" E.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

DESCRIPTION PREPARED: 08-05-2020



Digitally signed by A.  
Lee Hayne  
Date: 2020.08.27  
09:34:37 -04'00'

A. LEE HAYNE, P.S.M.  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA CERTIFICATION NO. 6338  
DATE SIGNED 08-05-2020

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**SHEET 1 OF 2**  
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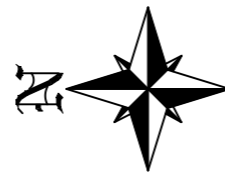
# BANKS ENGINEERING

Professional Engineers, Planners, & Land Surveyors  
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10511 SIX MILE CYPRESS PARKWAY, SUITE 101  
FT. MYERS, FLORIDA 33966  
PHONE (239)939-5490 FAX (239)939-2523

ENGINEERING LICENSE # EB 6469  
SURVEY LICENSE # LB 6690

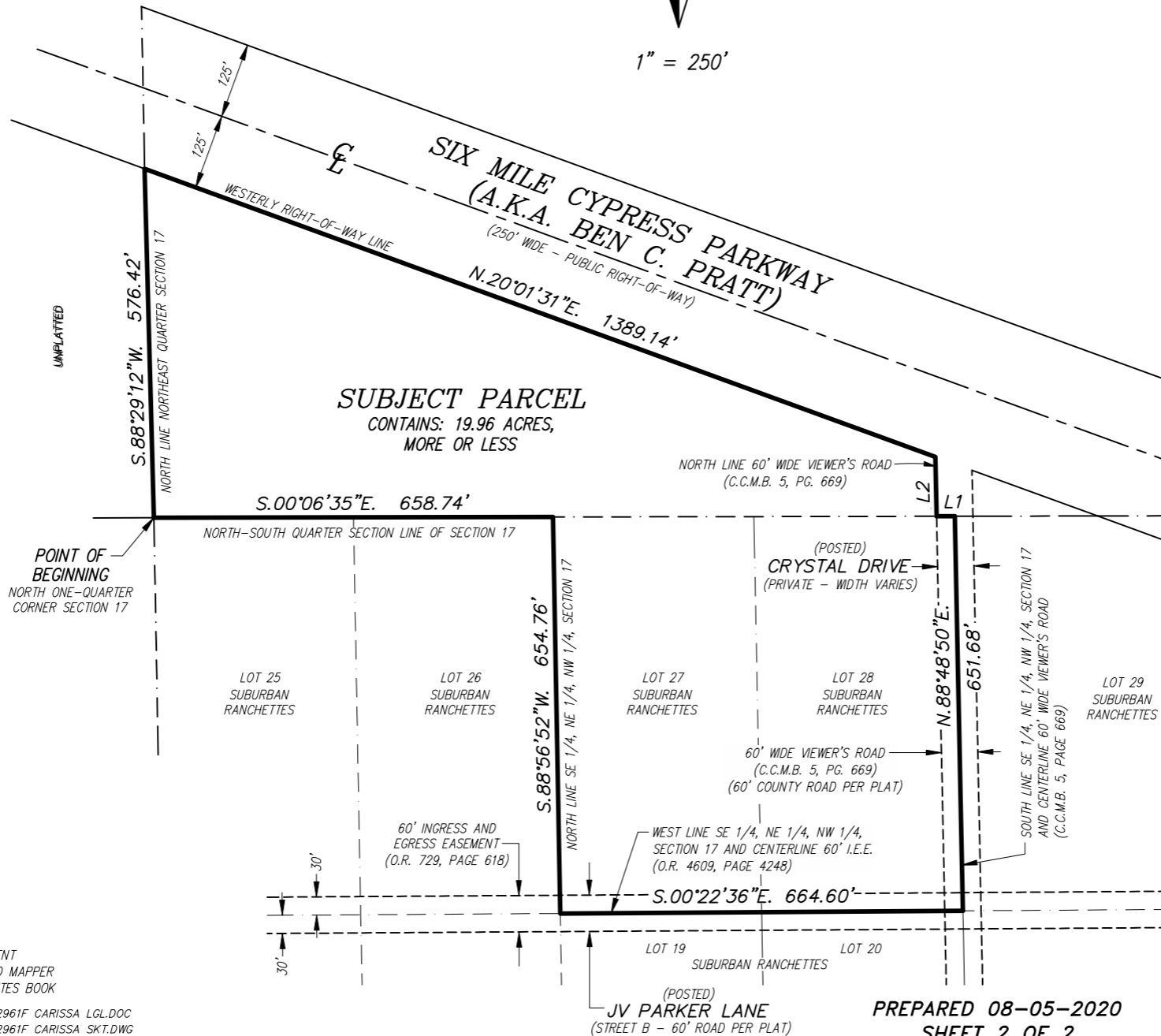
WWW.BANKSENG.COM



1" = 250'

# SKETCH OF DESCRIPTION

OF  
A PARCEL OF LAND LYING IN  
SECTION 17, TOWNSHIP 45 SOUTH, RANGE 25 EAST,  
LEE COUNTY, FLORIDA



### NOTES:

- 1.) BEARINGS ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF SIX MILE CYPRESS PARKWAY (A.K.A. BEN C. PRATT) AS BEARING N 20°01'31" E.
- 2.) SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.
- 3.) ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- 4.) THE UNRECORDED SUBDIVISION PLAT OF SUBURBAN RANCHETTES IS DEPICTED IN OFFICIAL RECORDS BOOK 273, PAGES 94 THROUGH 97 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

### LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°06'35" W	30.00'
L2	N 88°52'35" E	98.08'

SEE SHEET 1 OF 2 FOR COMPLETE METES AND BOUNDS DESCRIPTION.  
**THIS SKETCH OF DESCRIPTION IS NOT A BOUNDARY SURVEY**



Digitally signed by  
A. Lee Hayne  
Date: 2020.08.27  
09:35:13 -04'00'

A. LEE HAYNE, P.S.M.  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA CERTIFICATION NO. 6338  
- DATE SIGNED: 08-05-2020  
- THIS SKETCH OF DESCRIPTION IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

PREPARED 08-05-2020  
SHEET 2 OF 2



John E. Manning  
*District One*

May 18, 2020

Via E-Mail

Cecil L Pendergrass  
*District Two*

**Jennifer Sheppard**  
Banks Engineering  
10511 Six Mile Cypress Parkway  
Fort Myers, FL 33966

Raymond Sandelli  
*District Three*

Brian Hamman  
*District Four*

Frank Mann  
*District Five*

**RE: Potable Water and Wastewater Availability  
Carissa CPD , Crissa Commerce Court  
STRAP # 17-45-25-00-00004.0000, 0020, 17-45-25-01-00000.0270, 0280**

Roger Desjarlais  
*County Manager*

Richard Wm Wesch  
*County Attorney*

Donna Marie Collins  
*County Chief  
Hearing Examiner*

Dear Ms. Sheppard:

The subject property is located within Lee County Utilities Future Service Area as depicted on Maps 6 and 7 of the Lee County Comprehensive Land Use Plan. Potable water and sanitary sewer lines are in operation adjacent to the property mentioned above. However, in order to provide service to the subject parcels, developer funded system enhancements such as line extensions may be required.

Your firm has indicated that this project will consist of 300 multi-family residential units with an estimated flow demand of approximately 75,250 gallons per day. Lee County Utilities presently has sufficient capacity to provide potable water and sanitary sewer service as estimated above.

Availability of potable water and sanitary sewer service is contingent upon final acceptance of the infrastructure to be constructed by the developer. Upon completion and final acceptance of this project, potable water service will be provided through our Corkscrew Water Treatment Plant.

Sanitary sewer service will be provided by the City of Ft Myers South Water Reclamation Facility. The Lee County Utilities' Design Manual requires the project engineer to perform hydraulic computations to determine what impact this project will have on our existing system.

There are no reuse mains in the vicinity of these parcels.

Prior to beginning design work on this project, please meet with LCU Staff to determine the best point of connection and discuss requirements for construction.

This letter should not be construed as a commitment to serve, but only as to the availability of service. Lee County Utilities will commit to serve only upon receipt of all appropriate connection fees, a signed request for service and/or an executed service agreement, and the

Carissa CPD - Letter.Docx

May 18, 2020

Page 2

approval of all State and local regulatory agencies.

Further, this letter of availability of potable water and sanitary sewer service is to be utilized for Development Review and SFWMD only. Individual letters of availability will be required for the purpose of obtaining building permits.

Sincerely,

**LEE COUNTY UTILITIES**



Mary McCormic  
Technician Senior  
239-533-8532  
UTILITIES ENGINEERING

# CARISSA MINOR RPD - LIST OF ZONING RESOLUTIONS

## Planned Development

Carissa CPD

Development Type: DCI

Status: Approved/W Amendments

South Fort Myers Planning Community

### Project Approvals

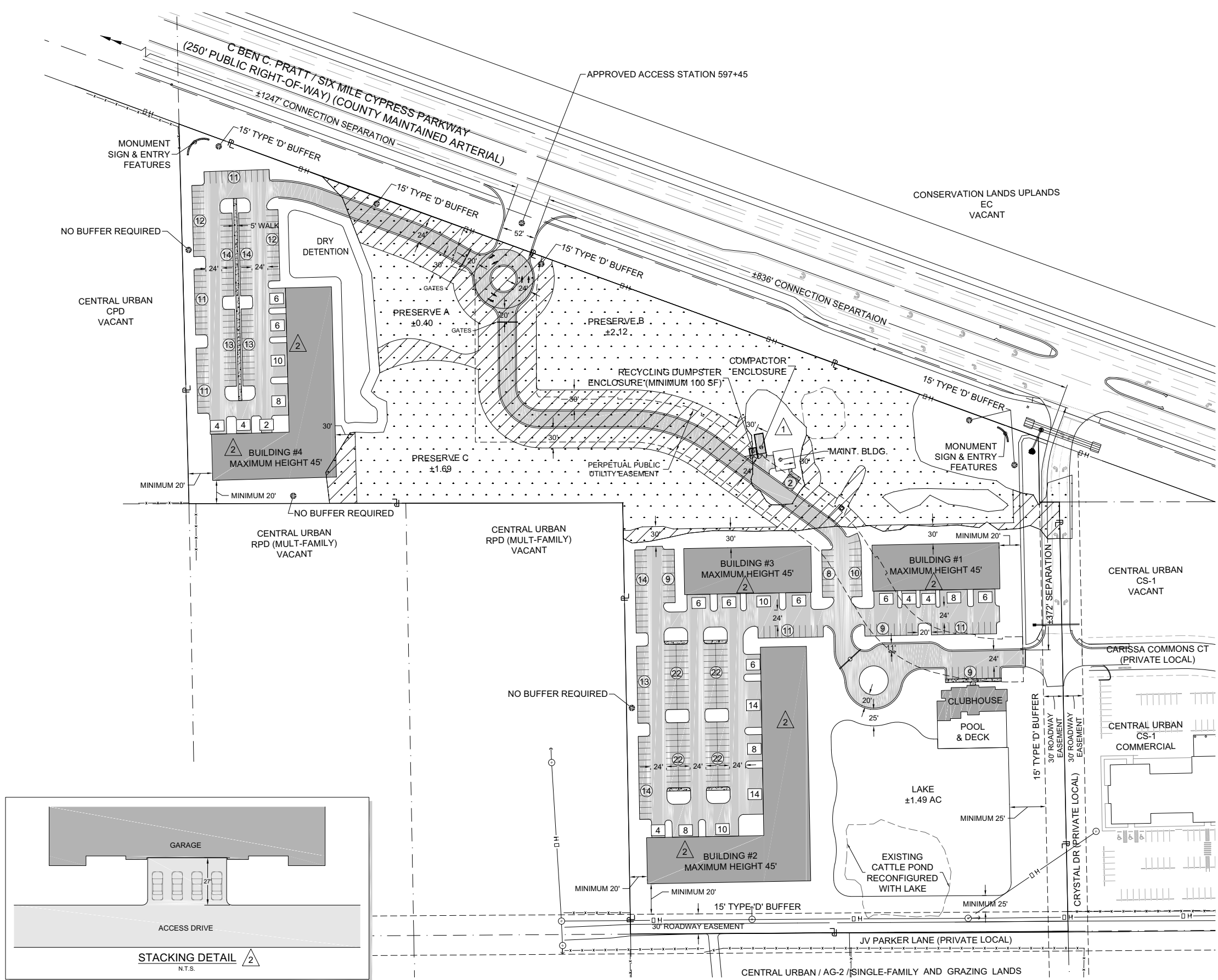
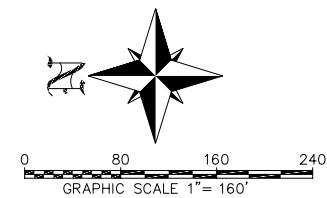
Category Sub Category	Acres Totals/Sub Category	Units Totals/Sub Category	Square Feet Totals/Sub Category
<b>Commercial</b>	10.10	100	150,000
Total Commercial <i>Units=Hotel/Motel Rooms; Total floor area ranges from 75,000sf to 150,000sf and retail portion ranges from 0 to 100,000sf based on access options (see Z-06-007)</i>	10.10	100	150,000
<b>Conservation</b>	4.42		
Wetlands/Conservation	4.42		
<b>Public</b>	4.55		0
Open Space/Parks	4.55		0
<b>Project Total</b>	<b>19.07</b>	<b>100</b>	<b>150,000</b>

### Project Hearings

Resolution #	Case Number	Hearing Date	Approved	
ADD2007-00120 Go To E-Connect Click For Resolution	ADD2007-00120	08/08/2007	Yes	Amend resolution Z-06-007 to modify language found in Condition #6.
Z-06-007 Go To E-Connect Click For Resolution	DCI2005-00101	04/03/2006	Yes	Reinstate vacated Master Concept Plan (Resolution Z-97-029). Conditions floor area based on road access connections.
ADD2005-00126 Go To E-Connect Click For Resolution	ADD2005-00126	06/27/2005	Yes	Amend Master Concept Plan (MCP) 1) Move frontage road west 2) Create 4 development areas 3) Reconfigure wetlands and increase area. 4) Setback on Six Mile Cypress PkY reduced from

						65 ft to 25 ft. 5) Relocate sign and removal of the proposed schedule of uses from MCP.
Z-97-029A	96-12-014.03Z 01.01	10/20/1997	Yes			Corrects wording
Go To E-Connect Click For Resolution						
Z-97-029	96-12-014.03Z 91.01	06/16/1997	Yes			Rezone AG-2 to CPD
Go To E-Connect Click For Resolution						

DCI955939
630



**LEGEND:**

- EXISTING/PROPOSED WETLAND IMPACTS
- PERMITTED JURISDICTIONAL WETLAND LINE
- DEVIATION
- GARAGE/STACKED PARKING COUNT
- PARKING COUNT

**PARKING CALCULATION:**

**MULTI-FAMILY PARKING REQUIREMENT:**  
 1.77 SPACES PER UNIT  
 3 (INCLUSIVE OF GUEST AND CLUBHOUSE PARKING)

PARKING SPACES = 309  
 GARAGE PARKING SPACES = 160  
 (1 SPACE INSIDE GARAGE & 1 SPACE IN DRIVEWAY)

**TOTAL = 469**

**DENSITY CALCULATION:**

SITE AREA = 18.57 AC  
 EASEMENT/POTENTIAL R/W = 1.39 AC  
**TOTAL SITE AREA = 19.96 AC**

TOTAL WETLAND IMPACTS = 2.32 AC  
**TOTAL SITE AREA (LESS IMPACTS) = 17.64 AC**

**NOTES:**

SITE AREA: 19.96 AC  
 OPEN SPACE REQUIRED: 40%  
 19.96 X 0.4 = 7.98 ACRES REQUIRED  
 INDIGENOUS OPEN SPACE REQUIRED: 3.99 AC

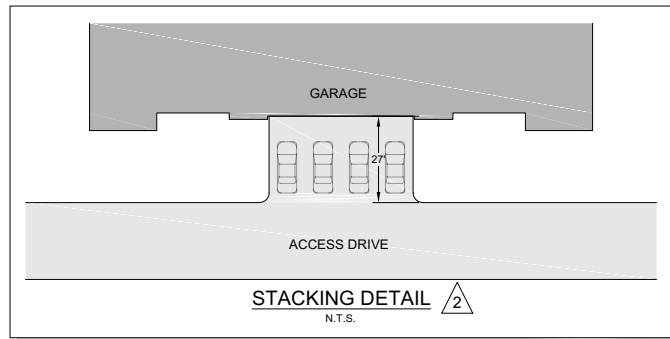
**PROVIDED:**

LAKE: 1.49 AC (MAX 25% OF OPEN SPACE REQUIRED)  
 PRESERVES: 4.21 AC  
 OTHER OPEN SPACE: MINIMUM 2.28 AC  
**MINIMUM OPEN SPACE PROVIDED: 7.98 AC**

**DENSITY:**

STANDARD DENSITY: 10 DU/AC  
 17.64 @ 10: 176.4  
 2.32 @ 1/20: 0.12

**BONUS UP TO 15 DU/AC**  
 17.64 @ 5: = 88.2  
**TOTAL: 265 DU**



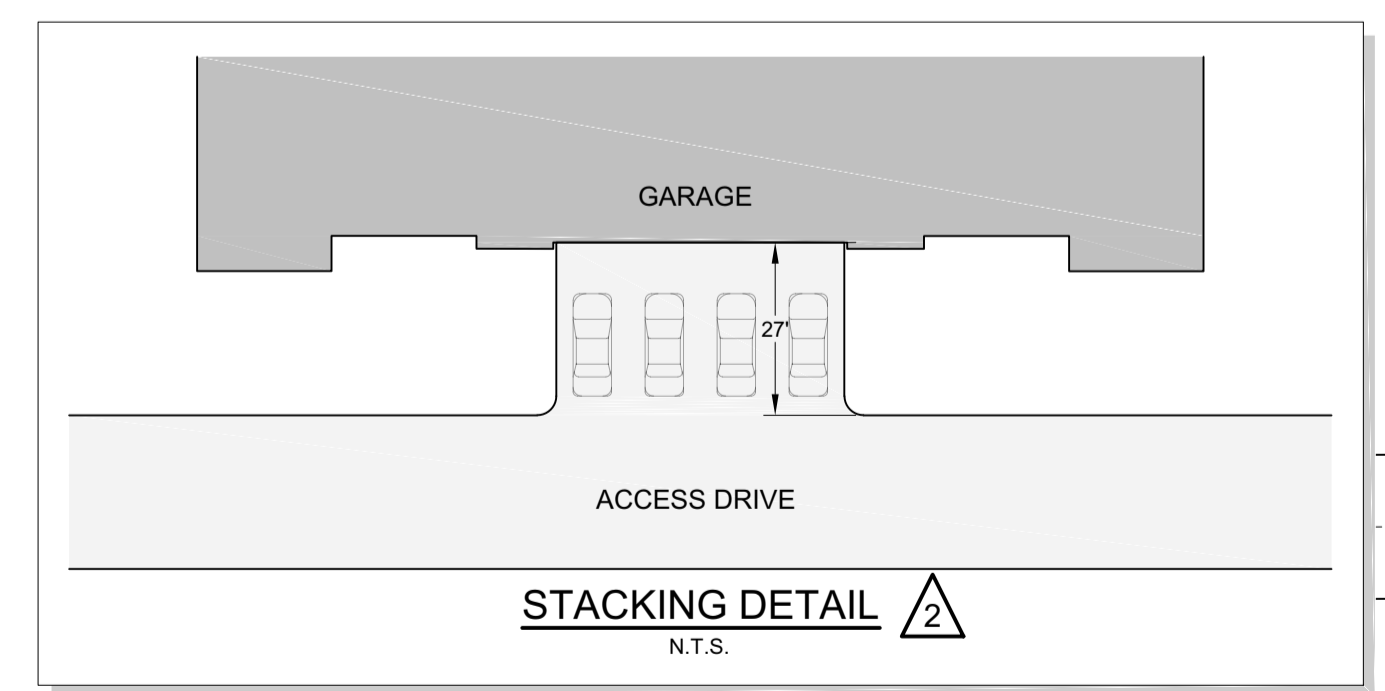
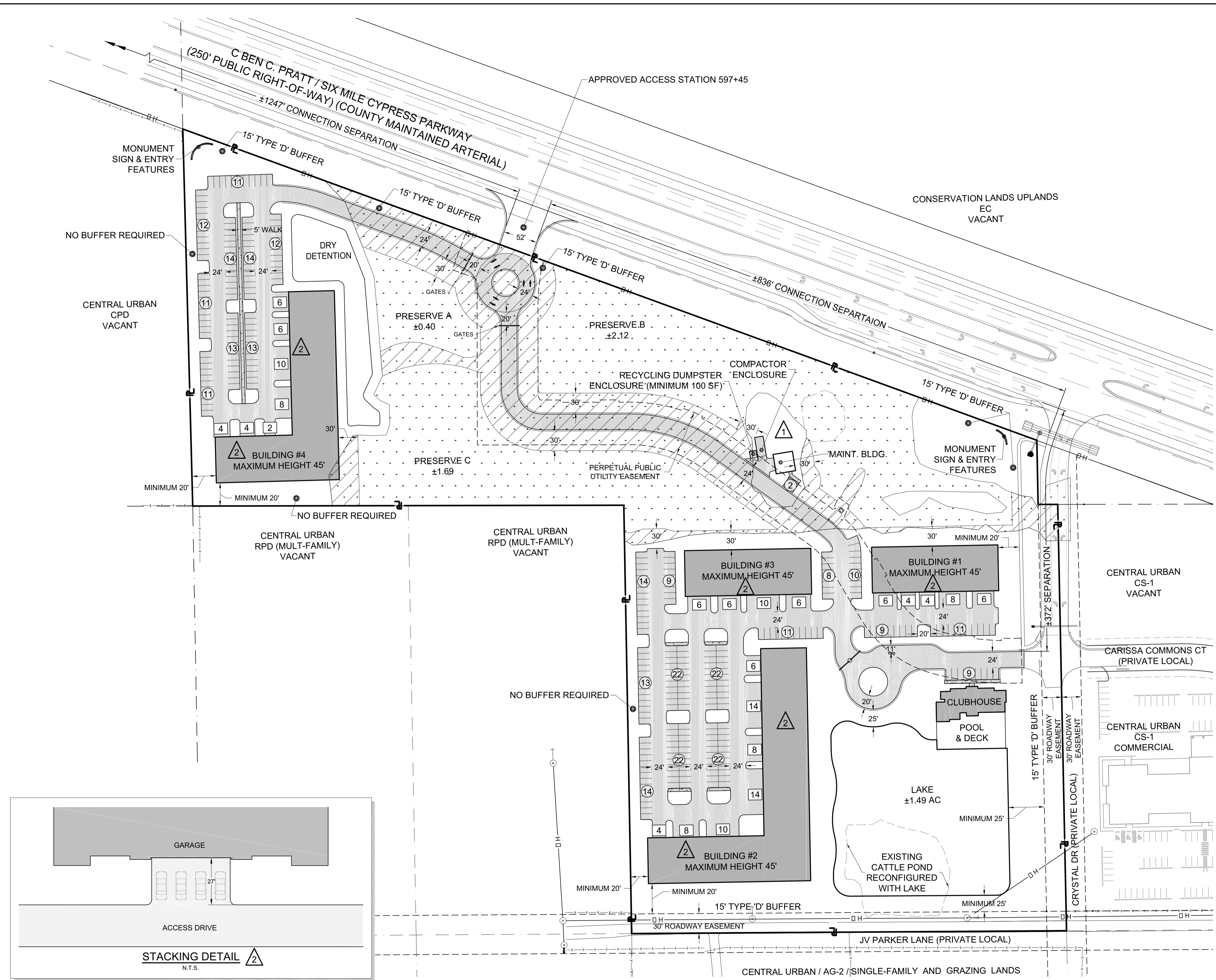
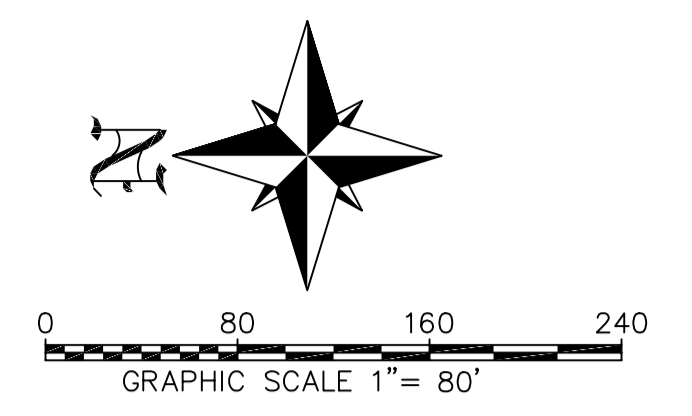
S:\JOBS\29XX\2961F\_ZONING\2961F\_MCP.DWG 9/8/2020 12:25 PM STEVE JOHNSON

NO.	DATE	REVISION DESCRIPTION	BY

**BANKS ENGINEERING**  
 Professional Engineers, Planners, & Land Surveyors  
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10511 SIX MILE CYPRESS PARKWAY  
 FORT MYERS, FLORIDA 33966  
 PHONE: (239) 939-5490 FAX: (239) 939-2523  
 ENGINEERING LICENSE # EB 6469  
 SURVEY LICENSE # LB 6690  
 WWW.BANKSENG.COM

MASTER CONCEPT PLAN CARISSA MINOR RPD LEE COUNTY, FLORIDA						
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE
9/08/2020	2961F	_MCP	SEH	SDJ	SEH	1"=160'
						SHEET 1



**LEGEND:**

	EXISTING/PROPOSED WETLAND IMPACTS
	PERMITTED JURISDICTIONAL WETLAND LINE
	DEVIATION
	GARAGE/STACKED PARKING COUNT
	PARKING COUNT

**PARKING CALCULATION:**

MULTI-FAMILY PARKING REQUIREMENT:  
1.77 SPACES PER UNIT  
(INCLUSIVE OF GUEST AND CLUBHOUSE PARKING)

PARKING SPACES =	309
GARAGE PARKING SPACES =	160
(1 SPACE INSIDE GARAGE & 1 SPACE IN DRIVEWAY)	
<b>TOTAL =</b>	<b>469</b>

**DENSITY CALCULATION:**

SITE AREA =	18.57 AC
EASEMENT/POTENTIAL R/W =	1.39 AC
<b>TOTAL SITE AREA =</b>	<b>19.96 AC</b>
TOTAL WETLAND IMPACTS =	2.32 AC
<b>TOTAL SITE AREA (LESS IMPACTS) =</b>	<b>17.64 AC</b>

**NOTES:**

SITE AREA: 19.96 AC  
 OPEN SPACE REQUIRED: 40%  
 19.96 X 0.4 = 7.98 ACRES REQUIRED  
 INDIGENOUS OPEN SPACE REQUIRED: 3.99 AC

**PROVIDED:**

LAKE: 1.49 AC (MAX 25% OF OPEN SPACE REQUIRED)  
 PRESERVES: 4.21 AC  
 OTHER OPEN SPACE: MINIMUM 2.28 AC  
 MINIMUM OPEN SPACE PROVIDED: 7.98 AC

**DENSITY:**

STANDARD DENSITY: 10 DU/AC	
17.64 @ 10: 176.4	
2.32 @ 1/20: 0.12	
BONUS UP TO 15 DU/AC	
17.64 @ 5: = 88.2	
<b>TOTAL: 265 DU</b>	

S:\JOBS\2961F\ZONING\2961F\_MCP.DWG 9/8/2020 12:25 PM STEVE JOHNSON

NO.	DATE	REVISION DESCRIPTION	BY

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MASTER CONCEPT PLAN CARISSA MINOR RPD LEE COUNTY, FLORIDA							
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE	SHEET
9/08/2020	2961F	_MCP	SEH	SDJ	SEH	1"=80'	1



2726 OAK RIDGE COURT, SUITE 503  
FORT MYERS, FL 33901-9356  
OFFICE 239.278.3090  
FAX 239.278.1906

TRAFFIC ENGINEERING  
TRANSPORTATION PLANNING  
SIGNAL SYSTEMS/DESIGN

# **PARKING DEMAND STUDY**

FOR

# **MULTI-FAMILY RESIDENTIAL PARKING DEMAND STUDY**

**PROJECT NO. F2001.11**

**PREPARED BY:  
TR Transportation Consultants, Inc.  
Certificate of Authorization Number: 27003  
2726 Oak Ridge Court, Suite 503  
Fort Myers, Florida 33901-9356  
(239) 278-3090**

**September 8, 2020**



## CONTENTS

- I. INTRODUCTION
- II. METHODOLOGY
- III. RESULTS
- IV. PARKING DEMAND FOR CARISSA MINOR RPD
- V. COMPARISON TO ITE PARKING GENERATION, 5<sup>th</sup> EDITION
- VI. CONCLUSION



## I. INTRODUCTION

TR Transportation Consultants, Inc. has conducted a parking demand study for multi-family residential units in Lee County, Florida. The parking study was conducted in order to support a parking deviation request for the Carissa Minor RPD located on Six Mile Cypress Parkway north of Daniels Parkway in Lee County, Florida.

The parking demand study was performed in order to support a parking deviation request for multi-family residential uses, specifically for the project known as Carissa Minor RPD, located on the west side of Six Mile Cypress Parkway approximately 1.3 miles north of Daniels Parkway. The specific request is for relief to the parking requirements for multi-family residential uses as outlined in Section 34-2020, Table 34-2020(a) of the Lee County Land Development Code. This table states that multi-family projects should provide **two spaces for every unit** and then in Note (1), it states that *“In addition to the spaces required, additional parking spaces equal to ten percent of the total required must be provided to accommodate guest parking in a common parking area.”* In addition to the spaces required for the multi-family units, Lee County requires that additional parking be provided for the Clubhouse. These requirements are also outlined in Table 34-2020(a) and state that **four (4) spaces for every 1,000 square feet of total floor area** must be provided.

The Carissa Minor RPD is proposed to have a total of 265 apartment units with a clubhouse and a pool. The comprehensive parking demand study conducted by TR Transportation Consultants of three similar multi-family apartment communities in Lee County determined that the maximum parking demand experienced was 1.39 spaces per unit (inclusive of guest and clubhouse parking). For the Carissa Minor RPD with 265 units proposed, this would require a total of 368 parking spaces to meet the demand.



## II. METHODOLOGY

The methodology of the parking study was discussed with Lee County Development Services staff and is consistent with the methodology described in the Institute of Transportation Engineer's (ITE) report titled *Parking Generation*, 5<sup>th</sup> Edition. A methodology memorandum was submitted to Lee County staff and is attached to this document for reference as well as material from the ITE *Parking Generation Manual*. As site selection was confirmed, additional correspondence was completed with Lee County staff updating them on the final locations of the three (3) properties that were surveyed.

The Parking Demand Study included collecting parking data at three (3) existing multi-family residential rental communities in Lee County. The study sites were selected based on the similarity in market rents to what will be in place at the Carissa Minor RPD community, the demographics of the properties and the date of construction of the properties. The selected sites are all "A" properties and all are market level rents. All of the communities have an occupancy level of greater than 90%. The following provides a summary of the three (3) sites that were surveyed as part of this study

### Springs at Six Mile Cypress

The Springs at Six Mile Cypress is located at 5560 Six Mile Commercial Court, which is on Six Mile Cypress Parkway between U.S. 41 and Metro Parkway in Lee County. This community has 288 units in buildings containing two stories. There is a total of 494 surface parking spaces on the property. There are a total of 37 single car garages on the property. At the time of the survey, 20 of the garages were leased. There are a total of 103 Studio/One Bedroom units, 129 Two Bedroom units and 56 Three Bedroom units for a total of 529 Bedrooms on the property. The occupancy of this property at the time of the parking study was 93%. The location of this site is illustrated on **Figure 1** located in the Appendix of this report.



### Longitude 81

The Longitude 81 is located at 11221 Everblades Parkway, which is on the west side of Ben Hill Griffin Parkway in front of the Hertz Arena in Estero, Florida. This community has 260 units in buildings containing two stories. There is a total of 552 surface parking spaces on the property. There are a total of 24 single car garages on the property. At the time of the survey, the number of garages that were leased was not provided by Property Management. Therefore, to be conservative, it was assumed that 75% of the garages, or 21 garages, were leased at the time of the survey. There are a total of 126 Studio/One Bedroom units, 108 Two Bedroom units and 22 Three Bedroom units for a total of 408 Bedrooms on the property. The occupancy of this property at the time of the parking study was 94%. The location of this site is illustrated on **Figure 2** located in the Appendix of this report.

### The Venetian

The Venetian is located at 4051 Regata Way, which is on the north side of Winkler Avenue between Colonial Boulevard and Veronica Shoemaker Boulevard in the City of Fort Myers, Florida. This community has 436 units in buildings containing two and three stories. There is a total of 692 surface parking spaces on the property. There are a total of 125 single car garages on the property. At the time of the survey, 75 of the garages were leased. There are a total of 204 Studio/One Bedroom units, 192 Two Bedroom units and 40 Three Bedroom units for a total of 708 Bedrooms on the property. The occupancy of this property at the time of the parking study was 91%. The location of this site is illustrated on **Figure 3** located in the Appendix of this report.

The surveys were conducted in late March and April of 2020. The occupancy counts at each property were completed on six different days and each survey was conducted after 12:00 midnight on each occasion. This time period was the beginning of the COVID-19 shut-downs but in speaking with the Property Managers of each property, this did not impact tenant occupancy at this time. In fact, an argument could be made that the shut-downs may have slightly increased the parking demand as tenants that would have



otherwise been traveling or at work would be at home with their vehicle parked in the parking lot.

The raw data sheets from the parking occupancy study for each property are included in the Appendix of this report for reference. The raw data sheets indicate the date and time of each survey, the **TOTAL** number of vehicles parked on the property, the number of those vehicles that were parked in a marked handicap space, the number of vehicles parked in marked Visitor spaces (if any were identified), number vehicles parked in marked loading areas and the number of vehicles parked at the Clubhouse.

### III. RESULTS

The peak parking occupancy was surveyed at each property and is summarized in **Table 1**. Table 1 identifies the number of units and the parking demand rate based on the number of units. This rate includes guest parking, handicap parking, clubhouse parking and garage parking. This is based on the **HIGHEST** number of parking spaces/garages occupied at the time of the survey. The data sheets contained in the Appendix of this report illustrate the parking demand rate based on both the **HIGHEST** demand as well as the **AVERAGE** demand that was observed at each of the three properties. Also reflected in Table 1 is the **AVERAGE** of the **HIGHEST** parking demand rate based on the number of units. This parking rate again includes **ALL** parking spaces on the property, including guest spaces (if identified), handicap spaces and occupied garage spaces. It should be noted that **100%** of the number of “leased” garage spaces were assumed to have a vehicle parked inside of that garage for purposes of this study, even though field observations did not verify if the garage was indeed occupied by a vehicle. Based on discussions with the Property Managers, it is not uncommon for the tenant to lease the garage and use it as a storage unit rather than for a vehicle, so assuming that 100% of the leased garages were occupied by a parked vehicle represents a “worst case” in terms of the parking analysis.



**Table 1**  
**Multi-Family Parking Demand Study**  
**Highest Parking Demand Based on Number of Units**

<b>Property</b>	<b>Number of Units</b>	<b>Highest Number of Occupied Spaces</b>	<b>Spaces Per Units</b>
Springs @ Six Mile	288	379	1.32
Longitude 81	260	345	1.33
Venetian	436	664	1.52
<b>AVERAGE</b>			<b>1.39</b>

**Table 2** identifies the number of BEDROOMS and the parking demand based on the number of BEDROOMS. As in Table 1, the number of occupied spaces includes guest parking, handicap parking, clubhouse parking and garage parking.

**Table 2**  
**Multi-Family Parking Demand Study**  
**Highest Parking Demand Based on Number of Bedrooms**

<b>Property</b>	<b>Number of Bedrooms</b>	<b>Highest Number of Occupied Spaces</b>	<b>Spaces Per Bedroom</b>
Springs @ Six Mile	529	379	0.72
Longitude 81	408	345	0.85
Venetian	708	664	0.94
<b>AVERAGE</b>			<b>0.83</b>

#### **IV. PARKING DEMAND FOR CARISSA MINOR RPD**

Based on the calculations noted above, the Carissa Minor RPD would have a **parking demand of 368 spaces** based on the number of units and **374 spaces** based on an assumption of 450 bedrooms (based on preliminary unit mix for this project).

The applicant is requesting a parking deviation to provide a total of 469 spaces on the subject site. Based on the proposed 265 units, this represents a parking ratio of 1.77 spaces per dwelling unit (inclusive of guest parking and clubhouse parking), which is approximately 27% greater than the 1.39 spaced per unit peak demand found at comparable properties. Based on the preliminary assumption of 450 bedrooms and the



number of parking spaces proposed for this site (469 spaces), the parking ratio based on the number of bedrooms would be 1.04 spaces per bedroom, which is approximately 25% greater than the 0.83 spaces per bedroom peak demand found at the comparable properties.

## V. COMARISON TO ITE PARKING GENERATION, 5<sup>th</sup> EDITION

A comparison of the surveyed data was also made with the data contained in the most recent ITE *Parking Generation Manual*, 5<sup>th</sup> Edition. Data sets from both Land Use Code 220 – Multi-Family Housing (Low-Rise) and Land Use Code 221 – Multi-Family Housing (Mid-Rise) were compared to the survey data. The applicable sheets from the ITE *Parking Generation Manual* for both of these Land Use Codes are included in the Appendix of this report for reference where the Average Parking Demand Rate as well as any Fitted Curve Equation are identified. It should be noted that only that data sets that were identified as being “*General Urban/Suburban with NO nearby rail transit*” were included.

**Table 3** identifies the Average Parking Rates per Dwelling Unit and per Bedroom for each of these Land Use Codes. The Average Trip Rates were identified for both Monday through Friday data sets as well as for Saturday. Due to the lack of data points, the information for Sunday was excluded (only 1 study site). The bottom line of Table 3 illustrates the parking demand for the Carissa Minor RPD based on the ITE data and the intensity of uses being proposed (265 units and 450 bedrooms). This is represented by applying the highest parking rate illustrated for that time period.



**Table 3**  
**Multi-Family Parking Demand Study**  
**ITE Parking Generation Manual, 5<sup>th</sup> Edition**

Land Use Code	Average Trip Rate per Dwelling Unit		Average Trip Rate Per Bedroom	
	M-F	Sat	M-F	Sat
LUC 220 – Low Rise Multi-Family	1.21	1.31	0.66	0.80
LUC 221 – Mid-Rise Multi-Family	1.31	1.22	0.75	0.77
Highest Parking Demand for Carissa RPD	347	347	338	360

Therefore, based on the ITE Trip Generation Manual, 5<sup>th</sup> Edition, the Carissa Minor RPD should provide at least 360 parking spaces to meet the anticipated parking demand. The requested deviation is to supply 469 total parking spaces, which is approximately 30% higher than the parking demand identified in the ITE report. The parking rates contained in the ITE Report are also very consistent with the data surveyed at the three sites in Lee County.



## VI. CONCLUSION

The parking demand study conducted supports a deviation request from the Lee County Land Development Code parking requirements for multi-family uses (Section 34-2020). The data collected reflects an average peak parking demand of 1.39 spaces per dwelling unit, or 0.83 spaces per bedroom. For the Carissa Minor RPD and anticipated number of bedrooms, the project would need at least 374 parking spaces to meet the demand. The requested deviation is asking for a total of 469 parking spaces be provided, or approximately 25% greater than the anticipated demand.

The number of spaces being requested (469) is also approximately 30% higher than what the most recent edition of the ITE *Parking Generation Manual* recommends as the peak demand for the number of units and anticipated bedrooms for this community.

Therefore, based on the data submitted, a deviation request to reduce the required parking on the Carissa Minor RPD is clearly supported by the studies conducted by TR Transportation Consultants as well as the data contained in the ITE Parking Generation Manual, 5<sup>th</sup> Edition.

# **APPENDIX**

# **PARKING STUDY METHODOLOGY**



2726 OAK RIDGE COURT, SUITE 503  
FORT MYERS, FL 33901-9356  
OFFICE 239.278.3090  
FAX 239.278.1906

TRAFFIC ENGINEERING  
TRANSPORTATION PLANNING  
SIGNAL SYSTEMS/DESIGN

## MEMORANDUM

TO: Mr. Marcus Evans, P.E.  
Lee County Development Services

FROM: Ted B. Treesh, PTP  
President

DATE: March 3, 2020

RE: Parking Demand Study for Multi-Family Apartments  
Lee County, Florida

TR Transportation Consultants, Inc. is proposing to conduct a parking demand study for multi-family residential dwelling units, specifically apartment communities, in Lee County, Florida to determine a parking demand ratio based on survey of existing multi-family properties. This memorandum discusses the methodology that will be used to collect the data and prepare the analysis that will be submitted to County staff for review.

A total of three (3) sites will be selected to conduct the parking occupancy study. The three sites will all be within Lee County. The three sites will be comparable in terms of size, community type (apartment rental community), and amenities. Although a final selection of the sites has not yet been determined, after permission from the property owner has been received and prior to the surveys being conducted, the sites that have been selected will be provided to Lee County staff.

The parking occupancy will be surveyed at each of the three sites during three separate weekday and once on a weekend (Sunday Evening/Monday Morning). Each site will be visited between the hours of midnight and 5:00 A.M. to conduct the occupancy count. The number of vehicles parked on the property will be inventoried and recorded in tabular format. The total number of marked parking spaces will also be determined through a field visit as well as referencing any site plans that are on file with Lee County (if available).

The occupancy of each site location that will be surveyed will be provided as well. It is our goal to survey properties that have an occupancy greater than 90%.



Mr. Marcus Evans, P.E.  
Parking Demand Study  
Multi-Family Apartment Communities  
March 3, 2020  
Page 2

The total number of enclosed garage spaces will also be attempted to be obtained from the property management staff. If that data is available, the number of garages that are leased will also be obtained and property management staff will be consulted to determine the percentage of garages that are leased are actually used for vehicle parking versus as a storage unit for the tenant. If this data isn't available, a reasonable assumption will be made as to the number of garages that are leased that are used for actual vehicle parking.

If the garage lease data is not made available by the property management staff, then the number of garage spaces will be removed from the overall available parking supply and the demand will only be compared to the supply of parking spaces that are not enclosed in garages.

All vehicles parked on the property will be surveyed, including spaces located at the clubhouse, visitor spaces and other designated parking spaces. Vehicles parked in an unmarked parking space will also be included in the occupancy data.

In general, the properties that are selected will not be near or influenced by Florida Gulf Coast University. All units on the property will be market rate rents. The units will be broken down by the number of bedrooms as well.

A parking ratio will be developed based on the total number of units on the property.

A sample data collection sheet is provided for reference.

Should you have any questions concerning this matter, please feel free to contact us.

Attachments

**CORRESPONDENCE WITH LEE  
COUNTY DEVELOPMENT SERVICES  
REGARDING METHODOLOGY**

## Ted Treesh

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**From:** Evans, Marcus <MEvans@leegov.com>  
**Sent:** Tuesday, March 10, 2020 7:27 AM  
**To:** Ted Treesh  
**Cc:** Rodriguez, Anthony; Sawtell, E. Tom; Wagley, David; Bennett, Colleen  
**Subject:** RE: Parking Study - Multi-Family Projects in Lee County

Ted,

Staff has reviewed the proposed subject-project parking study methodology and provides the following comments for your consideration:

- (1) data from an additional study site may be needed if data from a single site does not appear to reasonably correlate with data collected from the other two sites
- (2) County staff must concur that all study sites are reasonably similar to the proposed site prior to collecting study data (proposed site location and use parameters must be provided for reasonable comparison of study sites to the proposed site)
- (3) based upon a review of available ITE parking generation data, it may be best to survey each site between 12 and 4 AM
- (4) all study sites must have occupancy rates at day/time of study of at least 90%
- (5) all study sites must correlate to the same specifically-named ITE Land Use Category
- (6) the study should propose parking ratios that at minimum correlate the required number of parking spaces to both the number of dwelling units and the number of bedrooms (i.e. parking spaces/dwelling unit and parking spaces/bedroom)
- (7) for the proposed site, at minimum the specific location, number of unit types (i.e. XX 1-bedroom units, YY 2-bedroom units, ZZ 3-bedroom units, etc.) and number of building levels must be clearly identified
- (8) if data with respect to garage occupancy rates for study site garages cannot be obtained from site management, the study should conservatively assume at least the same garage occupancy rate as the site's dwelling unit occupancy rate
- (9) unless otherwise agreed upon in the proposed parking study methodology, parking study-related guidelines contained in the most current ITE Parking Generation manual must be followed
- (10) all parking associated with the land use on and off the survey site including, but not limited to employee, customer, and visitor parking, must be observable and surveyed with exception of individual parking garage stalls (preferably each site's parking area will not be shared with another land use not part of the study)
- (11) there must be minimal or no construction activity on the site or on adjacent roadways that might alter normal study site parking patterns
- (12) background data including, but not limited to site occupancy rates, the number of unit types (i.e. XX 1-bedroom units, YY 2-bedroom units, ZZ 3-bedroom units, etc.), number of building levels, transit availability (location and quality of transit service), area type (suburban, suburban center, central business district, central city (not downtown), rural), and number of parking spaces supplied must be collected for each survey site
- (13) if observations are made at a site multiple times per hour or period, the highest observed parking demand within that hour or period must be recorded and used in the subsequent analysis
- (14) parking survey site data reduction methodology contained in the most current ITE Parking Generation manual will be followed with respect to consolidating and parsing the survey data, and determining the peak period parking demand rate

Hopefully, the above proves useful. If you have questions regarding any of the comments or need anything else, please let me know. Thanks, Ted.

Marcus

Marcus Evans  
Lee County Department of Community Development  
(239) 533-8355

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**From:** Evans, Marcus  
**Sent:** Wednesday, March 4, 2020 7:16 AM  
**To:** 'Ted Treesh'  
**Cc:** Rodriguez, Anthony; Sawtell, E. Tom; Bennett, Colleen; Wagley, David  
**Subject:** RE: Parking Study - Multi-Family Projects in Lee County

Ted,

Thanks for the note. I'll plan to review the subject project methodology when I have a chance and provide comment as requested. If you have questions regarding this or need anything else in the meantime, please let me know. Thanks, Ted.

Marcus

Marcus Evans  
Lee County Department of Community Development  
(239) 533-8355

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**From:** Ted Treesh [mailto:tbt@trtrans.net]  
**Sent:** Tuesday, March 3, 2020 2:40 PM  
**To:** Evans, Marcus; Rodriguez, Anthony  
**Cc:** Bobby Cleveland; TLehnert@BanksEng.com; Wil Garrett; David Depew; Todd Andersen; Ross Rabun  
**Subject:** [EXTERNAL] Parking Study - Multi-Family Projects in Lee County

Marcus, per our discussion last week, attached is a brief methodology outline that we will follow for our parking demand study for multi-family residential rental communities. I plan on doing these in the next few weeks so if you have any comments, please respond quickly.

As indicated in the methodology, once I have permission from the various locations, I will forward those to you prior to us doing the actual study.

Let me know if you need anything else.



Ted Treesh  
TR Transportation Consultants, Inc.  
2726 Oak Ridge Ct. STE 503  
Fort Myers, FL 33901  
239-278-3090 (o)  
239-278-1906 (f)

**SITE LOCATION MAPS**  
**FIGURES 1 – 3**



Figure 1

SPRINGS AT SIX MILES CYPRESS

F2001.11



11221 EVERBLADES PKWY.  
260 UNITS  
408 BEDROOMS  
94% OCCUPANCY

F2001.11



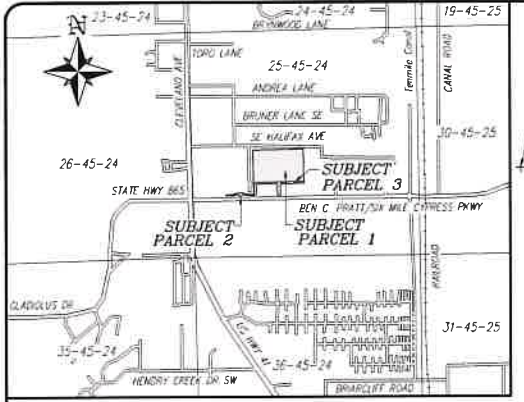
**SITE PLANS FOR THE THREE STUDY  
SITES**

Springs @ Six Mile

KEY MAP

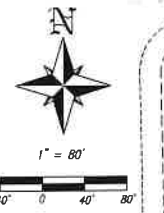
SURVEY PLAT

OF A PARCEL OF LAND LYING IN SECTION 25, TOWNSHIP 45 SOUTH, RANGE 24 EAST, LEE COUNTY, FLORIDA



LINE TABLE with columns: LINE, BEARING, DISTANCE. Lists lines L1 through L28 with their respective bearings and distances.

SHEET 2 OF 6 PARCEL 1 TRACT 'MF' SUBJECT PARCEL



SHEET 3 OF 6

SHEET 5 OF 6

SHEET 4 OF 6

LEGAL DESCRIPTION (AS REFERENCED IN EXHIBIT A OF SCHEDULE A OF THAT CERTAIN COMMITMENT FOR TITLE INSURANCE...)

PARCEL 1: 5.17 ACROSS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, DAILY RECORDED AS INSTRUMENT NUMBER 201500002022...

SUBDIVISION: SAID LAND IS FURTHER DESCRIBED AS A TRACT OR PARCEL OF LAND SITUATED IN THE STATE OF FLORIDA, COUNTY OF LEE, LYING IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 45 SOUTH, RANGE 24 EAST...

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 25, THENCE S 67°11'45" E ALONG THE EAST LINE OF SAID TRACTION FOR 300.00 FEET TO AN INTERSECTION WITH A LINE 30.00 FEET SOUTH OF AND PARALLEL WITH (AS MEASURED ON A PERPENDICULAR) THE NORTH LINE OF SAID TRACTION...

PARCEL 2: NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY ACCESS ROAD EASEMENT GRANT DATED NOVEMBER 10, 1957 AND RECORDED MAY 13, 1958 IN OFFICIAL RECORDS BOOK 2555, PAGE 1510...

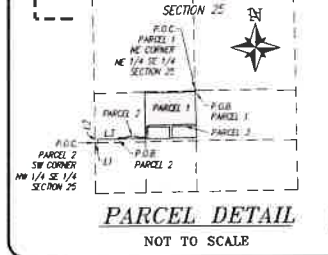
PARCEL 3: NON-EXCLUSIVE EASEMENT FOR ACCESS, INGRESS AND EGRESS UTILITIES, AND SERVICE, AS CREATED BY THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR SIX-MILE CROSSING RECORDED AS INSTRUMENT NO. 201500002023...

CURVE TABLE with columns: CURVE, RADIUS, CHORD, ARC, CHORD BEARING, CHORD BEARING. Lists curves C1 through C22.

- LEGEND: AC INDICATES PILE, AD INDICATES ADJUSTMENT, AF INDICATES AREA, AG INDICATES AREA, AH INDICATES AREA, AI INDICATES AREA, AJ INDICATES AREA, AK INDICATES AREA, AL INDICATES AREA, AM INDICATES AREA, AN INDICATES AREA, AO INDICATES AREA, AP INDICATES AREA, AQ INDICATES AREA, AR INDICATES AREA, AS INDICATES AREA, AT INDICATES AREA, AU INDICATES AREA, AV INDICATES AREA, AW INDICATES AREA, AX INDICATES AREA, AY INDICATES AREA, AZ INDICATES AREA, BA INDICATES AREA, BB INDICATES AREA, BC INDICATES AREA, BD INDICATES AREA, BE INDICATES AREA, BF INDICATES AREA, BG INDICATES AREA, BH INDICATES AREA, BI INDICATES AREA, BJ INDICATES AREA, BK INDICATES AREA, BL INDICATES AREA, BM INDICATES AREA, BN INDICATES AREA, BO INDICATES AREA, BP INDICATES AREA, BQ INDICATES AREA, BR INDICATES AREA, BS INDICATES AREA, BT INDICATES AREA, BU INDICATES AREA, BV INDICATES AREA, BW INDICATES AREA, BX INDICATES AREA, BY INDICATES AREA, BZ INDICATES AREA, CA INDICATES AREA, CB INDICATES AREA, CC INDICATES 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DETAIL "B" (SEE SHEET 6 OF 6)

DETAIL "C" (SEE SHEET 6 OF 6)



EXISTING ZONING DESIGNATION: COMMERCIAL PLANNED DEVELOPMENT "MPD" (PER THE ZONING AND SITE REQUIREMENTS SUMMARY PREPARED BY PDR REPORT, PDR SITE NUMBER 101519-1) DATE: FINAL - 10-28-2017. THIS IS TO VERIFY THAT THE MAP OF PLAT AND THE SURVEY DATA WHICH IT IS BASED HEREON IS IN ACCORDANCE WITH THE 2016 BANKS ENGINEERING DETAIL REQUIREMENTS FOR ALL LOTS AND INCLUDES ITEMS 1, 3, 4, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. DATE OF PLAT OF MAP: NOVEMBER 14, 2017.

PER LEE COUNTY DEVELOPMENT CODE SECTION 34-1174 (LOCATION AND SETBACKS GENERALLY) (D) (2). RESIDENTIAL ACCESSORY BUILDINGS AND STRUCTURES EXIST AS SHOWN IN SECTIONS 34-1175 AND 34-1176. ALL ACCESSORY BUILDINGS AND STRUCTURES MUST BE SET BACK A MINIMUM OF TEN FEET FROM ANY REAR PROPERTY LINE AND MAY NOT BE LOCATED ON A SIDE PROPERTY LINE UNLESS THE REAR PROPERTY IS LOCATED ON TEN FEET, WIDENESS IS LESS THAN TEN FEET, OR THE REAR PROPERTY IS LOCATED ON TEN FEET, WIDENESS IS LESS THAN TEN FEET, OR THE REAR PROPERTY IS LOCATED ON TEN FEET, WIDENESS IS LESS THAN TEN FEET.

PARKING TABULATION: REGULAR PARKING SPACES: 455, DISABLED PARKING SPACES: 22, ENCLOSED PARKING SPACES (ATTACHED): 32, ENCLOSED PARKING SPACES (DETACHED): 48, CONCRETE DRIVEWAYS: 48, MAINTENANCE BUILDING/INDUSTRIAL GARAGE: 2. TOTAL PARKING SPACES: 646.

ACREAGE SUMMARY: PARCEL 1 CONTAINS: 26.276 ACRES, MORE OR LESS (SUBJECT PARCEL); PARCEL 2 CONTAINS: 0.242 ACRES, MORE OR LESS; PARCEL 3 CONTAINS: 0.582 ACRES, MORE OR LESS; CUMULATIVE: 27.100 ACRES, MORE OR LESS.

REVISIONS: 1. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 2. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 3. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 4. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 5. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 6. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 7. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 8. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 9. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT; 10. 11-18-2017, REVISED PER LEGAL COUNSEL COMMENT.

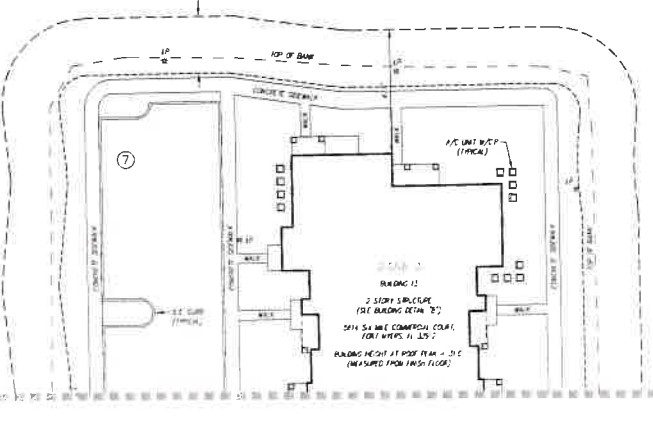
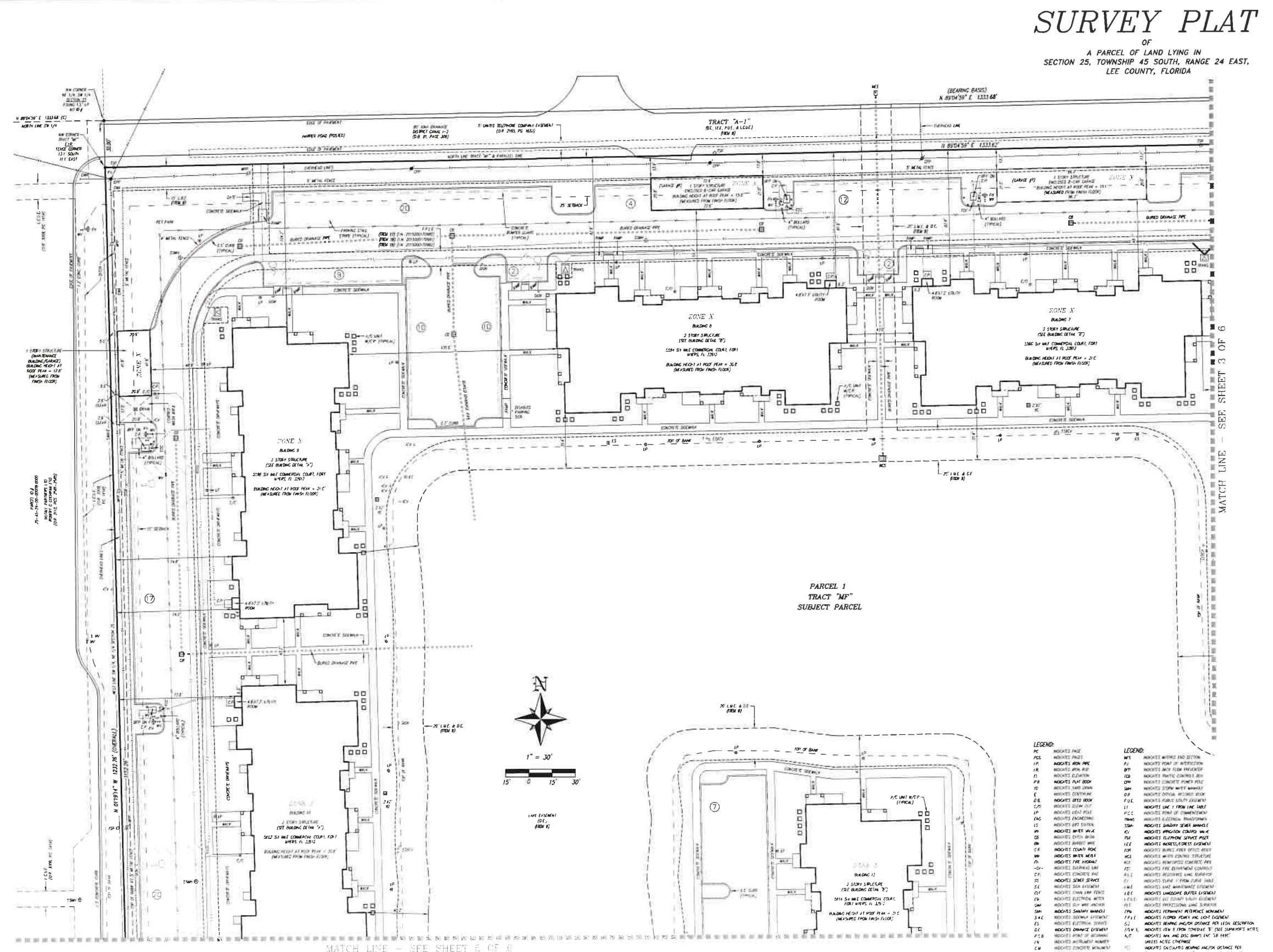
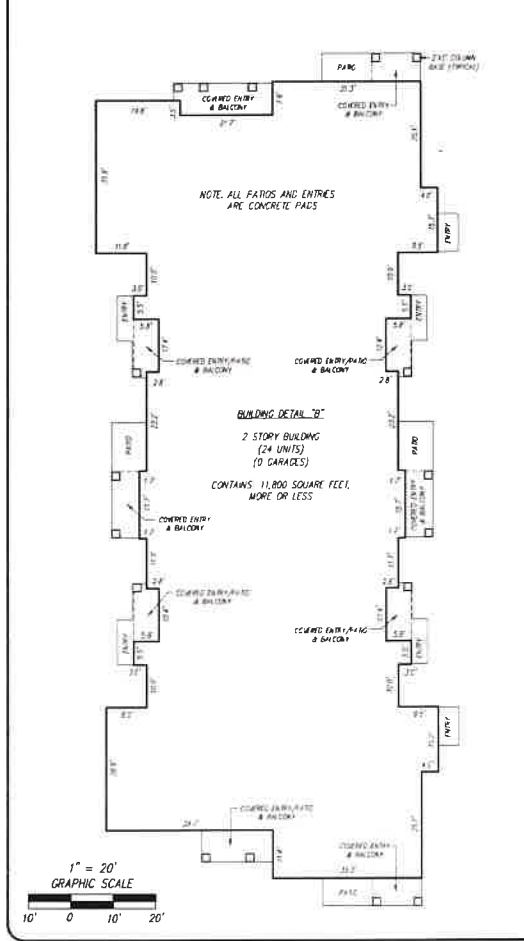
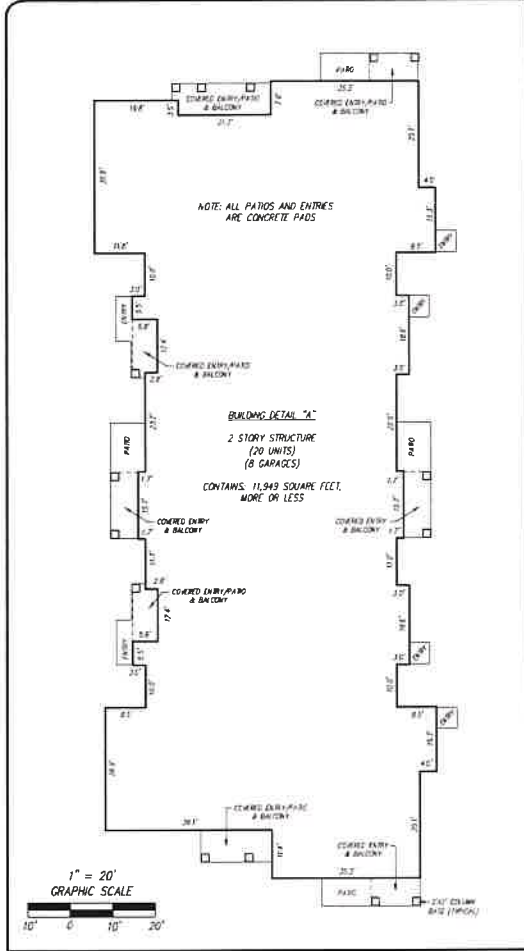
BANKS ENGINEERING logo and contact information. Includes address: 10511 SIX MILE CYPRESS PARKWAY, FORT WORTH, TEXAS 76126. Phone: (817) 520-5490. Fax: (817) 520-5253. Website: www.bankseng.com. License: ENGINEERING LICENSE # EB 8469, SURVEY LICENSE # LB 9690.

ALTA/NSPS LAND TITLE SURVEY TRACT "MF" AT SIX MILE CROSSING LEE COUNTY, FLORIDA. Includes project details: DATE: 10-19-2017, PROJECT: 2572ALTA, DRAWING: ALTA MF 28, DESIGN: AMY, CHECKED: RMR, SCALE: 1"=80', SHEET: 1 OF 6, FILE NO.: 15-17-17.

Spring @ Six Mile

# SURVEY PLAT

OF  
A PARCEL OF LAND LYING IN  
SECTION 25, TOWNSHIP 45 SOUTH, RANGE 24 EAST,  
LEE COUNTY, FLORIDA



- LEGEND:**
- PC INDICATES FACE
  - PCL INDICATES FACE
  - PF INDICATES FACE
  - PR INDICATES FACE
  - PL INDICATES FACE
  - PP INDICATES FACE
  - PT INDICATES FACE
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  - PY INDICATES FACE
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  - Q1 INDICATES FACE
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SEE SHEET 1 OF 6 FOR OVERALL BOUNDARY GEOMETRY, LEGAL DESCRIPTION, AND SURVEYOR'S NOTES

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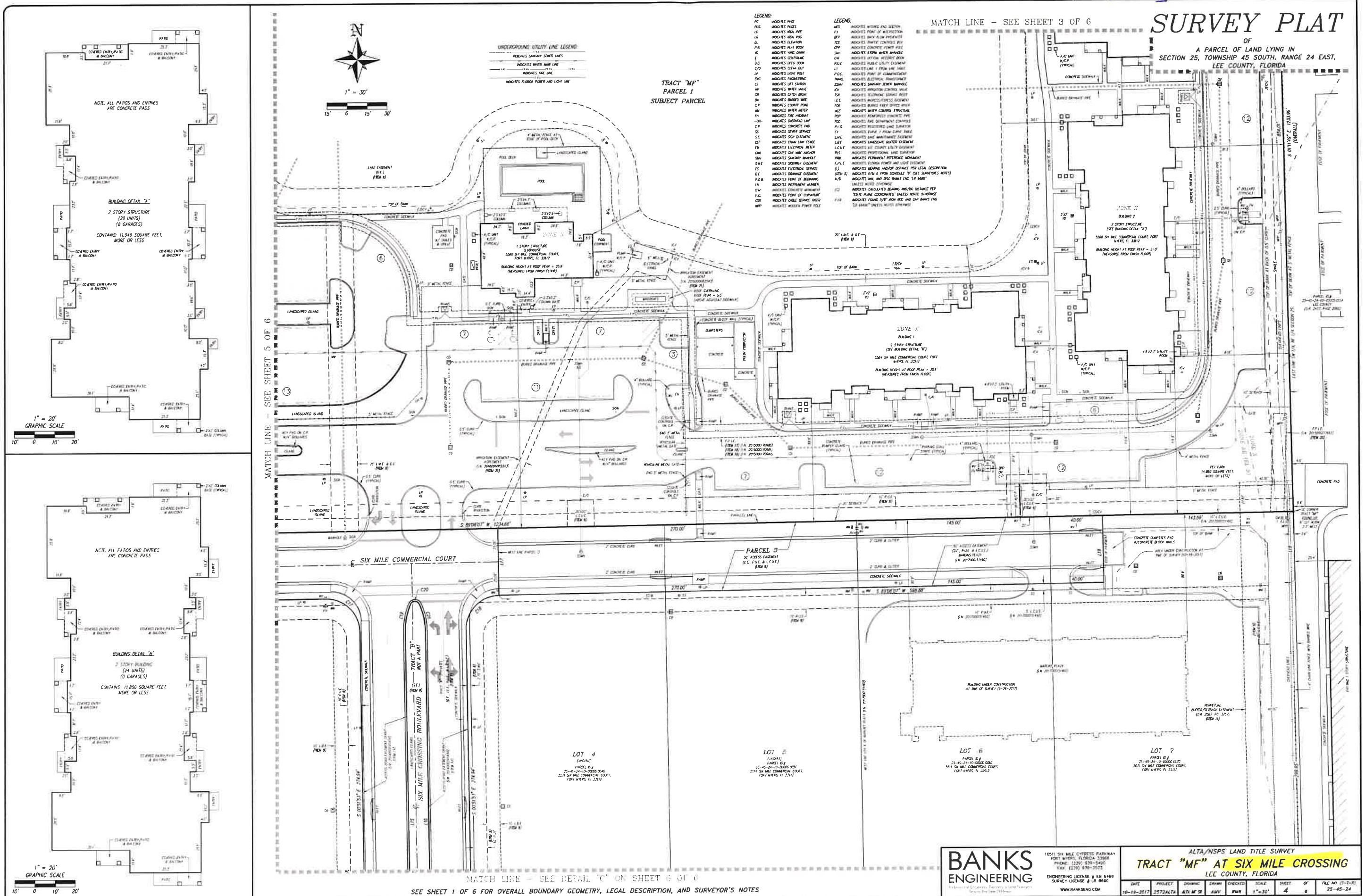
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SURVEY LICENSE # LB 6880

ALTA/NSPS LAND TITLE SURVEY  
**TRACT "MF" AT SIX MILE CROSSING**  
LEE COUNTY, FLORIDA

DATE	PROJECT	DRAWING	DRW	DATE	SCALE	SHEET	OF	FILE NO. (T-F-N)
10-18-2017	2572ALTA	ALTA MF 38	AMY	RWR	1"=30'	2	6	25-45-24



Springs @ Six Mile



# SURVEY PLAT

A PARCEL OF LAND LYING IN SECTION 25, TOWNSHIP 45 SOUTH, RANGE 24 EAST, LEE COUNTY, FLORIDA

TRACT "MF" PARCEL 1 SUBJECT PARCEL

MATCH LINE - SEE SHEET 3 OF 6

- LEGEND:**
- PC WOODS PAVE
  - PCS WOODS PAVE
  - LP WOODS PAVE
  - LE WOODS PAVE
  - DL WOODS PAVE
  - PA WOODS PAVE
  - PD WOODS PAVE
  - PP WOODS PAVE
  - PL WOODS PAVE
  - PT WOODS PAVE
  - PU WOODS PAVE
  - PV WOODS PAVE
  - PLS WOODS PAVE
  - PLD WOODS PAVE
  - PLU WOODS PAVE
  - PLV WOODS PAVE
  - PLW WOODS PAVE
  - PLX WOODS PAVE
  - PLY WOODS PAVE
  - PLZ WOODS PAVE
  - PLAA WOODS PAVE
  - PLAB WOODS PAVE
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  - PLAD WOODS PAVE
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  - PLAV WOODS PAVE
  - PLAW WOODS PAVE
  - PLAX WOODS PAVE
  - PLAY WOODS PAVE
  - PLAZ WOODS PAVE

MATCH LINE - SEE SHEET 5 OF 6

MATCH LINE - SEE DETAIL "C" ON SHEET 6 OF 6

SEE SHEET 1 OF 6 FOR OVERALL BOUNDARY GEOMETRY, LEGAL DESCRIPTION, AND SURVEYOR'S NOTES

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 SURVEY LICENSE # LB 6660  
 WWW.BANKSENG.COM

ALTA/NSPS LAND TITLE SURVEY  
**TRACT "MF" AT SIX MILE CROSSING**  
 LEE COUNTY, FLORIDA

DATE	PROJECT	DRAWING	DRAWN	CHECKED	SCALE	SHEET	OF	FILE NO. (S-T-R)
10-18-2017	2572ALTA	ALTA MF 28	AMY	RWR	1"=30'	4	6	25-45-24

1" = 20' GRAPHIC SCALE

1" = 20' GRAPHIC SCALE

NOTE: ALL PAVES AND ENTRIES ARE CONCRETE PAVES

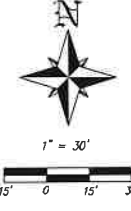
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**BUILDING DETAIL "A"**  
 2 STORY STRUCTURE  
 (8 UNITS)  
 CONTAINS 11,945 SQUARE FEET,  
 MORE OR LESS

**BUILDING DETAIL "B"**  
 2 STORY BUILDING  
 (24 UNITS)  
 CONTAINS 11,800 SQUARE FEET,  
 MORE OR LESS

**BUILDING DETAIL "C"**  
 2 STORY BUILDING  
 (24 UNITS)  
 CONTAINS 11,800 SQUARE FEET,  
 MORE OR LESS



**UNDERGROUND UTILITY LINE LEGEND:**

- INDICATES SHARED UTILITY LINES
- INDICATES WATER MAIN LINE
- INDICATES FIBER LINE
- INDICATES FIBER, FIBER AND LIGHT LINE

TRACT "MF" PARCEL 1 SUBJECT PARCEL

MATCH LINE - SEE SHEET 3 OF 6

MATCH LINE - SEE SHEET 5 OF 6

MATCH LINE - SEE DETAIL "C" ON SHEET 6 OF 6

SEE SHEET 1 OF 6 FOR OVERALL BOUNDARY GEOMETRY, LEGAL DESCRIPTION, AND SURVEYOR'S NOTES

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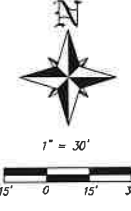
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TRACT "MF" PARCEL 1 SUBJECT PARCEL

MATCH LINE - SEE SHEET 3 OF 6

MATCH LINE - SEE SHEET 5 OF 6

MATCH LINE - SEE DETAIL "C" ON SHEET 6 OF 6

SEE SHEET 1 OF 6 FOR OVERALL BOUNDARY GEOMETRY, LEGAL DESCRIPTION, AND SURVEYOR'S NOTES

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10-18-2017	2572ALTA	ALTA MF 28	AMY	RWR	1"=30'	4	6	25-45-24



Longitude 81

**GENERAL NOTES:**

- THE SITE CAN BE SAFELY USED FOR BUILDING PURPOSES WITHOUT LIKELY DANGER FROM FLOODS OR ADVERSE SOIL OR FOUNDATION CONDITIONS SUBJECT TO SUBSURFACE SOIL EXPLORATION AND DESIGN OF EACH STRUCTURE BY AN ARCHITECT OR GEOTECHNICAL ENGINEER
- THERE ARE NO POTENTIAL IMPACTS TO GROUND AND SURFACE WATERS, WETLANDS OR FLOOD PLAINS/RIVERINE AREAS ANTICIPATED DUE TO CONSTRUCTION OF THIS PROJECT
- A VEGETATION REMOVAL PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO PERMIT ISSUANCE
- A DECORATIVE PERIMETER FENCE MAY BE INSTALLED AT THE OPTION OF THE DEVELOPER. ALL REQUIRED LANDSCAPING MUST BE ON THE SIDE OF THE FENCE ADJACENT TO THE PARCEL BOUNDARY
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED
- WHEEL STOPS SHALL BE UTILIZED AT ALL PARKING SPACES BORDERED BY A SIDEWALK. USE OF WHEEL STOPS IN OTHER LOCATIONS IS OPTIONAL
- VEHICULAR ENTRY GATES SHALL INCLUDE EVAC SYSTEM FOR FIRE DEPARTMENT ACCESS
- THE CONTRACTOR SHALL ATTAIN A MINIMUM OF 85% OF THE MAXIMUM DRY DENSITY (MODIFIED PROCTOR) FOR EMBANKMENTS THAT WILL SUPPORT STRUCTURES, AND 90% OF MAXIMUM DRY DENSITY (MODIFIED PROCTOR) FOR OTHER EMBANKMENTS IN ACCORDANCE WITH ASTM D1557

**UNIT COUNT SUMMARY:**

	PROPOSED	PREVIOUS ERP	TOTAL
24 UNIT APARTMENT BUILDING	24 UNITS x 10 BUILDINGS		240
20 UNIT APARTMENT BUILDING	20 UNITS x 1 BUILDING		20
<b>TOTAL UNITS</b>			<b>260</b>

**LAND USE BREAKDOWN:**

	PROPOSED	PREVIOUS ERP
BUILDINGS	3.53 AC	1.30 AC
SIDEWALK	3.34 AC	
PAVEMENT	4.70 AC	6.70 AC
LAKE	2.00 AC	2.00 AC
PERVIOUS AREA	4.35 AC	5.00 AC
<b>TOTAL</b>	<b>17.95 AC</b>	<b>18.00 AC</b>

**APARTMENT BUILDINGS AND AMENITY CENTER:**  
A 30 YARD TRASH COMPACTOR IS PROPOSED TO SERVE THE ENTIRE DEVELOPMENT

**MULTI-FAMILY PARKING CALCULATIONS:**

**PARKING REQUIREMENTS:**

200 MULTI-FAMILY UNITS AT 3 SPACES/UNIT	570 SPACES
GUEST PARKING AT 10% OF MULTI-FAMILY PARKING REQUIREMENT	57 SPACES
<b>AMENITY CENTER PARKING:</b>	
OFFICE	725 S.F.
INDOOR RECREATION	610 S.F.
OFFICE	1555 S.F.
<b>TOTAL</b>	<b>3900 S.F.</b>
<b>PARKING REQUIRED</b>	<b>1027 SPACES</b>
<b>TOTAL PARKING SPACES REQUIRED</b>	<b>583 SPACES</b>

**PARKING PROVIDED:**

200 MULTI-FAMILY UNITS AT 3 SPACES/UNIT	570 SPACES
SURFACE PARKING LOTS THROUGHOUT THE PROJECT	552 SPACES
GARAGE PARKING WITHIN RESIDENTIAL BUILDINGS	8 SPACES
GARAGE PARKING WITHIN SEPARATE GARAGE STRUCTURES - 3 @ 8 SPACES EACH	24 SPACES
HANDICAP GARAGE PARKING WITHIN SEPARATE GARAGE STRUCTURES	1 SPACES
<b>TOTAL PARKING SPACES PROVIDED</b>	<b>585 SPACES</b>

**NOTE:** OPTIONAL COVERED CARPORTS MAY BE UTILIZED AT THE DISCRETION OF THE DEVELOPER. QUANTITY AND LOCATION MAY VARY

**NOTE:** 12 HANDICAP ACCESSIBLE PARKING SPACES ARE REQUIRED. 22 ARE SHOWN. LOCATION OF THE 22 HANDICAP ACCESSIBLE PARKING SPACES THROUGHOUT RESIDENTIAL SURFACE PARKING AREA MAY BE MODIFIED AS NECESSARY TO PROVIDE CLOSE PROXIMITY TO A D.A. ACCESSIBLE UNITS AT THE DISCRETION OF THE DEVELOPER. SPACES PROVIDED IN EXCESS OF THAT REQUIRED MAY BE DELETED AT THE DISCRETION OF THE DEVELOPER.

**OPEN SPACE TRACKING TABLE:**

MCP AREA	OPEN SPACE REQUIRED (AC)	PREVIOUSLY PROVIDED (AC)	PROVIDED (AC) THIS SUBMITTAL	OVERALL PROVIDED (AC)
1	5.6	0.00	0.00	0.00
2	45.9	0.00	0.21	0.21
<b>TOTAL</b>	<b>51.5</b>	<b>0.00</b>	<b>0.21</b>	<b>0.21</b>

**OPEN SPACE PROVIDED = 6.91 AC (INCLUDING 2.0 ACRES OF LAKE)**

**1. FOR AREA #2 OPEN SPACE REQUIRED IS 20% OVERALL BUT OUTFALLS MAY PROVIDE A MINIMUM OF 10% REFUSE AND SOLID WASTE DISPOSAL FACILITIES:**

- A MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED.
- ALL STORAGE AREAS / CONTAINERS SHALL BE ADEQUATELY SHIELDED BY LANDSCAPED SCREEN OR FENCING ALONG AT LEAST THREE SIDES
- ALL STORAGE AREAS / CONTAINERS SHALL MEET LEE CO. LAND DEVELOPMENT CODE SEC. 10.261
- THE CONFIGURATION AND LOCATION OF DUMPSTER / RECYCLING AREAS MAY BE MODIFIED DURING CONSTRUCTION AS LONG AS THE ABOVE REQUIREMENTS AND PHASES BELOW ARE MAINTAINED

**PROJECT PHASING PLAN:**

THE PROJECT INFRASTRUCTURE SHALL BE CONSTRUCTED IN PHASES AS INDICATED BELOW. EACH INDIVIDUAL BUILDING (INCLUDING LANDSCAPING AND SIDEWALKS) WILL BE CONSIDERED A SEPARATE PHASE FOR PURPOSES OF PROVIDING AN ENGINEER'S CERTIFICATE OF SUBSTANTIAL COMPLETION AND THE CORRESPONDING LEE COUNTY CERTIFICATE OF COMPLETION AND BUILDING CERTIFICATE OF OCCUPANCY

THE FOLLOWING SPECIFIC NOTES APPLY TO THE INDICATED PHASES:

**PHASE 1:** SITE CLEARING AND GRUBBING, CONSTRUCTION ENTRANCE LAKE EXCAVATION, ROUGH FILL, DRAINAGE CUTFALL OFF SITE DRAINAGE CONNECTION TO SOUTH PERIMETER SIDEWALK, FENCE AND SWALE, LAKE PLANTINGS AND BUFFERS

**PHASE 2:** AMENITY CENTER BUILDINGS 1-4, GARAGE NO. 1, DUMPSTER AND RECYCLING AREA, MAIL KIOSK, ASSOCIATED DRAINAGE, UTILITIES, SIGNAGE, PAVEMENT AND LANDSCAPING. SEE LANDSCAPE PLAN FOR ADDITIONAL PHASING DETAILS. INCLUDES LIFT STATION AND STABILIZED ACCESS OVER SANITARY SEWER FOR UNDEVELOPED AREAS

**PHASE 3:** BUILDINGS 5-6, GARAGE NO. 2, PET PARK, CAR WASH AND MAINTENANCE BUILDING, ASSOCIATED DRAINAGE, UTILITIES, SIGNAGE, PAVEMENT AND LANDSCAPING. SEE LANDSCAPE PLAN FOR ADDITIONAL PHASING DETAILS

**PHASE 4:** BUILDINGS 7-11, GARAGE NO. 3, ASSOCIATED DRAINAGE, UTILITIES, SIGNAGE, PAVEMENT AND LANDSCAPING. SEE LANDSCAPE PLAN FOR ADDITIONAL PHASING DETAILS

**LAND USE REGULATIONS:**

**MINIMUM AREA TABLE:**

TRACT	MCP AREA	MINIMUM AREA (SF)	REQUIRED	PROVIDED
2	AMENITY (NON-RESIDENTIAL)		10,000	4,476
	RESIDENTIAL		2,800	134,054

**CUMULATIVE LAND DEVELOPMENT SUMMARY TABLE:**

DENSITY / INTENSITY	ZONING APPROVED	PREVIOUS D.D. APPROVED	PROPOSED	REMAINING
RESIDENTIAL UNITS *	1300 UNITS	0	260 UNITS	1040 UNITS
OFFICE **	150,000 S.F.	0	0	150,000 S.F.
RETAIL	99,344 S.F.	0	0	99,344 S.F.
HOTEL	200 UNITS	0	0	200 UNITS

\* UP TO 555 SINGLE FAMILY, 600 DUPLEX, 800 TWO-FAMILY, 1300 TOWNHOUSE, 555 ZERO LOT LINE AND SUBJECT TO CONDITION 16 FORMULA PER 2-10-21  
\*\* MAXIMUM 50,000 S.F. MAY BE MEDICAL

**MINIMUM DIMENSION TABLE:**

TRACT	MCP AREA	MINIMUM WIDTH (FT)		MINIMUM DEPTH (FT)	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
2	AREA #2 (NON-RESIDENTIAL)	100	N/A	100	N/A
	RESIDENTIAL	35 (SF); 100 (MF)	597	100	1,305

**MINIMUM SETBACK TABLE:**

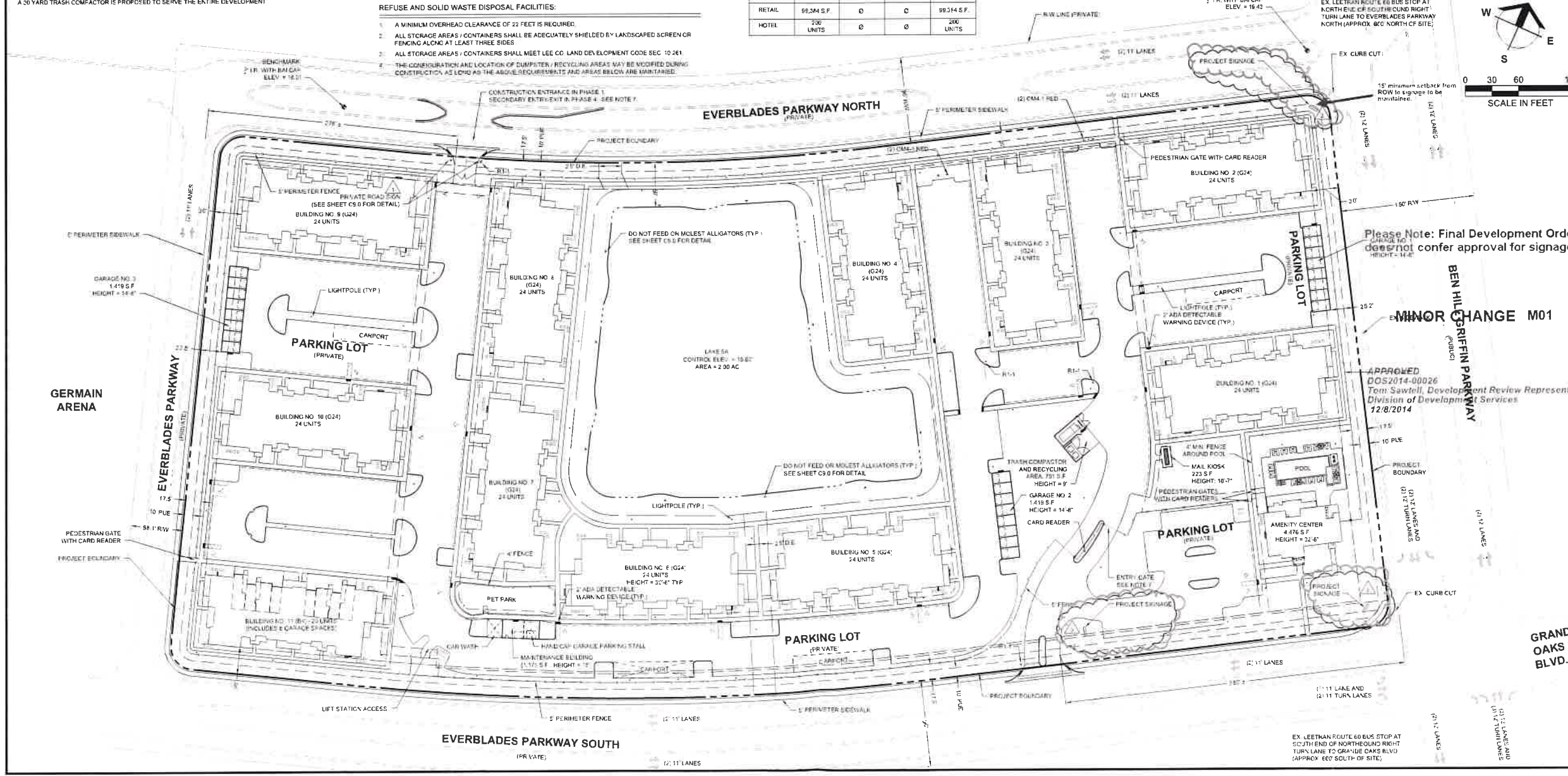
TRACT	MCP AREA	STREET (PRIVATE R.O.W.)		STREET (PUBLIC R.O.W.)		SIDE	REAR	WATER BODY
		REQUIRED	PROVIDED	REQUIRED	PROVIDED			
2	AREA #2	20'	22.5'	25'	25.2'	15'	N/A	25'

**MAXIMUM HEIGHT TABLE:**

TRACT	USE	HEIGHT (FT)	
		MAXIMUM	PROVIDED
2	MIXED USE	65' / 95' *	N/A
	COMMERCIAL	45	N/A
	RESIDENTIAL	65	30'-6"

**MAXIMUM LOT COVERAGE TABLE:**

TRACT	MCP AREA	PERCENTAGE OF COVERAGE	
		MAXIMUM	PROVIDED
2	AREA #2	40%	34%



**Barraco Band Associates, Inc.**  
CIVIL ENGINEERING - LAND SURVEYING  
LAND PLANNING - LANDSCAPE DESIGN  
www.barraco.net  
2271 MCGREGOR BLVD, SUITE 100  
FORT MYERS, FLORIDA 33902-2800  
PHONE (239) 461-3170  
FAX (239) 461-3169  
FLORIDA CERTIFICATES OF AUTHORIZATION  
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR  
**Continental 305 FUND LLC**  
W134 N8675 EXECUTIVE PARKWAY  
MEMONEE FALLS, WI 53052  
PHONE (262) 502-5500  
FAX (262) 502-5522  
WWW.CPROPERTIES.COM

PROJECT DESCRIPTION  
**SPRINGS AT ESTERO APARTMENTS**  
PART OF SECTION 26  
TOWNSHIP 46 SOUTH, RANGE 25 EAST  
LEE COUNTY, FLORIDA  
ENGINEER OF RECORD  
TIMOTHY B. GAVIN, P.E. FOR THE FIRM  
FLORIDA P.E. NO. 70675 - TIMC@BARRACO.NET

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FILE NAME: 23229A10.DWG  
LOCATION: J523229DWG.DOC  
PLOT DATE: THU 11-6-2014 - 3:46 PM  
PLOT BY: JOHN LEDART  
CROSS REFERENCED DRAWINGS  
EXISTING = 23229AD0E.DWG  
PROFILE = 23229AD0F.DWG  
SECTIONS = 23229AD05.DWG

PLAN REVISIONS  
1. ADD PROJECT SIGNAGE 11-06-2014

PLAN STATUS  
MINOR CHANGE SUBMITTAL  
DATE 11-06-2014

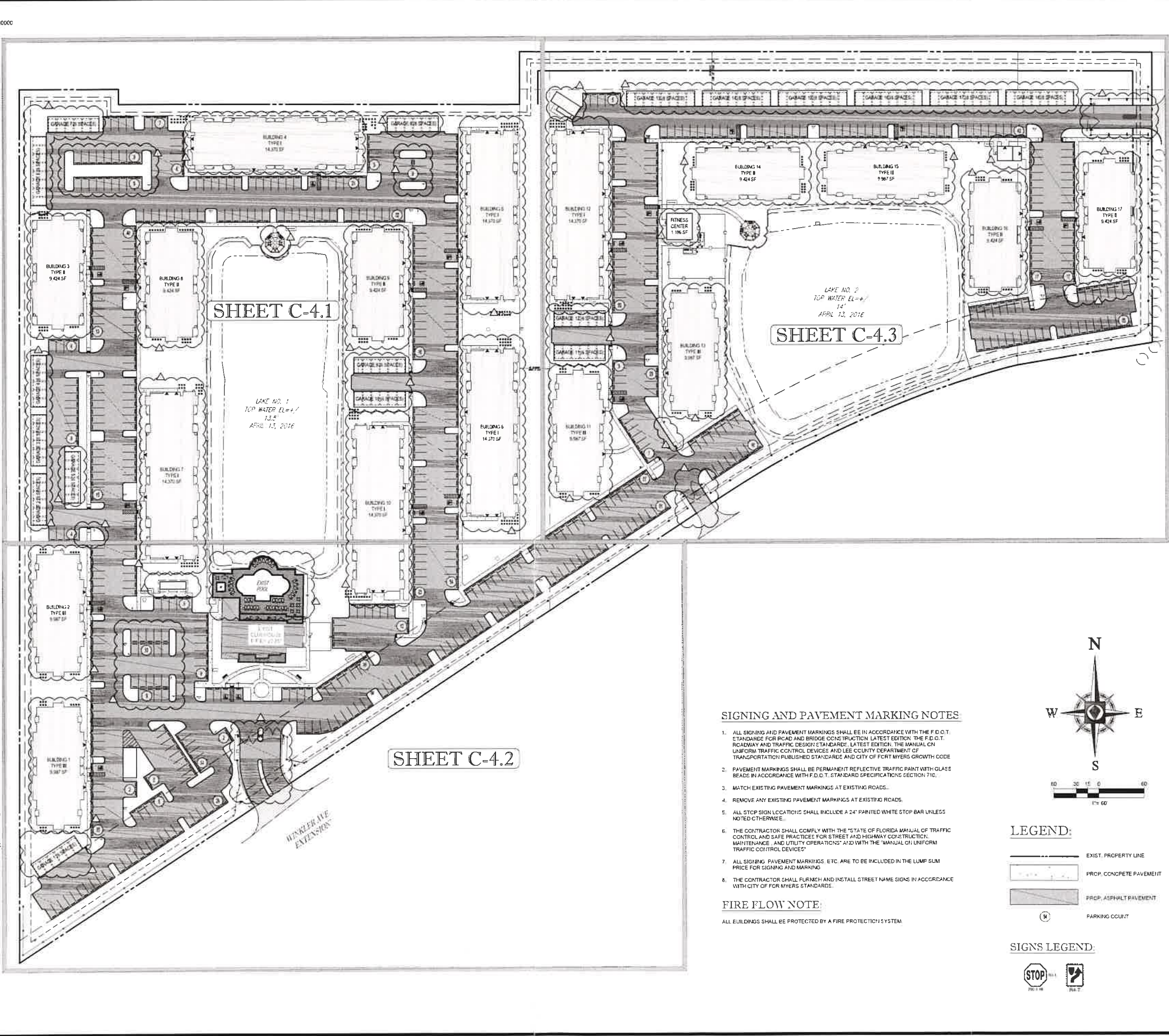
MASTER SITE LAYOUT,  
SIGNING, AND  
PHASING PLAN

PNO. / ECT. / FILE NO. / SHEET NUMBER  
**23229 / C2.0**

**SITE DATA:**

PARCEL FQID NO.:	22-44-25-P2-00063.0020 32-44-35-P2-00064.0000
SITE ADDRESS:	4251 WINKLER AVE. FT MYERS, FL 33916
JURISDICTION:	CITY OF FT MYERS
PROPOSED USE:	MULTIFAMILY RESIDENTIAL
TOTAL SITE AREA:	1 021 046 S.F. (23.44 ACRES)
EXISTING SITE:	
EXISTING BUILDING AREA:	4 500 S.F. (0.10 AC)
EXISTING VUA:	176 416 S.F. (4.05 AC)
EXISTING OPEN WATER (60%):	102 802 S.F. (2.36 AC)
EXISTING TOTAL IMPERVIOUS AREA:	283 720 S.F. (6.51 AC)
EXISTING GREEN SPACE:	711 626 S.F. (16.34 AC)
EXISTING OPEN WATER (20%):	25 700 S.F. (0.59 AC)
EXISTING TOTAL OPEN SPACE:	737 327 S.F. (16.93 AC)
PROPOSED SITE:	
PROPOSED BUILDING AREA:	198 395 S.F. (4.55 AC)
PROPOSED GARAGE AREA:	28 868 S.F. (0.66 AC)
PROPOSED VUA:	291 727 S.F. (6.70 AC)
PROPOSED OPEN WATER (60%):	102 802 S.F. (2.36 AC)
PROPOSED TOTAL IMPERVIOUS AREA:	611 792 S.F. (14.27 AC) (61%)
PROPOSED GREEN SPACE:	373 554 S.F. (8.58 AC)
PROPOSED OPEN WATER (20%):	25 700 S.F. (0.59 AC)
PROPOSED TOTAL OPEN SPACE:	399 255 S.F. (9.17 AC)
MAX ALLOWABLE IMPERVIOUS AREA(%) 65%:	
MAX ALLOWABLE DENSITY:	25 UNITS/AC
MAX ALLOWABLE UNITS:	586 UNITS
PROPOSED UNITS:	436 UNITS
HYDRANT CLEAR SPACE REQ.:	
FRONTSIDE:	7.5 FT
REAR:	4 FT
REQUIRED PARKING SPACES:	814
REAR:	= 1.5 SPACES X 1 BEDROOM UNITS + 2.0 SPACES X 2+ BEDROOM UNITS + 1.0 GUEST SPACE PER 15 UNITS + 1.0 SPACES PER 300 SF CLUBHOUSE
PROVIDED STANDARD SPACES:	673
PROVIDED GARAGE SPACES:	122
PROVIDED ADA SPACES:	19 (MIN 2% OF PROVIDED SPACES)
PROVIDED TOTAL SPACES:	814
REQUIRED BICYCLE PARKING:	1 PER 15 PARKING STALLS, MAX 50
PROVIDED BICYCLE PARKING:	51
TYPICAL PARKING STALL SIZE:	10 FT X 18 FT
ADA STALL SIZE:	12 FT X 18 FT
EXISTING ZONING:	CG (GENERAL COMMERCIAL)
ADJACENT ZONING:	
NORTH:	PUD (PLANNED UNIT DEVELOPMENT)
EAST:	CG (GENERAL COMMERCIAL)
SOUTH:	CG (GENERAL COMMERCIAL)
WEST:	CG (GENERAL COMMERCIAL)
WEST:	RS-6 (SINGLE FAMILY - 6)
FUTURE LAND USE:	CG (GENERAL COMMERCIAL)
BUILDING SETBACK REQUIREMENTS:	
REAR:	10 FT
SIDE (STREET):	20 FT
FRONT (WINKLER AVE.):	80 FT
SIDE (INTERIOR):	7 FT
LANDSCAPE BUFFER REQUIREMENTS:	
NORTH:	TYPE 'B' 15 FT
EAST:	TYPE 'B' 15 FT
SOUTH:	TYPE 'B' 15 FT
WEST:	TYPE 'B' 15 FT
MAXIMUM ALLOWABLE FAR:	0.45
PROPOSED FAR:	0.19
MAXIMUM BUILDING HEIGHT:	70 FT OR 5 STORIES
PROPOSED BUILDING HEIGHT:	43' - 4 9/16" 3 STORIES

- SITE NOTES:**
- ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB UNLESS OTHERWISE NOTED. BVC INDICATES DIMENSION IS TO BACK OF CURB.
  - ALL RADI DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED AND ALL LANDSCAPE ISLANDS ARE 9' WIDE (FACE OF CURB TO FACE OF CURB) UNLESS OTHERWISE INDICATED ON THE PLAN.
  - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND CITY OF FORT MYERS LAND DEVELOPMENT CODE.
  - THE PROPERTY SHOWN HEREON APPEARS TO FALL WITHIN FLOOD ZONE "X" AND "AE" (BASE FLOOD ELEVATION: 17' NAVD); AS SHOWN ON THE FLOOD INSURANCE RATE MAP 12071C 0427; MAP REVISED 06-26-2006; NATIONAL FLOOD INSURANCE PROGRAM FEDERAL EMERGENCY MANAGEMENT AGENCY.
  - FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
  - A RIGHT OF WAY PERMIT WILL BE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY. SPECIFIC STIPULATIONS OR CONDITIONS WILL BE IMPOSED AT THE TIME OF PERMIT APPLICATION.
  - CONSTRUCTION PLAN APPROVAL DOES NOT EXEMPT THE CONTRACTOR FROM OBTAINING THE REQUIRED BUILDING, ELECTRICAL, PLUMBING AND MECHANICAL PERMITS. THESE INCLUDE BUT ARE NOT LIMITED TO ANY STRUCTURE, SIGN, WALL, ENCLOSURE OR SCREENING, ETC.
  - IN THE EVENT THE PROJECT IS TERMINATED PRIOR TO CONSTRUCTION COMPLETION, THE PROJECT SHALL BE BROUGHT TO GRADE, SEEDED AND ALL DEBRIS AND MATERIALS SHALL BE HAULED OFF-SITE AND DUMPED AT A STATE OF FLORIDA APPROVED FACILITY.
  - ANY DAMAGED SIDEWALK OR CURB WITHIN THE FDOT R.O.W. SHALL BE REMOVED AND REPLACED.
  - ALL DISTURBED AREAS WITHIN THE FDOT R.O.W. WILL BE SOODED.
  - STANDARD INDICES REFER TO THE LATEST VERSION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS"
  - ALL CURB RAMPS TO COMPLY WITH CITY OF FORT MYERS DETAIL T-23
- ADA ACCESSIBILITY NOTES:**
- ALL HANDICAPPED PARKING SPACES AND ACCESSIBLE ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
  - AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
  - SLOPES EXCEEDING 5% BUT LESS THAN 1:12 WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDING), TO RAMP SHALL EXCEED AN 8.3% RUNNING SLOPE OR 2% CROSS SLOPE.
  - IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
  - IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
  - ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON-COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

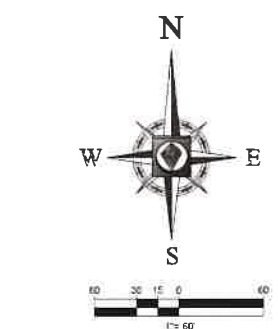


**SIGNING AND PAVEMENT MARKING NOTES**

- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION, THE MANUAL ON ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE COUNTY DEPARTMENT OF TRANSPORTATION PUBLISHED STANDARDS AND CITY OF FORT MYERS GROWTH CODE.
- PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT WITH GLASS BEADS IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS SECTION 710.
- MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
- REMOVE ANY EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
- ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COMPLY WITH THE "STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" AND WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES"
- ALL SIGNING, PAVEMENT MARKINGS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.
- THE CONTRACTOR SHALL FURNISH AND INSTALL STREET NAME SIGNS IN ACCORDANCE WITH CITY OF FORT MYERS STANDARDS.

**FIRE FLOW NOTE:**

ALL BUILDINGS SHALL BE PROTECTED BY A FIRE PROTECTION SYSTEM.



**LEGEND:**

- EXIST. PROPERTY LINE
- PROP. CONCRETE PAVEMENT
- PROP. ASPHALT PAVEMENT
- PARKING CURB/IT

**SIGNS LEGEND:**



**BOHLER ENGINEERING**

5111 CHAMBERS AVENUE, SUITE 100, TAMPA, FL 33611  
 407.834.1111  
 WWW.BOHLERENGINEERING.COM

LAND SURVEYING, PROFESSIONAL ENGINEERING, ENVIRONMENTAL ENGINEERING, CIVIL ENGINEERING, ELECTRICAL ENGINEERING, MECHANICAL ENGINEERING, PLUMBING ENGINEERING, PAVING ENGINEERING, CONSTRUCTION MANAGEMENT, PROJECT MANAGEMENT, TRAFFIC ENGINEERING, UTILITY ENGINEERING, ASBESTOS ABATEMENT, REMEDIATION, HISTORIC PRESERVATION, ARCHITECTURAL DESIGN, INTERIOR DESIGN, EXTERIOR DESIGN, SITE DESIGN, LANDSCAPE ARCHITECTURE, PLANNING, DESIGN, CONSTRUCTION, AND OPERATION OF TRANSPORTATION PROJECTS.

**REVISIONS**

REV	DATE	COMMENT	BY
1	06/16/16	REV TO PREVIOUSLY SUBMITTED SITE PLAN	THS
2	06/25/16	REVISED UTILITIES PER CITY COMMENTS	RP
3	10/11/16	REV PER CITY COMMENTS	THS

**811** KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

www.callsunshine.com

**PERMIT SET**

PROJECT No.: 180043  
 DRAWN BY: THS  
 CHECKED BY: GRR  
 DATE: 5/27/2016  
 SCALE: 1" = 30'  
 CADDED: JRS

**SITE DEVELOPMENT PLANS FOR VENETIAN**

LOCATION OF SITE  
 4251 WINKLER AVENUE  
 FORT MYERS, FL 33916

**BOHLER ENGINEERING**

3620 NORTDALE BLVD., SUITE 300B  
 TAMPA, FLORIDA 33624  
 Phone: (813) 812-4100  
 Fax: (813) 812-4101  
 FLORIDA BUSINESS CERT. OF AUTH. NO. 30769



**OVERALL SITE PLAN LAYOUT**

SHEET NUMBER  
**C-4**

**LAND DEVELOPMENT CODE SECTION  
34-2020**

**Sec. 34-2020. - Required parking spaces.**

All uses are required to provide off-street parking based on the single-use development requirement unless the use is located in a development that qualifies as a multiple-use development, in which case, the minimum required spaces for multiple-use developments may be used. Use of the multiple-use development minimum parking regulations is optional.

Parking for uses not specifically mentioned in this section must meet the minimum parking requirement for the use most similar to that being requested.

(a) *Residential uses.* Residential uses permitted under this chapter are subject to the following minimum requirements:

**TABLE 34-2020(a). REQUIRED PARKING SPACES FOR RESIDENTIAL USES**

Use	Special Notes or Regulations	Minimum Required Spaces for Single-Use Development	Minimum Required Spaces for Multiple-Use Development
1. Single-family, duplex, two-family attached and mobile home units		2 spaces per unit	—
2. Townhouses	Note (1)	2 spaces per unit	—
3. Multiple-family and timeshare units	Notes (1) & (3)	2 spaces per unit	—
4. Assisted living facilities	Note (2), <del>34-1414(c)</del> et seq. & <del>34-1494</del> et seq.	0.54 spaces per unit	0.41 spaces per unit
5. Continuing care facilities	Note (2), <del>34-1414(c)</del> et seq. & <del>34-1494</del> et seq.	1.12 spaces per unit	1 space per unit
6. Independent (self-care) living facilities, including group quarters, health care (groups I & II), social services (groups III & IV) and other similar uses	Note (2), <del>34-1414(c)</del> et seq. & <del>34-1494</del> et seq.	1 space per unit	0.59 spaces per unit

7.	Clubhouse and ancillary uses within a residential community without a golf course	Note (4)	4 spaces per 1,000 square feet of total floor area	3.5 spaces per 1,000 square feet of total floor area
----	---	----------	--	--

Notes:

- (1) In addition to the spaces required, additional parking spaces equal to ten percent of the total required must be provided to accommodate guest parking in a common parking lot.
  - (2) Where the living units are maintained under single management and the residents are not capable or permitted to own or operate private vehicles on the same premises, the Director may authorize up to a 75 percent reduction in required parking spaces if sufficient parking is provided for employees and visitors.
  - (3) If vehicles back directly onto an internal roadway or access way, the driveway must be designed so that:
    - 1. The driveway connects to a private internal local road or access way with a design and posted speed limit of 25 miles per hour, or less;
    - 2. The visual clear zone sight distance (considering vehicles that may be parked nearby) is a minimum of 200 feet and in conformance with the visibility triangle criteria of [section 34-3131](#);
    - 3. Traffic calming devices are provided per Lee County Administrative Code AC-11-14; and
    - 4. The length of the driveway, as measured from the garage structure or the end of the stacked parking space farthest from the street or access way must be a minimum of 22 feet to the edge of a private street right-of-way or easement line OR 27 feet to the edge of pavement of an access way. However, this section is not to be interpreted to allow buildings or structures closer to a street right-of-way or easement than permitted by [section 34-2192](#).
  - (4) May include administrative office or other ancillary uses to the clubhouse such as a gyms and/or meeting rooms.
- (b) *Non-residential uses.* Non-residential uses permitted under this chapter are subject to the following minimum requirements:

**TABLE 34-2020(b). REQUIRED PARKING SPACES FOR NON-RESIDENTIAL USES**

Use	Special Notes or Regulations	Minimum Required Spaces for Single-Use Development	Minimum Required Spaces for Multiple-Use Development
Airports, landing strips and heliports.		Determined by the Director	—

Offices, excluding medical. (Including but not limited to: business services group I, contractors and builders, insurance companies, nonstore retailers, personal services group IV, social services group I, and other similar offices.)		1 space per 300 square feet of total floor area	1 space per 350 square feet of total floor area
Offices, medical and health care facilities group III.		4.5 spaces per 1000 square feet of total floor area	4 spaces per 1000 square feet of total floor area
Places of worship.	Note (14); <u>34-2051</u> et seq.	1 space per 3 seats	1 space per 5 seats
Recreation facilities, indoor.	Note (1)	4 spaces per 1000 square feet of total floor area	3.5 spaces per 1000 square feet of total floor area
Recreation facilities, outdoor, commercial.		Determined by the Director.	—
Religious facility.	Notes (1) & (14); <u>34-2051</u> et seq.	1 space per 3 seats	—
Restaurants.	Notes (8), (9) & (10)	14 spaces per 1,000 square feet of total floor area; outdoor seating area is calculated at same rate	12.5 spaces per 1,000 square feet of total floor area; outdoor seating area is calculated at same rate
Restaurants, fast food.	Note (9)	13 spaces per 1000 square feet of total floor area; outdoor seating area is calculated at same rate	—

**PARKING DEMAND STUDY  
SUMMARY**

## PARKING DEMAND SURVEY SUMMARY

### THE VENETIAN

#### Parking Demand Per Unit

High: 1.52 spaces/unit  
Average: 1.49 spaces/unit

#### Parking Demand Per Bedroom

High: 0.94 spaces/BR  
Average: 0.92 spaces/BR

### LONGITUDE81

#### Parking Demand Per Unit

High: 1.33 spaces/unit  
Average: 1.29 spaces/unit

#### Parking Demand Per Bedroom

High: 0.85 spaces/BR  
Average: 0.82 spaces/BR

### SPRINGS AT SIX MILE CYPRESS

#### Parking Demand Per Unit

High: 1.32 spaces/unit  
Average: 1.28 spaces/unit

#### Parking Demand Per Bedroom

High: 0.72 spaces/BR  
Average: 0.70 spaces/BR

### AVERAGE OF ALL THREE SURVEY SITES

High: 1.39 spaces/unit  
Average: 1.35 spaces/unit

High: 0.83 spaces/BR  
Average: 0.81 spaces/BR

**PARKING DEMAND SUMMARY AND  
RAW DATA SHEETS FOR  
SPRINGS AT SIX MILE**

### Springs at Six Mile Cypress

Date	Day	Time	Total Spaces Occupied	Assumed Garage Occupancy	Total Parking Demand	
3/23	Mon	12:27 AM	338	15	353	
3/24	Tues	12:24 AM	354	15	369	
3/25	Wed	1:25 AM	353	15	368	
3/26	Thur	1:17 AM	364	15	379	High
3/27	Fri	12:24 AM	358	15	373	
3/30	Mon	12:28 AM	359	15	374	

Total Enclosed Garages: 37 **369** Average

Garages Leased: 20

75% Occupied: 15

Total Surface Parking Spaces: 494

Surface + Garages: 531

**Total Unit Count 288**

**Occupancy at Time of Survey - 93%**

One Bedrooms 103

Two Bedrooms 129

Three Bedrooms 56

---

**Total Bedrooms 529**

### PARKING DEMAND CALCULATION

**Parking Demand Per Unit**

**Parking Demand Per Bedroom**

High: 1.32 spaces/unit

High: 0.72 spaces/BR

Average: 1.28 spaces/unit

Average: 0.70 spaces/BR

### PARKING OCCUPANCY STUDY

Property Name: The Springs at Six Mile Cypress

Property Address: 5560 Six Mile Commerical Court, Ft. Myers, FL 33912

Date of Survey: 03-23-2020

Time of Survey: 12:27

Total number of Cars Parked on-site ~~338~~ 338

Number parked in Handicap Spaces: 6

Number parked in Visitor Spaces 305

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 7

Parked in front of Apt Garage elev - 20

### PARKING OCCUPANCY STUDY

Property Name: The Springs at Six Mile Cypress

Property Address: 5560 Six Mile Commerical Court, Ft. Myers, FL 33912

Date of Survey: 03-24-2020

Time of Survey: 12:24

Total number of Cars Parked on-site 354

Number parked in Handicap Spaces: 5

Number parked in Visitor Spaces 326

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 7

Parked in front of APT Garage door - 16

### PARKING OCCUPANCY STUDY

Property Name: The Springs at Six Mile Cypress

Property Address: 5560 Six Mile Commerical Court, Ft. Myers, FL 33912

Date of Survey: 03-25-2020

Time of Survey: 1:25 am

Total number of Cars Parked on-site 353

Number parked in Handicap Spaces: 6

Number parked in Visitor Spaces 319

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 6

Parked in front of APT Garage door - 22

### PARKING OCCUPANCY STUDY

Property Name: The Springs at Six Mile Cypress

Property Address: 5560 Six Mile Commerical Court, Ft. Myers, FL 33912

Date of Survey: 03-26-2020

Time of Survey: 1:17am

Total number of Cars Parked on-site 364

Number parked in Handicap Spaces: 4

Number parked in Visitor Spaces 339

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 3

Parked in front of APT Garage door ~ 18

### PARKING OCCUPANCY STUDY

Property Name: The Springs at Six Mile Cypress

Property Address: 5560 Six Mile Commerical Court, Ft. Myers, FL 33912

Date of Survey: 03-27-2020

Time of Survey: 12:24

Total number of Cars Parked on-site 358

Number parked in Handicap Spaces: 5

Number parked in Visitor Spaces 328

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 3

Parked in front of APT Garage door - 22

### PARKING OCCUPANCY STUDY

Property Name: The Springs at Six Mile Cypress

Property Address: 5560 Six Mile Commerical Court, Ft.Myers, FL 33912

Date of Survey: 03-30-2020

Time of Survey: 12:28

Total number of Cars Parked on-site 359

Number parked in Handicap Spaces: 5

Number parked in Visitor Spaces 332

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 4

Parked in front of APT Garage door - 18

**PARKING DEMAND SUMMARY AND  
RAW DATA SHEETS FOR  
LONGITUDE 81**

**Longitude81**

Date	Day	Time	Total Spaces Occupied	Assumed Garage Occupancy	Total Parking Demand	
4/6	Mon	12:28 AM	314	16	330	
4/7	Tues	12:27 AM	318	16	334	
4/8	Wed	12:30 AM	316	16	332	
4/9	Thur	12:28 AM	321	16	337	
4/10	Fri	12:27 AM	321	16	337	
4/13	Mon	12:28 AM	329	16	<b>345</b>	High
Total Enclosed Garages:		24			<b>336</b>	Average
Garages Leased:		21				
75% Occupied:		16				
Total Surface Parking Spaces:			561			
Surface + Garages:			585			

<b>Total Unit Count</b>	<b>260</b>	<b>Occupancy at Time of Survey - 94%</b>
One Bedrooms	126	
Two Bedrooms	108	
Three Bedrooms	22	
<b>Total Bedrooms</b>	<b>408</b>	

**PARKING DEMAND CALCULATION**

Parking Demand Per Unit		Parking Demand Per Bedroom	
High:	1.33 spaces/unit	High:	0.85 spaces/BR
Average:	1.29 spaces/unit	Average:	0.82 spaces/BR

### PARKING OCCUPANCY STUDY

Property Name: Longitude 81

Property Address: 11221 Everblades Parkway / Estero, FL 33928

Date of Survey: 04-6-2020

Time of Survey: 12:28

Total number of Cars Parked on-site 314

Number parked in Handicap Spaces: 3

Number parked in Visitor Spaces 311

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 0

### PARKING OCCUPANCY STUDY

Property Name: Longitude 81

Property Address: 11221 Everblades Parkway // Estero, FL 33928

Date of Survey: 4-7-2020

Time of Survey: 12:27

Total number of Cars Parked on-site	<u>318</u>
Number parked in Handicap Spaces:	<u>4</u>
Number parked in Visitor Spaces	<u>314</u>
Number Parked in Service/Loading Spaces:	<u>0</u>
Number parked at Clubhouse	<u>0</u>

### PARKING OCCUPANCY STUDY

Property Name: Longitude 81

Property Address: 11221 Everblades Parkway NE Stero, FL 33928

Date of Survey: 4-8-2020

Time of Survey: 12:30

Total number of Cars Parked on-site 316

Number parked in Handicap Spaces: 4

Number parked in Visitor Spaces 312

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 0

### PARKING OCCUPANCY STUDY

Property Name: Longitude 81

Property Address: 11221 Everblades Parkway 11 Estero, FL 33928

Date of Survey: 4-9-2020

Time of Survey: 12:28

Total number of Cars Parked on-site 321

Number parked in Handicap Spaces: 2

Number parked in Visitor Spaces 319

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 0

### PARKING OCCUPANCY STUDY

Property Name: Longitude 81

Property Address: 11221 Everblades Parkway // Estero, FL 33928

Date of Survey: 4-10-2020

Time of Survey: 12:27

Total number of Cars Parked on-site	<u>321</u>
Number parked in Handicap Spaces:	<u>4</u>
Number parked in Visitor Spaces	<u>317</u>
Number Parked in Service/Loading Spaces:	<u>0</u>
Number parked at Clubhouse	<u>0</u>

**PARKING DEMAND SUMMARY AND  
RAW DATA SHEETS FOR  
VENETIAN**

### The Venetian

Date	Day	Time	Total Spaces Occupied	Assumed Garage Occupancy	Total Parking Demand	
4/20	Mon	12:15 AM	569	57	626	
4/21	Tues	12:26 AM	583	57	640	
4/22	Wed	1:04 AM	603	57	660	
4/23	Thur	12:22 AM	598	57	655	
4/24	Fri	1:17 AM	591	57	648	
4/25	Mon	12:12 AM	607	57	<b>664</b>	High
Total Enclosed Garages:		125			<b>649</b>	Average
% Garages Leased:		60%				
Garages Leased:		75				
75% Occupied:		57				

Total Surface Parking Spaces: 692  
Surface + Garages: 817

<b>Total Unit Count</b>	<b>436</b>	<b>Occupancy at Time of Survey - 91%</b>
One Bedrooms	204	
Two Bedrooms	192	
Three Bedrooms	40	
<b>Total Bedrooms</b>	<b>708</b>	

### PARKING DEMAND CALCULATION

Parking Demand Per Unit			Parking Demand Per Bedroom		
High:	1.52	spaces/unit	High:	0.94	spaces/BR
Average:	1.49	spaces/unit	Average:	0.92	spaces/BR

### PARKING OCCUPANCY STUDY

Property Name:

Venetian Apartments

Property Address:

4051 Regatta Way, Ft Myers FL 33916

Date of Survey:

4-20-2020

Time of Survey:

12:15

Total number of Cars Parked on-site

569

Number parked in Handicap Spaces:

9

Number parked in Visitor Spaces

560

Number Parked in Service/Loading Spaces:

0

Number parked at Clubhouse

0

### PARKING OCCUPANCY STUDY

Property Name: Longitude 81

Property Address: 11221 Ever blades Parkway // Estero, FL 33928

Date of Survey: 4-13-2020

Time of Survey: 12:32

Total number of Cars Parked on-site 329

Number parked in Handicap Spaces: 4

Number parked in Visitor Spaces 325

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 0

### PARKING OCCUPANCY STUDY

Property Name: Venetian Apartments

Property Address: 4051 Regata Way / Ft Myers Fl 33916

Date of Survey: 4-21-2020

Time of Survey: 12:26

Total number of Cars Parked on-site	<u>583</u>
Number parked in Handicap Spaces:	<u>10</u>
Number parked in Visitor Spaces	<u>573</u>
Number Parked in Service/Loading Spaces:	<u>0</u>
Number parked at Clubhouse	<u>0</u>

### PARKING OCCUPANCY STUDY

Property Name: Venetian Apartments

Property Address: 4051 Regatta way / Ft Myers FL 33916

Date of Survey: 4-22-2020

Time of Survey: 1:04

Total number of Cars Parked on-site	<u>603</u>
Number parked in Handicap Spaces:	<u>7</u>
Number parked in Visitor Spaces	<u>596</u>
Number Parked in Service/Loading Spaces:	<u>0</u>
Number parked at Clubhouse	<u>0</u>

### PARKING OCCUPANCY STUDY

Property Name: Venetian Apartments

Property Address: 4051 Regala Way / Ft Myers FL 33916

Date of Survey: 4-23-2020

Time of Survey: 12:22

Total number of Cars Parked on-site 598

Number parked in Handicap Spaces: 8

Number parked in Visitor Spaces 590

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 0

### PARKING OCCUPANCY STUDY

Property Name: Venetian Apartments

Property Address: 4051 Regata Way / Ft Myers FL 33916

Date of Survey: 4-24-2020

Time of Survey: 1:17

Total number of Cars Parked on-site 591

Number parked in Handicap Spaces: 7

Number parked in Visitor Spaces 584

Number Parked in Service/Loading Spaces: 0

Number parked at Clubhouse 0

### PARKING OCCUPANCY STUDY

Property Name: Venetian Apartments

Property Address: 4051 Regatta Way / Ft Myers FL 33916

Date of Survey: 4-27-2020

Time of Survey: 12:12

Total number of Cars Parked on-site	<u>607</u>
Number parked in Handicap Spaces:	<u>9</u>
Number parked in Visitor Spaces	<u>598</u>
Number Parked in Service/Loading Spaces:	<u>0</u>
Number parked at Clubhouse	<u>0</u>

**ITE PARKING GENERATION  
MANUAL, 5th EDITION**

## Appendix C: Parking Generation Data Collection

Appendix C presents a framework for the collection of data pertinent to parking generation estimates. The framework is structured to be straightforward, easily replicated, and adaptable to any potential land use and development type.

This appendix outlines a process that can be used to collect parking demand data, presents a standard data collection form and provides a call for additional parking data collection. As the product of a volunteer effort, *Parking Generation Manual* depends upon research and data collection conducted by people interested in parking demand.

### Establish Data Collection Purpose

The first step in any data collection effort is to establish its purpose in clear and precise terms. For parking generation, there are several generic possibilities:

- Establish a parking generation rate that is applicable to a specific local condition
- Provide data points for a land use not covered in *Parking Generation Manual*
- Provide additional data points for a current *Parking Generation Manual* data plot
- Provide data points that expand the range of independent variable values in a current data plot
- Provide data points for a time period not covered in a current data plot
- Provide data points for a setting not covered in a current data plot
- Provide data points for a land use subcategory not covered in a current data plot

Based on this overall purpose of the data collection effort, the analyst can specify some target characteristics of the site or sites to be surveyed, including the following:

- A specific land use
- A target range of sizes (or other independent variable)
- The time period to be surveyed (day of the week and month of the year)
- The setting of the study site (i.e., general urban/suburban, dense multi-use urban, center city core, rural)
- The proximity of the study site to a rail transit station
- A subcategory of the land use classification (e.g., type of affordable housing)

The definition of the data collection purpose dictates the parking demand data to be collected, general criteria for the type and setting of sites at which to collect data, and the time period(s) to be covered by the data collection effort.

### Select Study Site(s)

The selected study site or sites must satisfy the stated purpose of the data collection effort (i.e., land use type, setting within urban area, range of independent variable values).

All parking associated with the study site (e.g., customer, visitor, resident, employee) needs to be counted. Parked vehicles could be on-site, in a shared lot, in a remote lot, or on-street. It is preferable for the count of parked vehicles to be counted visually. However, for a site in a dense multi-use urban area or a in a center city core, it may be necessary to conduct a survey of persons entering and exiting a study site to determine parking demand.

The study site should have reasonably full occupancy (85 percent or greater is desirable) and appear to be economically healthy. The percent occupancy at the time of the survey is important and should be recorded.

Independent variable data must be available from either straightforward field observation (e.g., number of batting cages, movie screens, golf holes) or from the study site owner or property manager.

There should be minimal or no construction activity on the site or on adjacent roadways.

### **Obtain Permission and Cooperation of Property Management**

The analyst or data collection supervisor should contact (and meet, if necessary) property management to obtain permission to conduct a parking generation study, to discuss the purpose and procedures of the data collection effort, to ensure that normal site activities will not be interfered, and to emphasize that no proprietary or sensitive information will be divulged. This contact or meeting will also be the opportunity to collect necessary background information on the study site characteristics (see Table C.1). An offer can be made to share the results of the survey with the owner/manager.

In most cases, the property owner or manager will communicate directly with site tenants, residents, or businesses about the date and extent of the parking demand survey. In some cases, the data collection supervisor may need to initiate these contacts.

### **Define Duration of Parking Demand Count**

Observation counts (and interviews, if applicable) should be conducted for as many hours as practical, making sure that the peak period of parking demand is covered. There are two potential sources of information to guide this decision.

- The land use description pages in Chapter 6 present complete time-of-day parking demand distribution tables for land use databases that include study sites with at least six consecutive hours of parking demand counts
- The data plot pages for each individual land use present a peak period that typically covers the hours during which parking demand is on average at least 85 percent of the peak demand for the sites in the database

For any given survey day, observations should always obtain the peak period parking demand for the site. The site owner or manager staff can also be of assistance in determining the peak times (for example, hours, days, months) for an appropriate parking survey.

### Determine Independent Variable(s) and Identify Values

An independent variable is a physical, measurable and predictable characteristic of a study site (such as gross floor area, number of students, or number of dwelling units) that has a direct relationship to the number of vehicles parked at the study site. The analyst should identify potential independent variables for the study site and collect as many as are available and appropriate. The data for the independent variable could be provided on site plan documents (e.g., building area, dwelling units, seats) or need to be obtained from property management (e.g., daily patients, employees, attendees). The data plots in Chapter 6 relate parking demand to key independent variables for each land use.

For a shopping center, parking demand may vary significantly with the percentage of gross leasable area (GLA) devoted to restaurant or entertainment activity. This additional variable should be collected as part of the survey and recorded under "Notes" in the data form at the end of this appendix. Restaurants include any eating/drinking establishment, fast food restaurant, or other food service-related activity. Entertainment includes any theater space, amusement park, nightclub, or other entertainment activity. This information should be provided for any shopping center (Land Use code 820) survey, shown as a percentage of the total GLA of shopping center area.

### Collect Background Data

Table C1 presents study site descriptive information that should be collected.

The **occupancy** of a study site must be obtained when performing parking demand surveys. Occupancy is the amount of subject land use that has active use. It should be noted that building management or leasing staff commonly view space that is leased but not moved into as "occupied." For the purpose of a parking generation survey, this type of space is considered vacant. As demonstrations of occupancy calculations:

- A 250-room hotel at which 188 rooms are occupied on the day of survey is considered 75 percent occupied
- A 200-unit multifamily residence that has 30 vacant units and 10 leased units that have not yet been occupied is considered 80 percent occupied
- A 100,000 square feet GFA office building with 5,000 square feet vacant and 5,000 square feet leased but not yet occupied is considered 90 percent occupied.

The study site occupancy information is critical background data for the purpose of analyzing parking demand and developing accurate parking demand ratios for a land use. A site that is less than 85 percent occupied should typically not be surveyed.

The availability or absence of any nearby **transit service** should be noted. The distance to the closest rail transit station should be determined. The types and level of bus service within three blocks (or less than 1,000 ft.) of the study site should be described in the description of the site. It is desirable to compile information about the quality of transit service (if possible, frequency of service and number of routes)

Table C1 Descriptive Information for a Data Collection Site

Information	Comments
<b>Overall Characteristics of Site</b>	
Name	Common name for the overall site.
Address	Street address, city, state/province, country.
Site Maturity and Occupancy	The site should be fully occupied (or nearly so), mature (occupied for at least two years), and considered successful locally. As examples, an occupancy of 85 percent is a reasonable lower limit for an office building; occupancy for a retail site or a multifamily residence is likely to be higher (perhaps 90 percent); a successful hotel could have a lower room occupancy (perhaps 75 percent).
Mix of Tenants	Primary tenant (that is, the tenant(s) that serves as the primary driving force behind the overall site); whether the site has a truly unique tenant.
<b>Physical Characteristics of Site</b>	
Site Plan with Locations and Types of Access	Site diagram, sketch, plan, or aerial photo of the site that shows <ul style="list-style-type: none"> <li>• Overall site layout with building footprints;</li> <li>• Building entrances and pedestrian pathways;</li> <li>• Site access points for motorists (including delivery and service vehicles), pedestrians (including transit patrons), and bicyclists; and</li> <li>• Type of traffic control at or serving each access point (signalized or unsignalized).</li> </ul>
Land Use(s)	Primary land use (or land uses at a mixed-use site) within the site in accordance with <i>Parking Generation Manual</i> land use codes.
Building Size(s)	Building size(s) in development units such as office building square footage (GSF), amount of leased retail space (GLA), number of restaurant or theater seats, or number of residential units. Also obtain the number of stories.
Building Occupancy	Building occupancy (actual occupied space or units, not just leased). In a multi-tenant building, contact the property manager, leasing agent, or owner to obtain occupied space data.
On-Site Parking	Quantity of on-site spaces; type of parking facility (either surface or garage); and nominal daily/hourly cost and time restrictions.
<b>Setting/Context of Site within Surrounding Region</b>	
Location within Urban Area (General Setting)	Center city core, dense multi-use urban, general urban/suburban, rural (refer to Chapter 3 for definitions).
Adjacent Land Use Description	Degree to which nearby off-site land uses compete with or complement those on-site.
Proximity to Rail Transit	Walk distance to rail or rapid transit station.
Off-Site Parking	Proximity of off-site parking available for site (including pricing).

One of the variables requested in Table C1 is the **setting** of the study site. Four area types are provided: center city core, dense multi-use urban, general urban/suburban, and rural. These are defined in Chapter 3.

A study site that has implemented **transportation demand management** (TDM) measures should be noted because these strategies may affect parking demand. Demand management strategies might include a transportation coordinator, preferred carpool parking, van/carpool coordination or incentives, transit passes, or subsidies for non-single occupancy vehicle travel (such as a cash-out program or transportation allowance, parking restriction, pricing, or other similar management measure). By documenting the presence of these measures, further grouping of parking demand data may be possible in the future.

It is important to document the level of **parking pricing**; if parking is free, note as such on the form. Research has indicated that parking fees can affect parking demand. Without this information provided in surveys, parking demand can be misrepresented for a site that has fees for parking compared to those with unpriced parking. While the site may not charge for parking, it is equally important to note "zero" parking price on the data collection form so that the unpriced parking sites can be properly grouped. By including parking price, future analysis of parking demand characteristics associated with paid parking can be assessed when greater data availability is provided.

The number of parking spaces that are provided for the study site should be counted to establish the **parking supply**. While these data do not provide information regarding demand, they provide a comparison of how much parking owners and developers have decided to provide for given land uses.

### **Conduct Parking Demand Observations**

The methodology for conducting parking surveys is outlined in the ITE Manual of Transportation Engineering Studies. The objective of the survey is to count the number of vehicles parked at the time of peak parking demand and at various other times during the day. In conducting the parking demand surveys, the analyst should make sure that all employee, customer, visitor and resident parking associated with the subject land use can be observed (including on-site parking, adjacent on-street parking, and remote parking associated with the study site). Parking observations can be made multiple times within an hour or once in an hour (depending on how variable the demand for parking is). However, only the highest observed parking demand should be entered for the specific hour in the data survey forms. Hours are defined as the time that the hour begins (for example the hour from 12:00 to 1:00 p.m. is the hour beginning at 12:00 p.m.).

Observation counts are typically recorded on a form (or computer tablet) with separate data entry fields for different sectors of parking spaces within a parking lot.

For a parking facility with a high percentage of its spaces occupied, it can be more efficient for a data collector to count vacant spaces rather than parked vehicles.

A parking demand count can be derived from a site vehicle trip generation count (i.e., a comprehensive count of vehicles entering and exiting a parking lot) if the following four conditions are met:

- The number of parked vehicles is observed immediately before and after the vehicle trip generation count
- The vehicles entering and exiting the parking lot represent all vehicle trips generated by the study site
- The vehicles entering and exiting the parking lot represent only the vehicle trips generated by the study site
- The land use does not include vehicles that stand at the study site (e.g., for pick-up or drop-off at a school; drive-through customer at a fast-food restaurant) unless the trip generation count can distinguish between vehicles destined to park or to stand

A comprehensive count of motor vehicle parking is the primary subject of *Parking Generation Manual*. At the same time, a surveyor may observe other parking activity of interest. Following are some basic guidelines for what to include in the vehicle count and what not to include:

- A truck, trailer, trash compactor, or other object in a loading dock area that consumes a parking space should not be included in the count of vehicle parking demand
- An illegally parked vehicle associated with the land use should be counted
- A vehicle taking up two parking spaces should be counted as a single vehicle
- A vehicle queued in a drive-through facility or pick up/drop off zone should not be counted as vehicle parking demand but should be counted separately to provide information on this activity (if the vehicles park in the parking facility spaces and conduct this activity they should be counted)
- A delivery vehicle using a parking space should be counted, but not if parked in a truck loading area/dock (it can be observed and counted separately, if desired)
- A motorcycle parked in a vehicle space should be counted as a parked vehicle
- A vehicle parked in an accessible parking stall should be counted in the parking demand (they also can be separated out, if desired)

Bicycle parking should not be counted in the vehicle parking observation, but the analyst is encouraged to count bicycles separately and submit the data to ITE.

### **Conduct Interview Surveys as Necessary**

Many study sites are sufficiently isolated that the number of parked vehicles associated with the study site can be determined through simple visual observation (i.e., a count of vehicles in a parking lot, a count of vehicles parked on-street and adjacent to the study site).

For other study sites, observations alone may not be adequate to determine the number of parked vehicles associated with the site. A couple examples where an observation count is likely not sufficient are (1) a study site where parking supply is shared with another site or land use and (2) a study site where a motorist who walks to and from an off-site parking location cannot be visually distinguished from a person whose travel mode is by transit or as a pedestrian. Under those circumstances, data collection may require the interview of a sample of persons entering and exiting the site to determine whether they are walking to or from a parked vehicle (which should then be included in the parking demand count for the study site).

Interviewers can typically interview only a sample of all people entering or exiting a building or site entrance. Therefore, it is necessary to also conduct a count of all people entering and exiting each interview location so that the interview data can be factored to represent the universe of all person trips at that entrance. In addition, the factoring will account for different sampling rates at a site with multiple interview points.

Both the purpose of the data collection effort and the characteristics of the data collection site dictate whether an observation count will suffice or if a combination of interviews and counts is necessary. If it is possible and practical to conduct the necessary data collection by observation counts alone, it is preferable to do so. A count requires fewer resources.

### **Submit Parking Demand Data to ITE**

A sample parking generation survey summary form is presented on the following page. Hard copy Parking Generation data collection forms are available on the ITE website at: <https://www.ite.org/technical-resources/topics/trip-and-parking-generation>. Data may also be submitted through direct transmittal of electronic files to the ITE Parking Generation email address presented below.


Completed forms should be returned to ITE at the address below. The submittal should include a brief report that presents the day and date of data collection, the data collection results and the site-specific information listed in Table C1.

Institute of Transportation Engineers  
1627 Eye Street, NW, Suite 600  
Washington, DC 20006  
Telephone: +1 202-785-0060  
Fax: +1 202-785-0609  
[www.ite.org](http://www.ite.org)  
email: [lfontana@ite.org](mailto:lfontana@ite.org)

### **Questions and Comments**

Questions and comments regarding *Parking Generation Manual* should be addressed to:

Institute of Transportation Engineers  
1627 Eye Street, NW, Suite 600  
Washington, DC 20006  
Telephone: 202-785-0060  
Fax: 202-785-0609  
[www.ite.org](http://www.ite.org)  
email: [lfontana@ite.org](mailto:lfontana@ite.org)



## Parking Generation Survey Form

Institute of Transportation Engineers

**Transit Setting**

**TMP**

Parking – Supply

Parking – Price \$

Land Use Code

Site Name

Site Description

Street Address

City

State/Province Country

Daily Rate \$ Hourly Rate

**Independent Variables**

Site Size		Units		Occupancy	
Other		Units			
Other		Units			
Other		Units			

**Highest Observed Parking Demand for the following hours of the day (hour beginning)**

Date	Day					
12 Mid						
1:00 AM						
2:00 AM						
3:00 AM						
4:00 AM						
5:00 AM						
6:00 AM						
7:00 AM						
8:00 AM						
9:00 AM						
10:00 AM						
11:00 AM						
12 Noon						
1:00 PM						
2:00 PM						
3:00 PM						
4:00 PM						
5:00 PM						
6:00 PM						
7:00 PM						
8:00 PM						
9:00 PM						
10:00 PM						
11:00 PM						

**Person**

**Phone**

**Fax**

**Email**

**Notes**

**Organization**

Submit form to LFontana@ite.org. Attach reports, spreadsheets or other documentation.  
 Or mail form, reports, and other documentation to:  
**Institute of Transportation Engineers, 1627 Eye Street, NW Suite 600; Washington, DC 20006**

Form version 2019-1

**ITE PARKING GENERATION  
MANUAL, 5th EDITION  
LUC 221 – MULTI-FAMILY LOW RISE**

## Land Use: 220 Multifamily Housing (Low-Rise)

### Description

Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and with one or two levels (floors) of residence. Multifamily housing (mid-rise) (Land Use 221), multifamily housing (high-rise) (Land Use 222), and affordable housing (Land Use 223) are related land uses.

### Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand (1) on a weekday (10 study sites) and a Saturday (11 study sites) in a general urban/suburban setting and (2) on a weekday (three study sites) and a Saturday (three study sites) in a dense multi-use urban setting.

Hour Beginning	Percent of Peak Parking Demand			
	General Urban/Suburban		Dense Multi-Use Urban	
	Weekday	Saturday	Weekday	Saturday
12:00–4:00 a.m.	100	93	86	100
5:00 a.m.	97	100	100	94
6:00 a.m.	90	98	94	91
7:00 a.m.	77	96	81	85
8:00 a.m.	56	92	58	79
9:00 a.m.	45	80	56	76
10:00 a.m.	40	78	53	71
11:00 a.m.	37	71	58	74
12:00 p.m.	36	68	56	68
1:00 p.m.	36	66	53	68
2:00 p.m.	37	65	47	68
3:00 p.m.	43	68	56	56
4:00 p.m.	45	70	53	59
5:00 p.m.	55	73	61	53
6:00 p.m.	66	77	81	50
7:00 p.m.	73	81	67	56
8:00 p.m.	77	82	61	65
9:00 p.m.	86	86	64	74
10:00 p.m.	92	87	75	85
11:00 p.m.	97	92	86	91

### Additional Data

In prior editions of *Parking Generation*, the low-rise multifamily housing sites were further divided into rental and condominium categories. An investigation of parking demand data found no clear differences in parking demand between the rental and condominium sites within the ITE database. As more data are compiled for future editions, this land use classification can be reinvestigated.

The average parking supply ratios for the study sites with parking supply information are shown in the table below.

Setting	Proximity to Rail Transit	Parking Supply Ratio	
		Per Dwelling Unit	Per Bedroom
Dense Multi-Use Urban	Within ½ mile of rail transit	0.6 (12 sites)	0.4 (10 sites)
	Not within ½ mile of rail transit	0.9 (18 sites)	0.6 (18 sites)
General Urban/Suburban	Within ½ mile of rail transit	1.5 (10 sites)	0.9 (10 sites)
	Not within ½ mile of rail transit	1.7 (52 sites)	1.0 (52 sites)

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in Alberta (CAN), California, Colorado, District of Columbia, Maryland, Massachusetts, Oregon, Pennsylvania, Texas, Washington, and Wisconsin.

*It is expected that the number of bedrooms and number of residents are likely correlated to the parking demand generated by a residential site. Parking studies of multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e. number of units by number of bedrooms at the site complex). Future parking studies should also indicate the number of levels contained in the residential building.*

### Source Numbers

72, 124, 152, 154, 209, 215, 216, 218, 219, 255, 257, 314, 414, 419, 432, 437, 505, 512, 533, 535, 536, 537, 544, 545, 577, 578, 579, 580, 584, 585, 587

# Multifamily Housing (Low-Rise) (220)

## Peak Period Parking Demand vs: Dwelling Units

On a: **Weekday (Monday - Friday)**

Setting/Location: **General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 6:00 a.m.

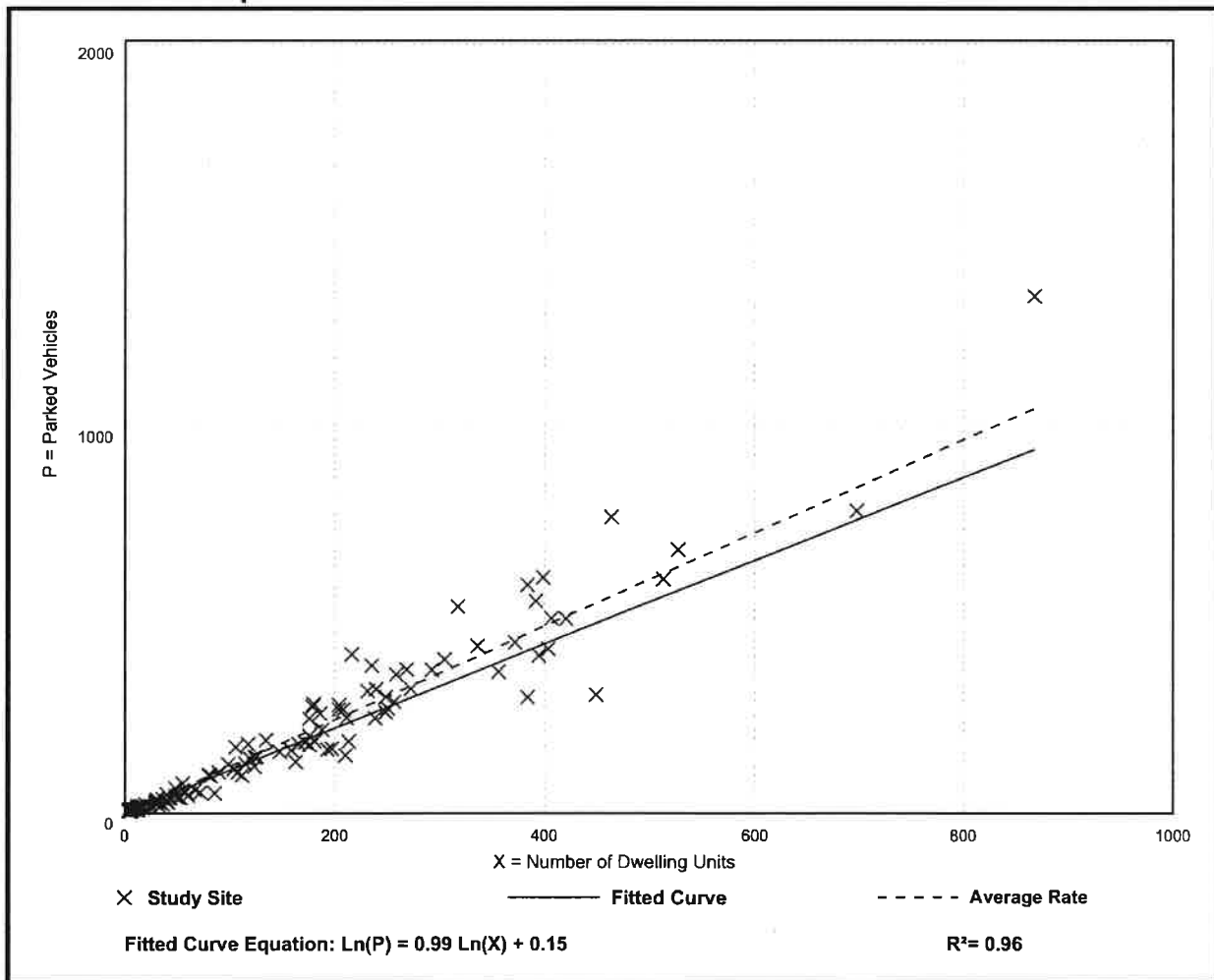
Number of Studies: 119

Avg. Num. of Dwelling Units: 156

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.21	0.58 - 2.50	1.03 / 1.52	1.16 - 1.26	0.27 ( 22% )

### Data Plot and Equation



# Multifamily Housing (Low-Rise) (220)

## Peak Period Parking Demand vs: Dwelling Units

On a: **Saturday**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

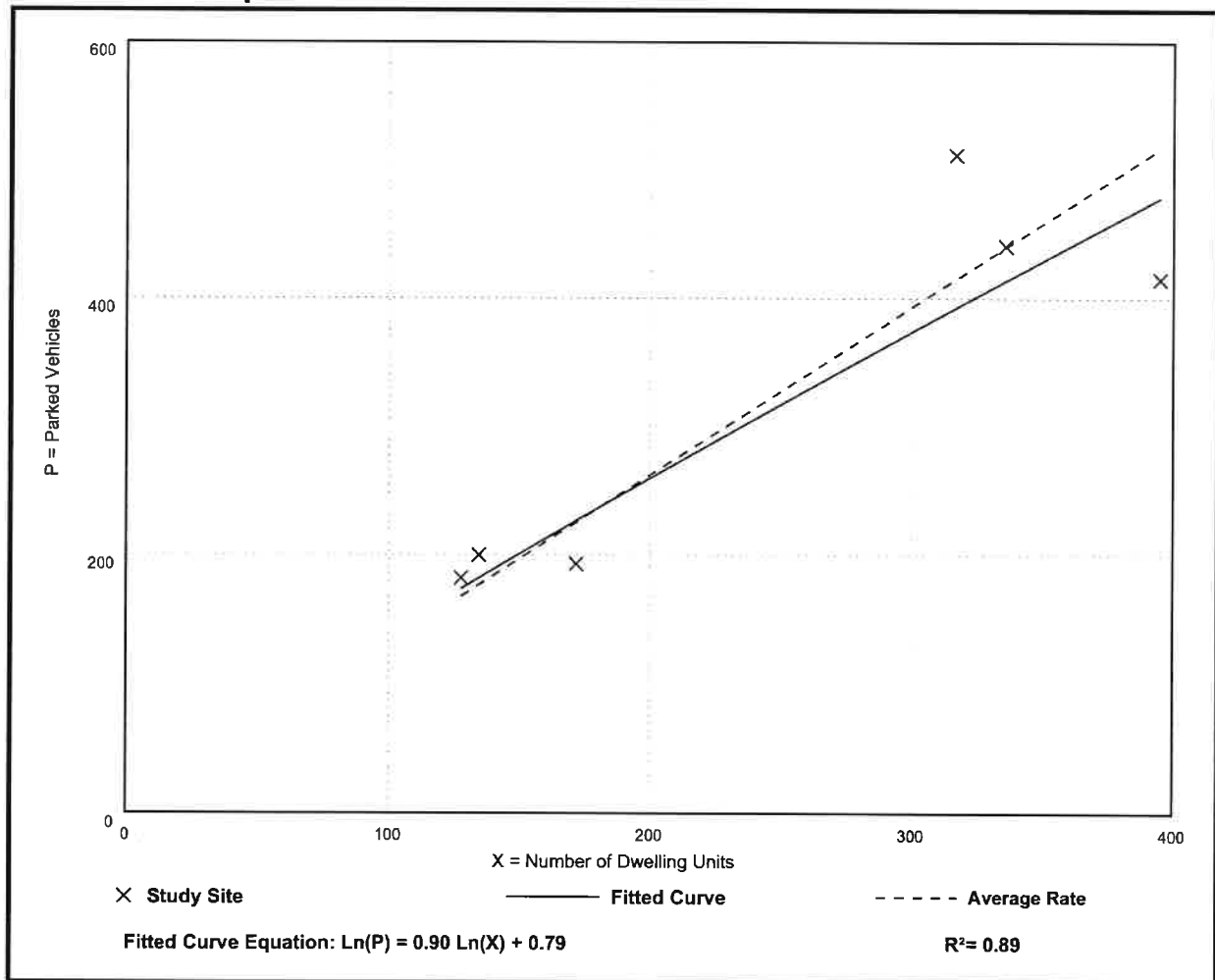
Number of Studies: 6

Avg. Num. of Dwelling Units: 247

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	1.05 - 1.62	1.18 / 1.61	***	0.23 ( 18% )

### Data Plot and Equation



## Multifamily Housing (Low-Rise) (220)

**Peak Period Parking Demand vs: Dwelling Units**

On a: **Sunday**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 1

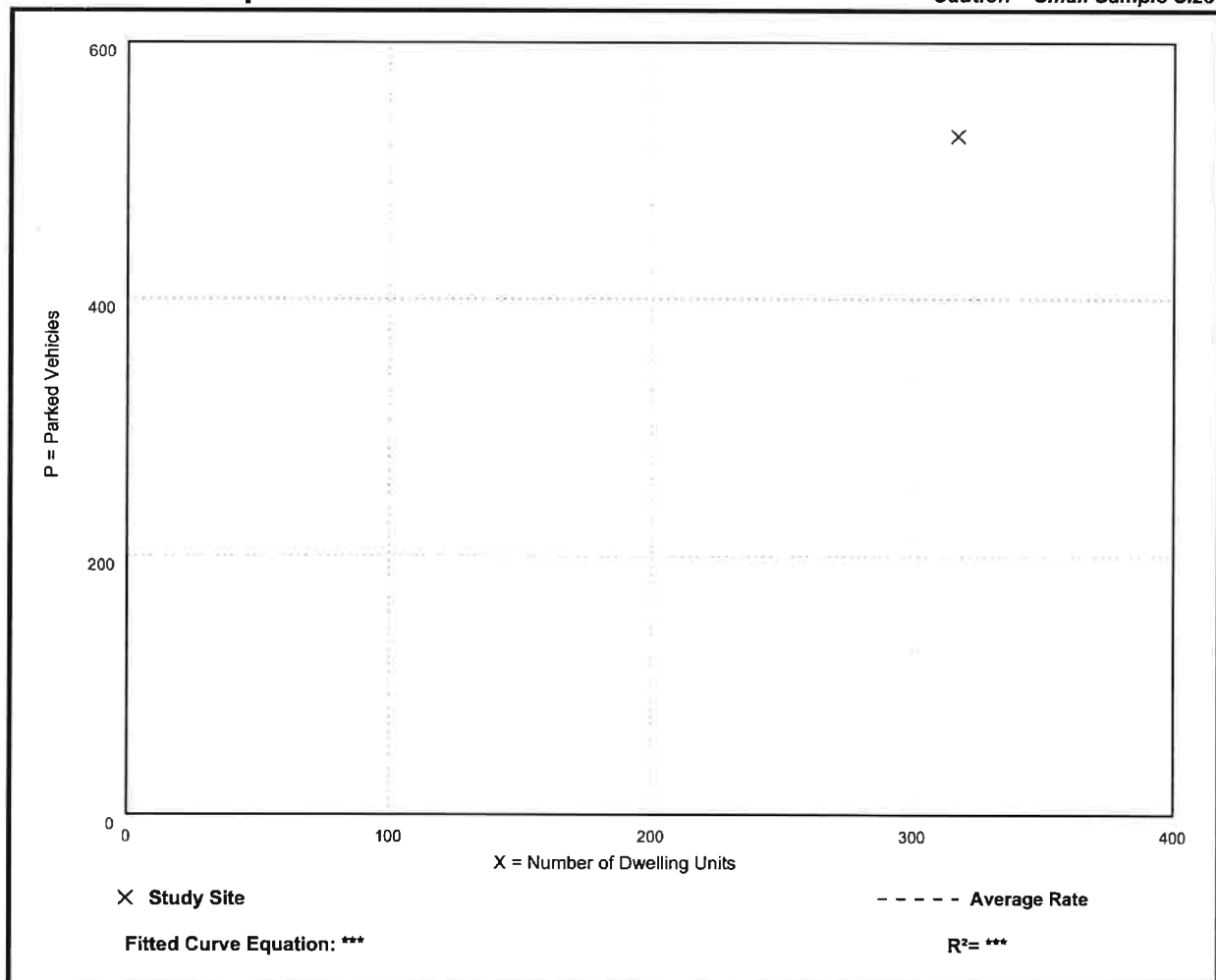
Avg. Num. of Dwelling Units: 317

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.66	1.66 - 1.66	*** / ***	***	*** ( *** )

### Data Plot and Equation

*Caution – Small Sample Size*



# Multifamily Housing (Low-Rise) (220)

## Peak Period Parking Demand vs: Occupied Dwelling Units

On a: **Weekday (Monday - Friday)**

Setting/Location: **General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 6:00 a.m.

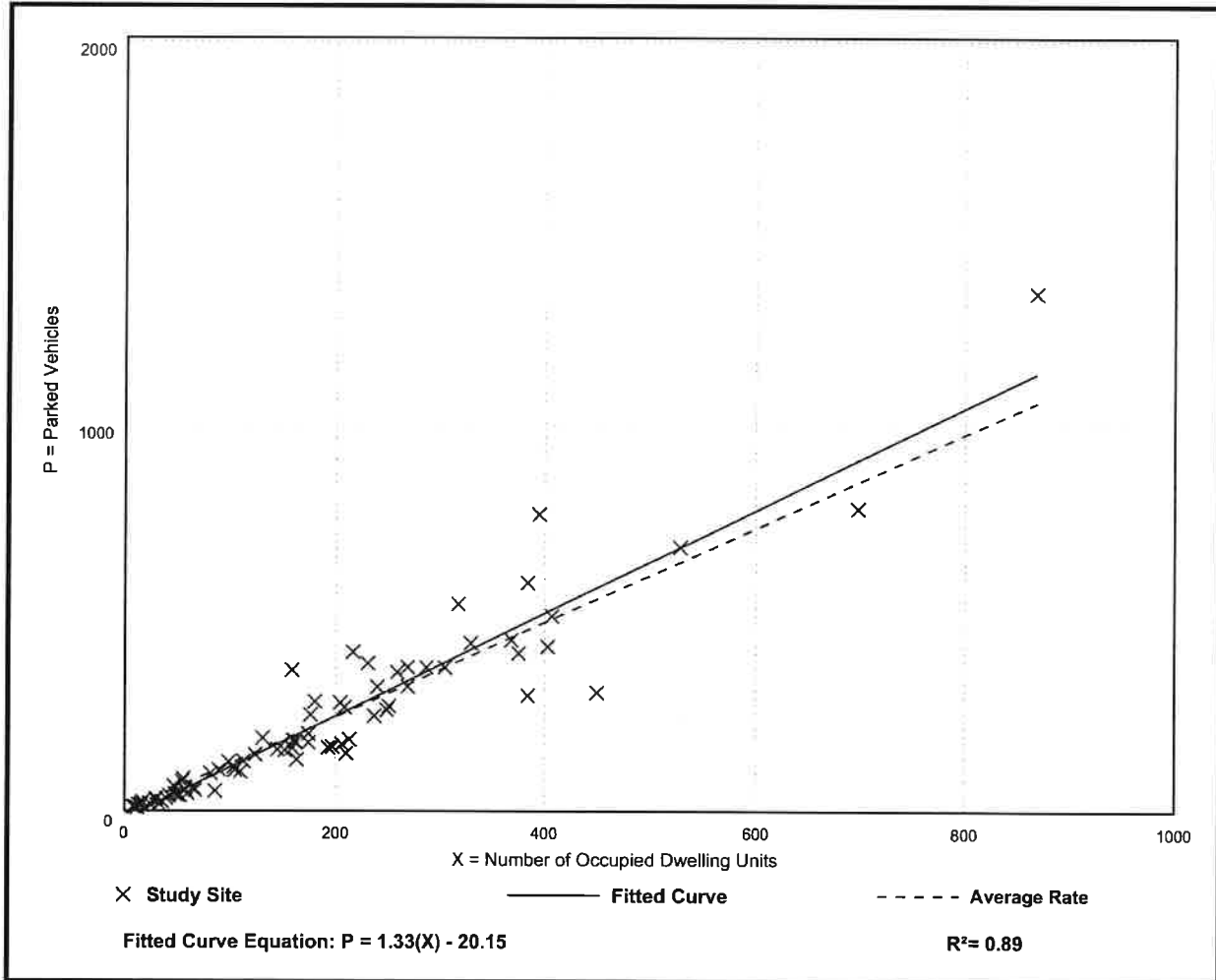
Number of Studies: 77

Avg. Num. of Occupied Dwelling Units: 182

### Peak Period Parking Demand per Occupied Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.58 - 2.30	1.02 / 1.41	1.15 - 1.29	0.32 ( 26% )

### Data Plot and Equation



# Multifamily Housing (Low-Rise) (220)

## Peak Period Parking Demand vs: Occupied Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

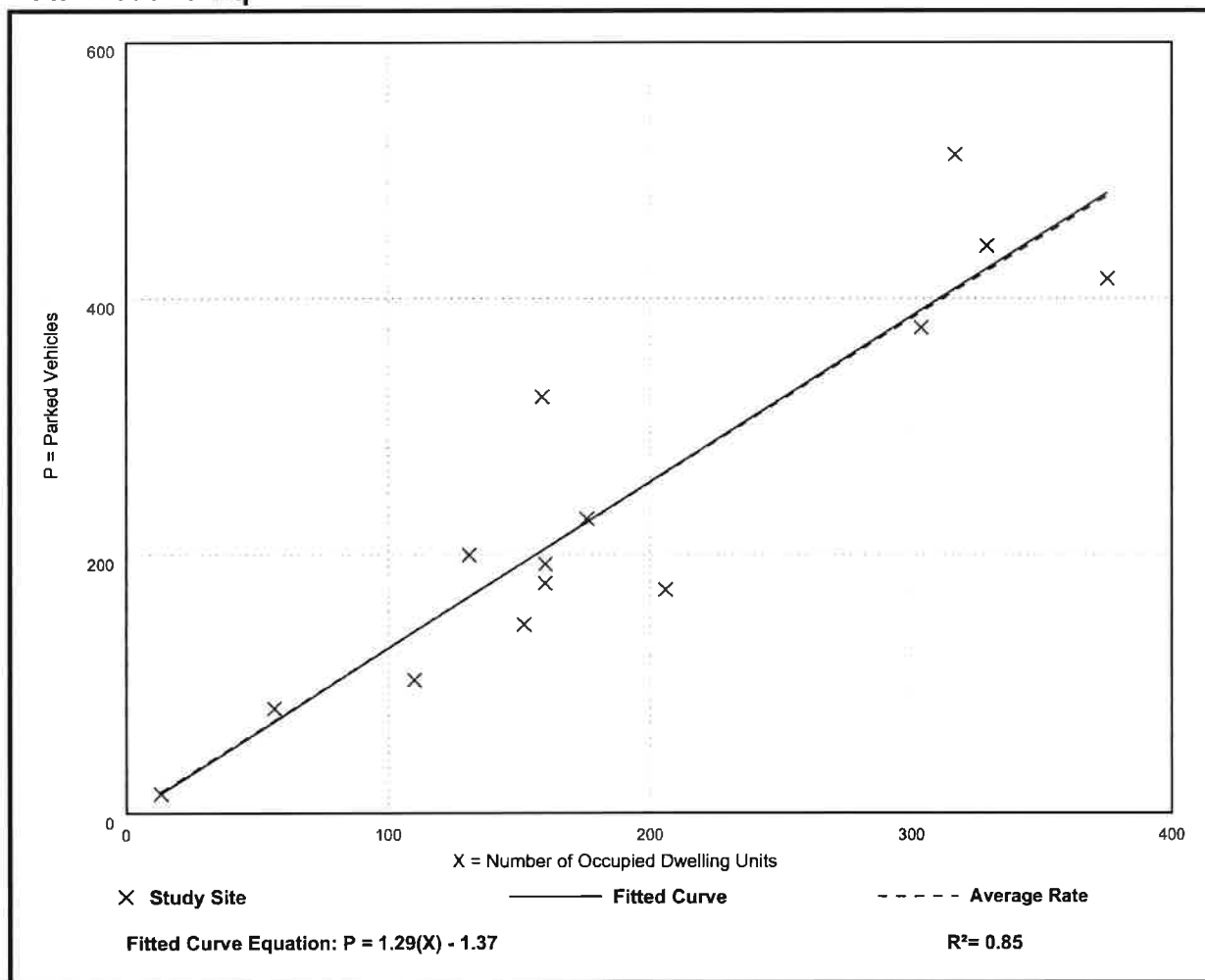
Number of Studies: 14

Avg. Num. of Occupied Dwelling Units: 189

### Peak Period Parking Demand per Occupied Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.28	0.84 - 2.03	1.11 / 1.59	***	0.30 ( 23% )

### Data Plot and Equation



# Multifamily Housing (Low-Rise) (220)

## Peak Period Parking Demand vs: Occupied Dwelling Units

On a: **Sunday**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 1

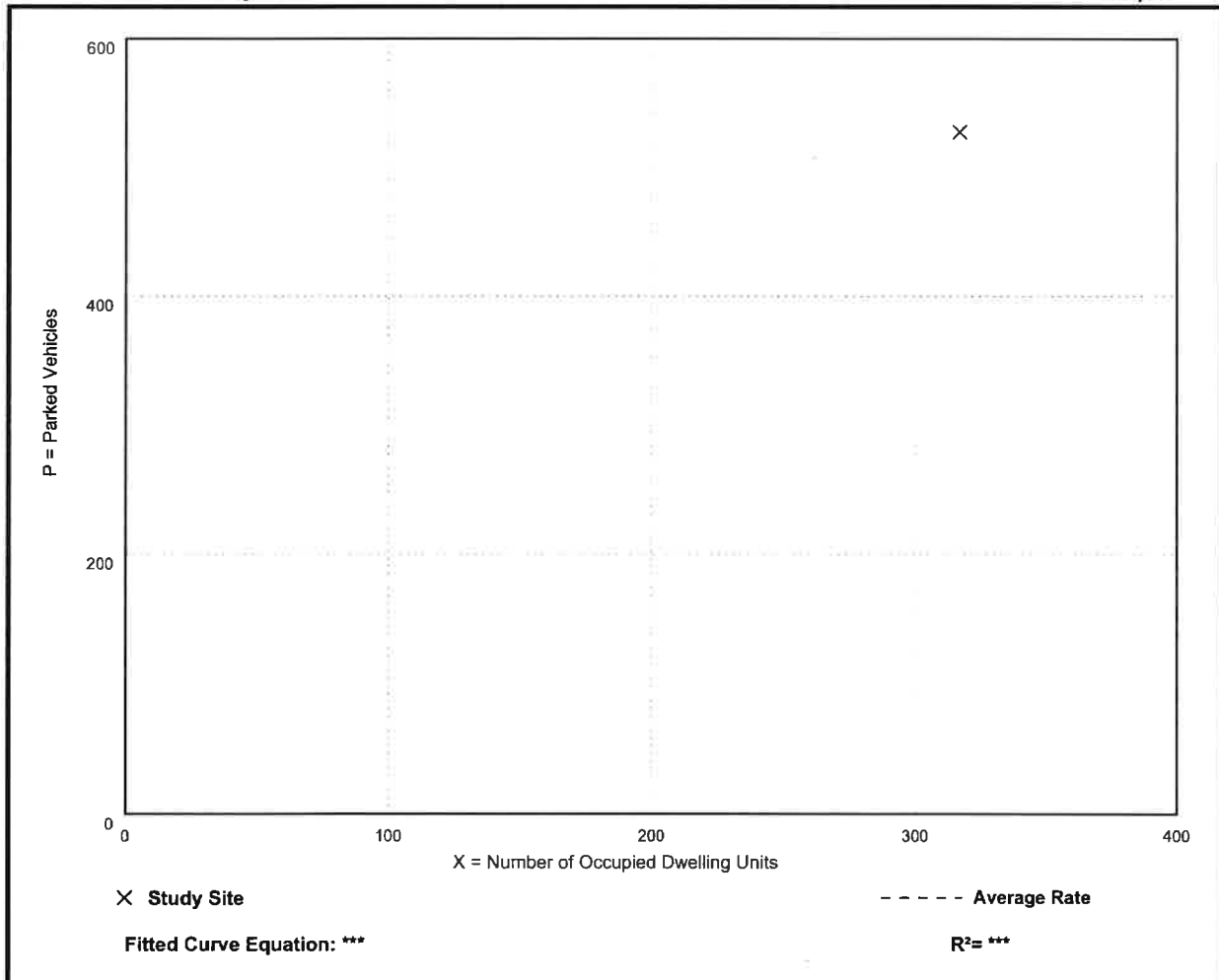
Avg. Num. of Occupied Dwelling Units: 317

### Peak Period Parking Demand per Occupied Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.66	1.66 - 1.66	*** / ***	***	*** ( *** )

### Data Plot and Equation

*Caution – Small Sample Size*



# Multifamily Housing (Low-Rise) (220)

## Peak Period Parking Demand vs: Bedrooms

On a: **Weekday (Monday - Friday)**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 6:00 a.m.

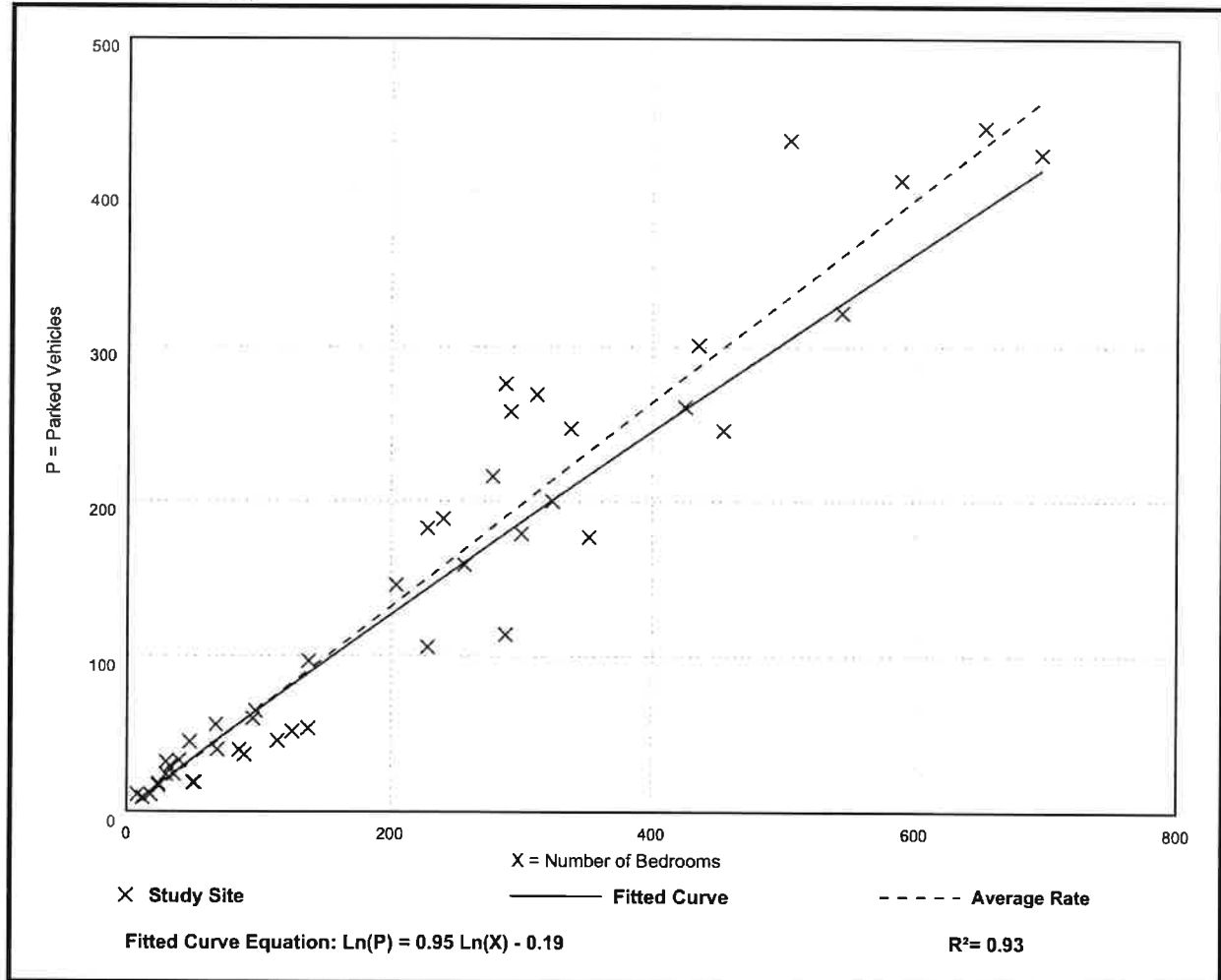
Number of Studies: 45

Avg. Num. of Bedrooms: 215

### Peak Period Parking Demand per Bedroom

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.66	0.37 - 1.38	0.61 / 0.86	0.62 - 0.70	0.15 ( 23% )

### Data Plot and Equation



# Multifamily Housing (Low-Rise) (220)

**Peak Period Parking Demand vs: Bedrooms**

On a: **Saturday**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 5

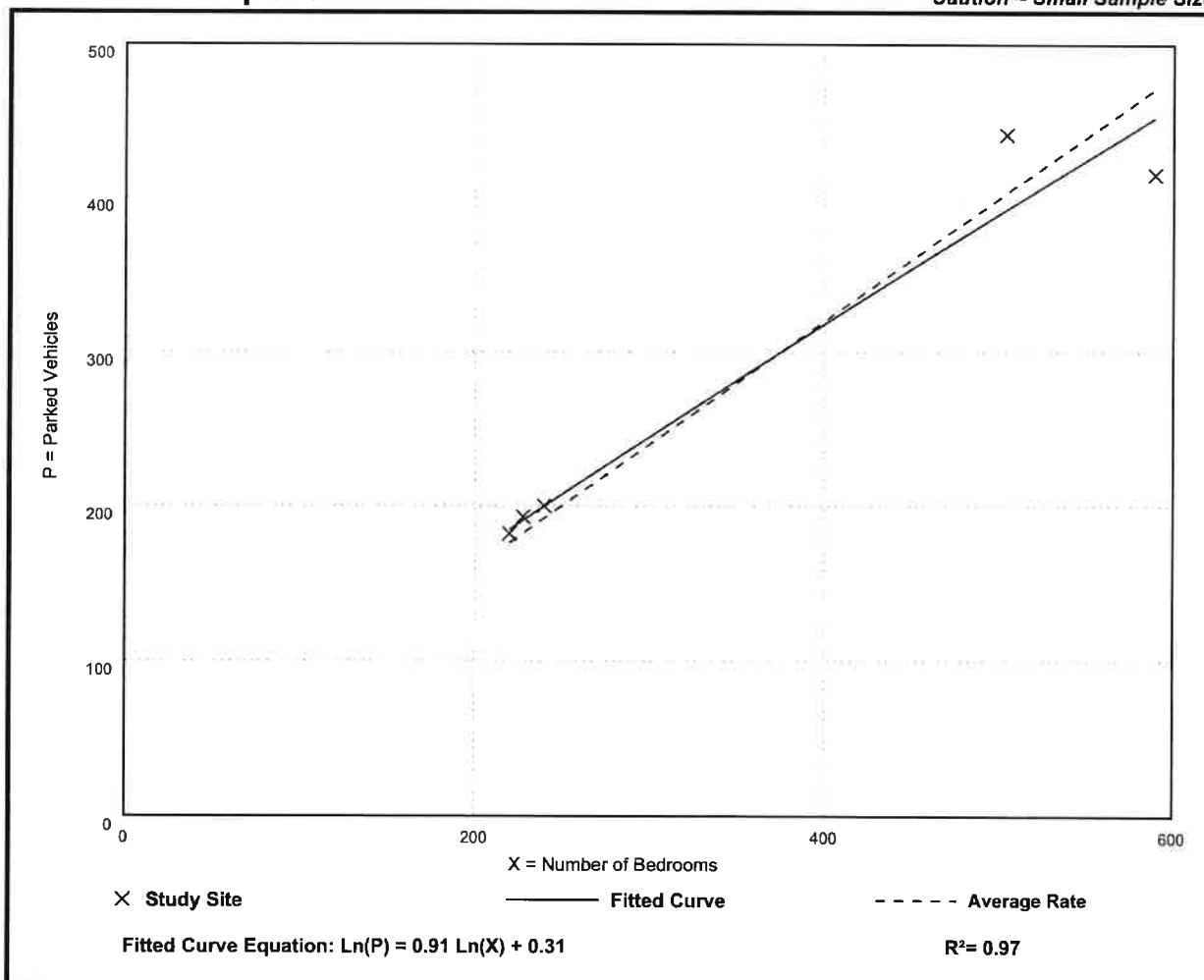
Avg. Num. of Bedrooms: 356

## Peak Period Parking Demand per Bedroom

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.80	0.70 - 0.88	0.82 / 0.88	***	0.08 ( 10% )

## Data Plot and Equation

*Caution – Small Sample Size*



**ITE PARKING GENERATION  
MANUAL, 5th EDITION  
LUC 221 – MULTI-FAMILY MID RISE**

## Land Use: 221 Multifamily Housing (Mid-Rise)

### Description

Mid-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and with between three and 10 levels (floors) of residence. Multifamily housing (low-rise) (Land Use 220), multifamily housing (high-rise) (Land Use 222), and affordable housing (Land Use 223) are related land uses.

### Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday (one general urban/suburban study site), a Saturday (two general urban/suburban study sites), and a Sunday (one dense multi-use urban study site).

Hour Beginning	Percent of Peak Parking Demand		
	Weekday	Saturday	Sunday
12:00–4:00 a.m.	100	100	100
5:00 a.m.	94	99	–
6:00 a.m.	83	97	–
7:00 a.m.	71	95	–
8:00 a.m.	61	88	–
9:00 a.m.	55	83	–
10:00 a.m.	54	75	–
11:00 a.m.	53	71	–
12:00 p.m.	50	68	–
1:00 p.m.	49	66	33
2:00 p.m.	49	70	40
3:00 p.m.	50	69	27
4:00 p.m.	58	72	13
5:00 p.m.	64	74	33
6:00 p.m.	67	74	60
7:00 p.m.	70	73	67
8:00 p.m.	76	75	47
9:00 p.m.	83	78	53
10:00 p.m.	90	82	73
11:00 p.m.	93	88	93

### Additional Data

In prior editions of *Parking Generation*, the mid-rise multifamily housing sites were further divided into rental and condominium categories. An investigation of parking demand data found no clear differences in parking demand between the rental and condominium sites within the ITE database. As more data are compiled for future editions, this land use classification can be reinvestigated.

The average parking supply ratios for the study sites with parking supply information are shown in the table below.

Setting	Proximity to Rail Transit	Parking Supply Ratio	
		Per Dwelling Unit	Per Bedroom
Center City Core	Within ½ mile of rail transit	1.1 (15 sites)	1.0 (12 sites)
Dense Multi-Use Urban	Within ½ mile of rail transit	1.2 (39 sites)	0.9 (34 sites)
	Not within ½ mile of rail transit	1.2 (65 sites)	0.8 (56 sites)
General Urban/ Suburban	Within ½ mile of rail transit	1.5 (25 sites)	0.8 (12 sites)
	Not within ½ mile of rail transit	1.7 (62 sites)	1.0 (39 sites)

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in California, Colorado, District of Columbia, Maryland, Massachusetts, New Jersey, New York, Oregon, Virginia, Washington, and Wisconsin.

*It is expected that the number of bedrooms and number of residents are likely correlated to the parking demand generated by a residential site. Parking studies of multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex). Future parking studies should also indicate the number of levels contained in the residential building.*

### Source Numbers

21, 209, 247, 255, 277, 401, 402, 419, 505, 512, 522, 533, 535, 536, 537, 538, 545, 546, 547, 575, 576, 577, 579, 580, 581, 583, 584, 585, 587

## Multifamily Housing (Mid-Rise) (221)

### Peak Period Parking Demand vs: Dwelling Units

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.

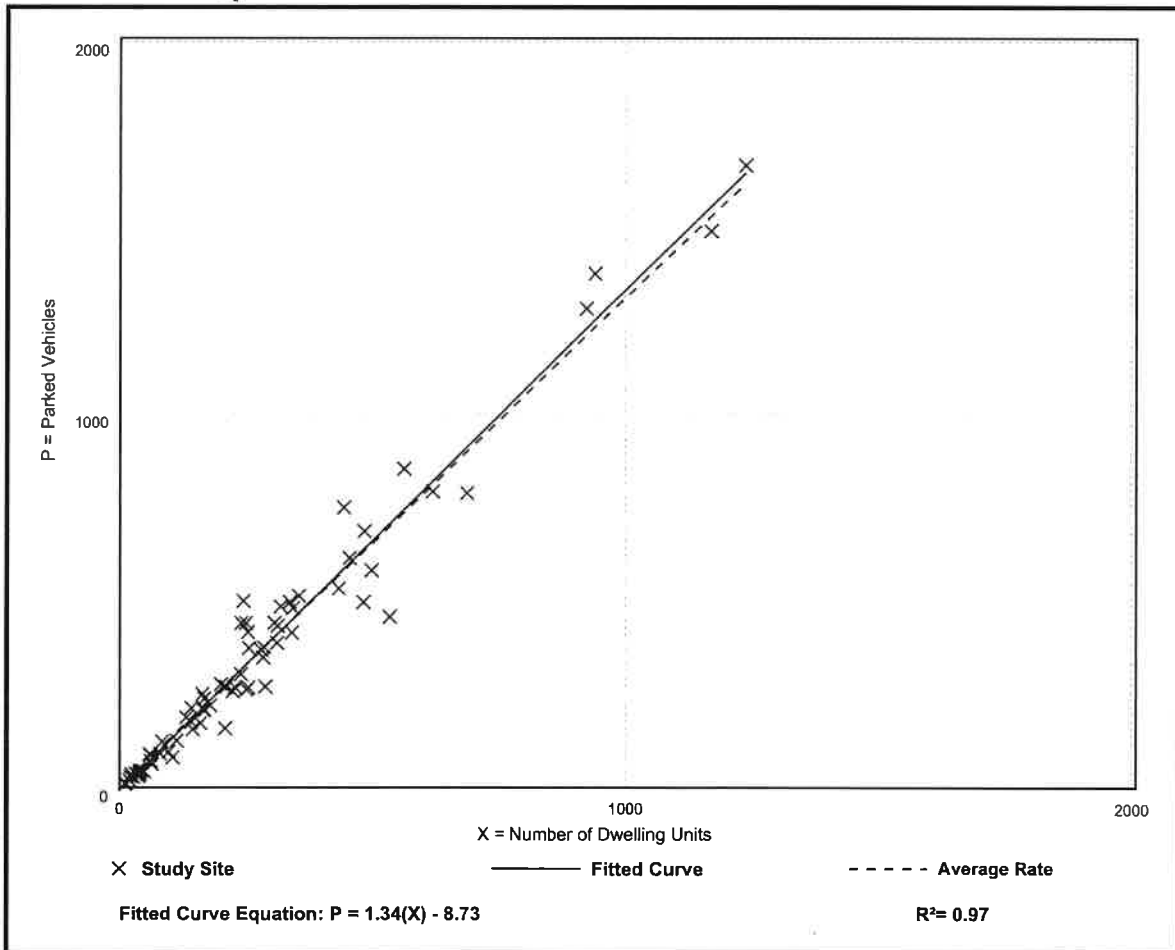
Number of Studies: 73

Avg. Num. of Dwelling Units: 261

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	0.75 - 2.03	1.13 / 1.47	1.26 - 1.36	0.22 ( 17% )

### Data Plot and Equation



## Multifamily Housing (Mid-Rise) (221)

### Peak Period Parking Demand vs: Dwelling Units

On a: **Saturday**

Setting/Location: **General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 3

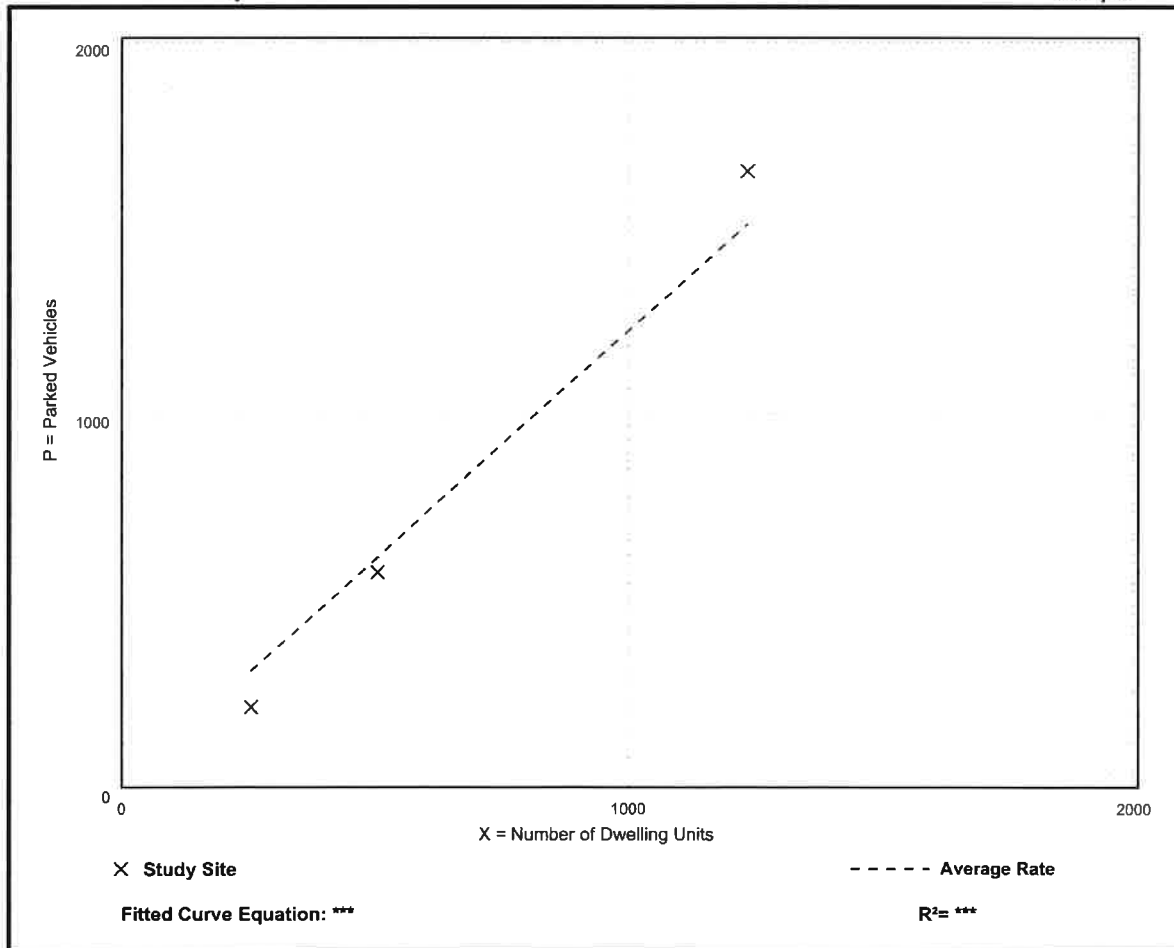
Avg. Num. of Dwelling Units: 665

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.84 - 1.33	0.94 / 1.33	***	0.20 ( 16% )

### Data Plot and Equation

*Caution – Small Sample Size*



## Multifamily Housing (Mid-Rise) (221)

### Peak Period Parking Demand vs: Dwelling Units

On a: **Sunday**

Setting/Location: **General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 1

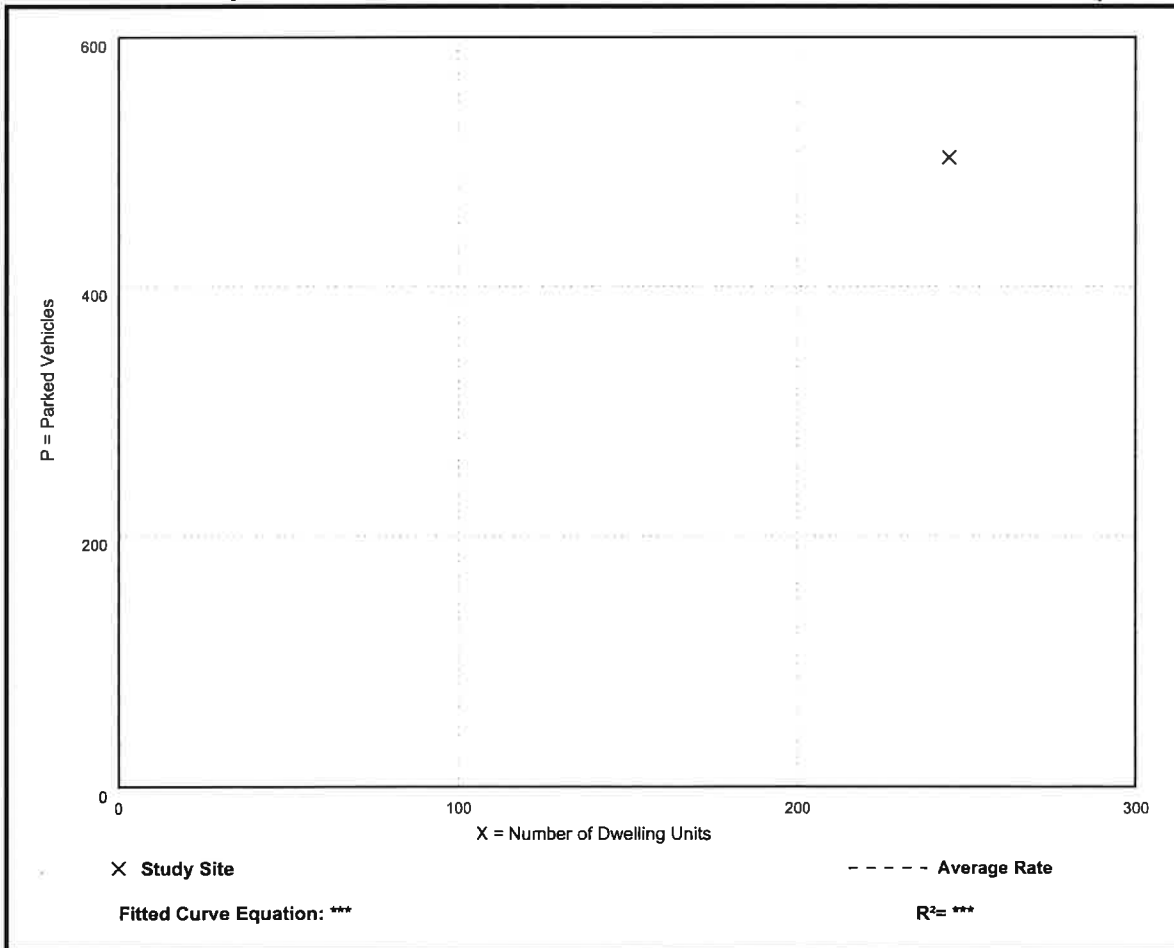
Avg. Num. of Dwelling Units: 245

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.05	2.05 - 2.05	*** / ***	***	*** ( *** )

### Data Plot and Equation

*Caution – Small Sample Size*



# Multifamily Housing (Mid-Rise) (221)

## Peak Period Parking Demand vs: Occupied Dwelling Units

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.

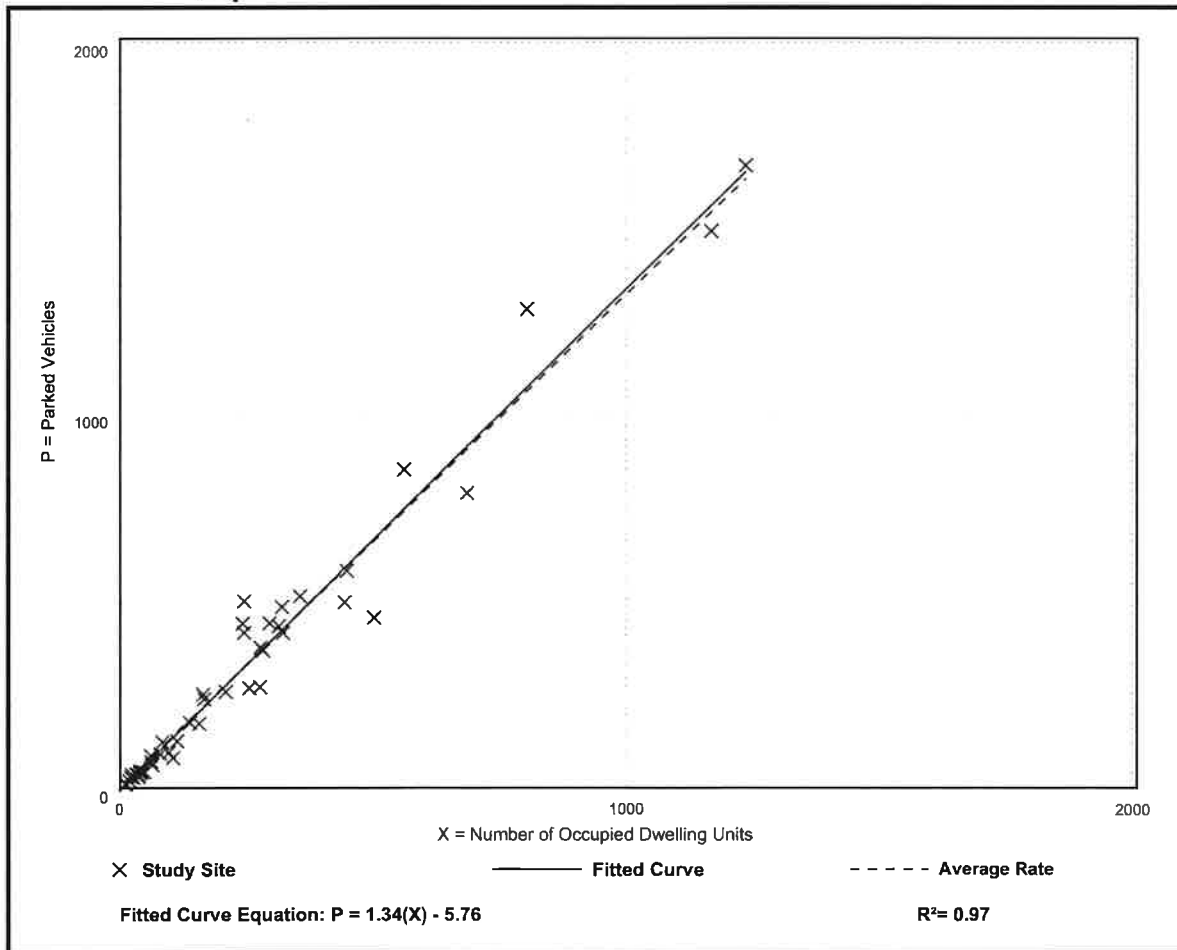
Number of Studies: 48

Avg. Num. of Occupied Dwelling Units: 234

### Peak Period Parking Demand per Occupied Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.32	0.75 - 2.03	1.04 / 1.51	1.25 - 1.39	0.24 ( 18% )

### Data Plot and Equation



## Multifamily Housing (Mid-Rise) (221)

### Peak Period Parking Demand vs: Occupied Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 2

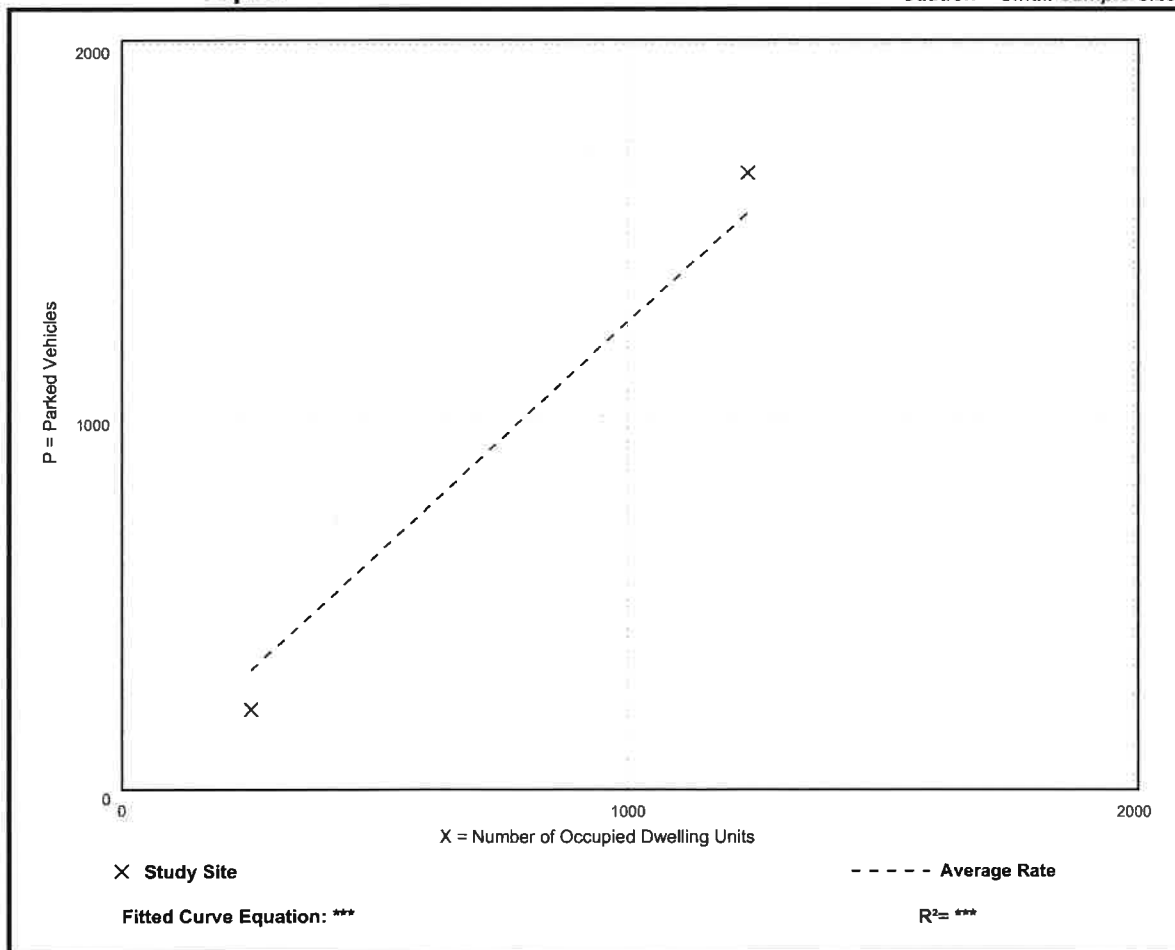
Avg. Num. of Occupied Dwelling Units: 746

### Peak Period Parking Demand per Occupied Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.25	0.84 - 1.33	*** / ***	***	*** ( ***)

### Data Plot and Equation

*Caution – Small Sample Size*



## Multifamily Housing (Mid-Rise) (221)

### Peak Period Parking Demand vs: Occupied Dwelling Units

On a: Sunday

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 1

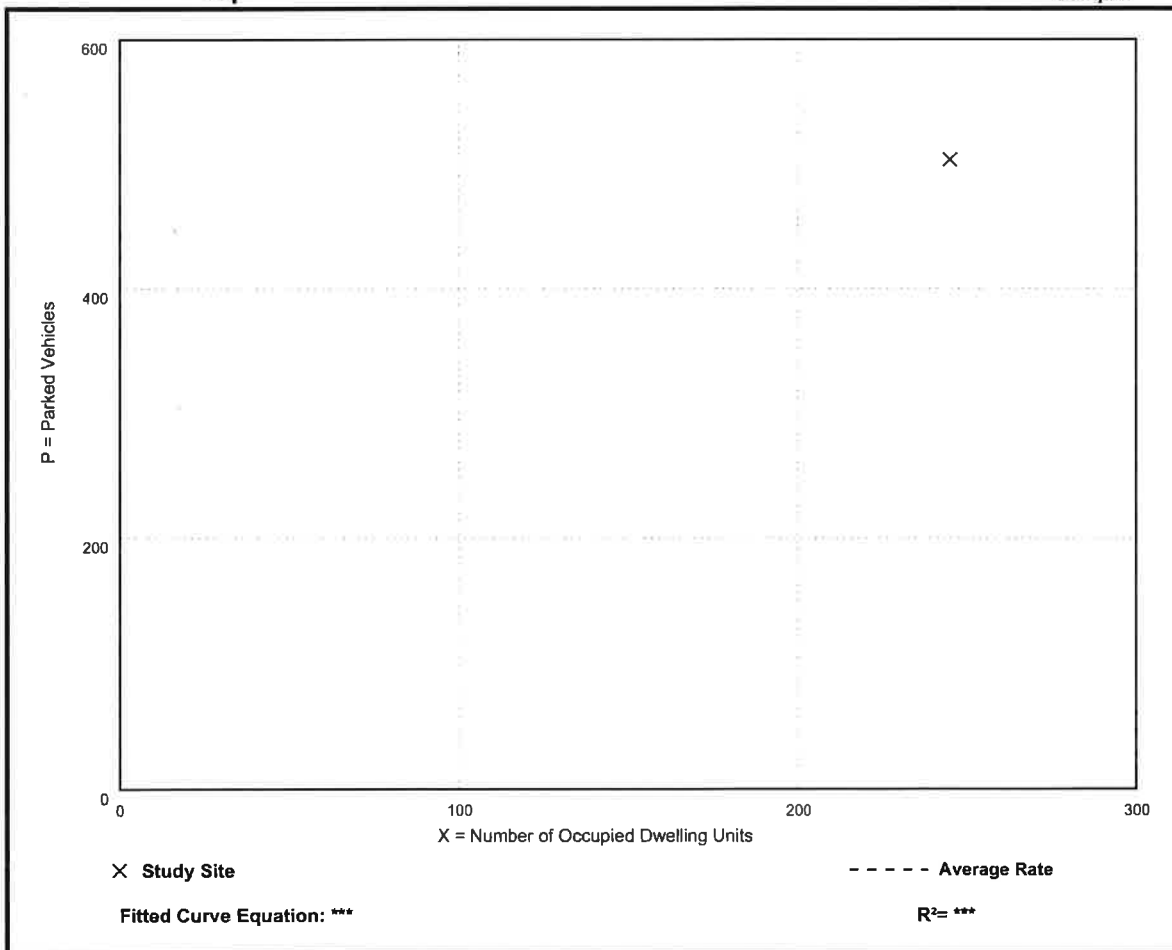
Avg. Num. of Occupied Dwelling Units: 245

### Peak Period Parking Demand per Occupied Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.05	2.05 - 2.05	*** / ***	***	*** ( *** )

### Data Plot and Equation

*Caution – Small Sample Size*



# Multifamily Housing (Mid-Rise) (221)

## Peak Period Parking Demand vs: Bedrooms

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban (no nearby rail transit)

Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.

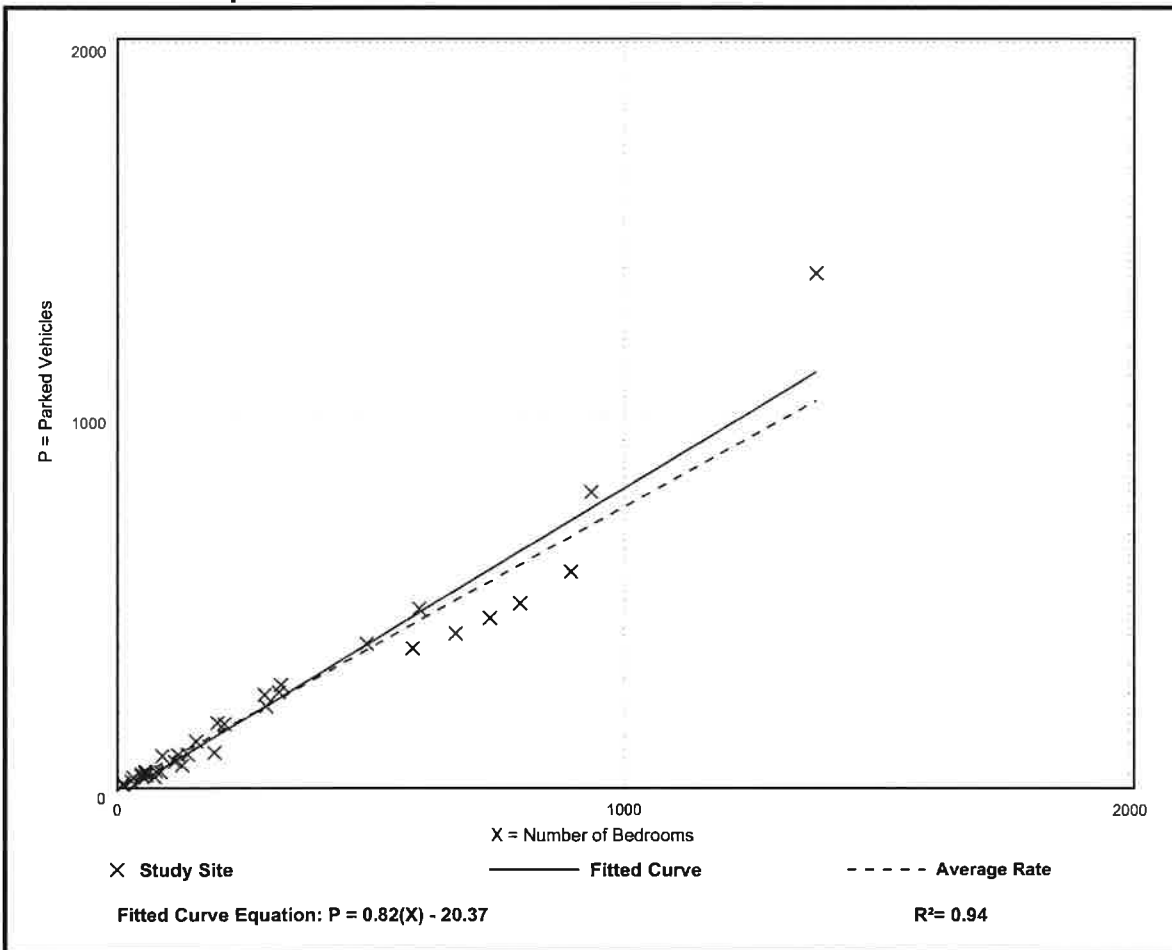
Number of Studies: 35

Avg. Num. of Bedrooms: 294

### Peak Period Parking Demand per Bedroom

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.75	0.41 - 1.00	0.65 / 0.87	0.70 - 0.80	0.15 ( 20% )

### Data Plot and Equation



# Multifamily Housing (Mid-Rise) (221)

**Peak Period Parking Demand vs: Bedrooms**

On a: **Saturday**

Setting/Location: **General Urban/Suburban (no nearby rail transit)**

Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.

Number of Studies: 1

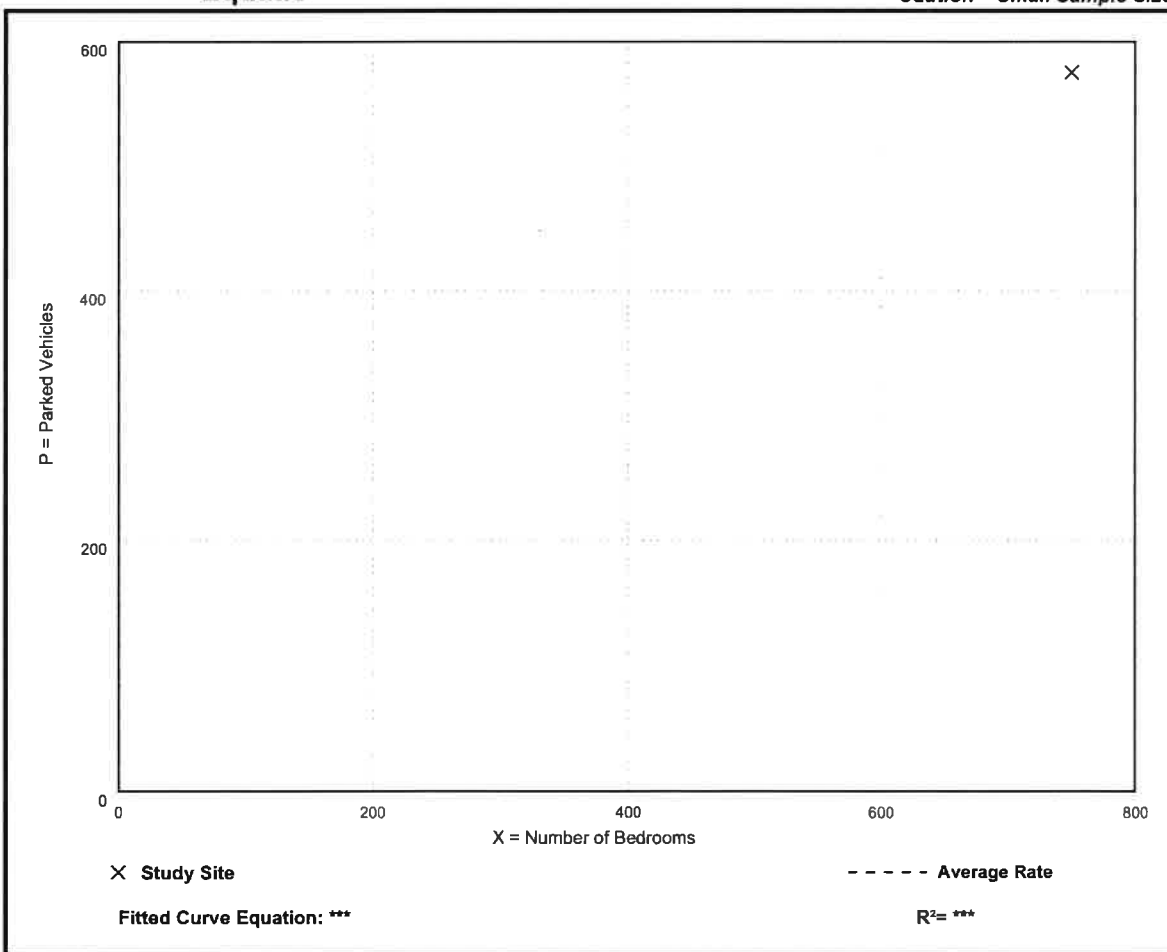
Avg. Num. of Bedrooms: 749

**Peak Period Parking Demand per Bedroom**

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.77	0.77 - 0.77	*** / ***	***	*** (*** )

**Data Plot and Equation**

*Caution – Small Sample Size*





Professional Engineers, Planners & Land Surveyors

## Carissa Minor RPD

### Narrative of Request

#### Request

The applicant is requesting rezoning approval of  $\pm 19.96$  acres from Commercial Planned Development (CPD) to a minor Residential Planned Development (RPD) to replace 100,000 SF of retail, 50,000 SF of office and 100 hotel rooms with 265 multi-family dwelling units with a maximum height of 45 feet. The property is located in the northwest quadrant of Crystal Drive and Ben C Pratt Six Mile Cypress Parkway.



#### Background

The subject property is approximately  $\pm 19.96$  acres in the northwest quadrant of Crystal Drive (private local road) and Ben C Pratt Six Mile Cypress Parkway (4-lane county-maintained controlled access facility and arterial roadway). The property lies within the South Fort Myers Planning Community and Central Urban future land use category and consists of five (5) parcels.

In 1997, the property was rezoned from AG-2 to CPD by zoning resolution Z-97-029A which allowed 100,000 SF of retail, 50,000 SF of office and 100 hotel rooms. Subsequent extensions and amendments to the CPD, Resolution Z-97-029A include:

- **SERVING THE STATE OF FLORIDA** •

- 2-Year extension of Master Concept Plan (MCP) was approved under DCI2003-00044 by blue sheet number 20030765 on August 26, 2003
- ADD2005-00126 was approved on June 27, 2005 to adopt a revised Master Concept Plan and added two environmental conditions and revised condition 7
- Z-06-007 was approved on April 3, 2006 which reinstated the vacated MCP from Z-97-029 for a maximum of 2 years
- ADD2007-00120 was approved on August 8, 2007 which modified Condition 6 of Z-06-007

There are existing valid development permits for the property as follows:

- SFWMD ERP-36-05372-P-02: Extended to September 20, 2020 with pending additional extension upon expiration
- ACOE-SAJ-1997-00067: Extended to March 23, 2021
- Development Order-DOS2007-00073 – Extended to July 11, 2021 with pending additional extension upon expiration
- Concurrency-CNC2007-00098 – Extended to July 11, 2021 with pending additional extension upon expiration

A copy of Exhibit 3.0 of the SFWMD permit is attached showing the approved SFWMD jurisdictional wetland line. The permitting was done in combination with the parcel to the south of Crystal Drive. The approved jurisdictional wetlands onsite have been impacted during utility construction. An updated environmental assessment prepared by BearPaws Environmental Consulting is attached that represents the current conditions of the site. The updated FLUCFCS map identifies ±0.53 acre of other surface waters consisting of two old cow ponds. Although old cow ponds are not typically considered wetlands, the eastern ±0.1-acre old cow pond was included within the permitted jurisdictional wetlands while the western ±0.43-acre old cow pond was specifically identified as other surface waters on Exhibit 3.0. The eastern pond within the jurisdictional wetlands will be incorporated into the wetland preserve and the western pond will be incorporated into the proposed lake. The proposed MCP shows the permitted jurisdictional wetland lines and existing/proposed impacts and preservation areas.

### **Comprehensive Plan Consistency Analysis**

The subject property is located within the South Fort Myers planning community which is described in the Comprehensive Plan Vision Statement as follows:

*South Fort Myers - This community is located in the center of Lee County. South of the City of Fort Myers, east of the Caloosahatchee River, west of the Six Mile Cypress Slough, and north of Gladiolus Drive. This community primarily has the higher intensity land use categories such as Intensive Development, Central Urban, Urban Community, Industrial Development, and Suburban. This community contains one of the county's major hospitals, a baseball spring training facility, and the local community college. This community will be nearly built out by the year 2020. The South Fort Myers Community will continue to be a core area of the county providing office area for professional services in areas such as financial and medical. There will also be an increased amount of commercial activity along the US 41 corridor and light industrial uses will continue to expand along the Metro Avenue corridor north of Daniels Parkway. The amounts of commercial and industrial uses in this community are expected to double and most of the suitable land for these uses will be developed by 2030. The residential areas of this community will also continue to develop through the year 2030 however the popularity of*

*the residential opportunities to the south in the San Carlos/Estero and Bonita communities will continue to dominate this segment of the market.*

The proposed minor RPD allows for infill development within the Central Urban area of the South Fort Myers Community. The proposed rezoning will provide additional housing options in this core area of the county, furthering the vision statement.

The subject property is located in the Central Urban future land use category as shown in the following image and has existing Wetlands on site.



The Comprehensive Plan describes the Central Urban and Wetlands future land use designations as follows:

*POLICY 1.1.3: The Central Urban areas can best be characterized as the “urban core” of the county. These consist mainly of portions of the city of Fort Myers, the southerly portion of the city of Cape Coral, and other close-in areas near these cities; and also the central portions of the city of Bonita Springs, Iona/McGregor, Lehigh Acres, and North Fort Myers. This is the part of the county that is already most heavily settled and which has or will have*

*the greatest range and highest levels of urban service--water, sewer, roads, schools, etc. Residential, commercial, public and quasi-public, and limited light industrial land uses (see Policy 7.1.6) will continue to predominate in the Central Urban area with future development in this category encouraged to be developed as a mixed use, as described in Objective 11.1, where appropriate. This category has a standard density range from four dwelling units per acre (4 du/acre) to ten dwelling units per acre (10 du/acre) and a maximum total density of fifteen dwelling units per acre (15 du/acre). The maximum total density may be increased to twenty dwelling units per acre (20 du/acre) utilizing Greater Pine Island Transfer of Development Units.*

*POLICY 1.5.1: Permitted land uses in Wetlands consist of very low density residential uses and recreational uses that will not adversely affect the ecological functions of wetlands. All development in Wetlands must be consistent with Goal 124 of this plan. The maximum density is one dwelling unit per twenty acres (1 du/20 acre) except as otherwise provided in Table 1(a) and Chapter XIII of this plan.*

The proposed minor RPD allows for infill development within the Central Urban future land use category, the second-most intense future land use category. Central Urban properties are the "urban core" of the county, with high levels of service to support intense development. The Six Mile Cypress corridor between Colonial Boulevard and Daniels Parkway has been transitioning to a major development area with several commercial and higher density residential projects emerging. Existing valid permits for the property allow all existing wetlands on the property to be impacted. A copy of Exhibit 3.0 of the SFWMD permit is attached showing the approved SFWMD jurisdictional wetland line. The permitting was done in combination with the parcel to the south of Crystal Drive. The approved jurisdictional wetlands onsite have been impacted during utility construction. An updated environmental assessment prepared by BearPaws Environmental Consulting is attached that represents the current conditions of the site. The updated FLUCFCS map identifies  $\pm 0.53$  acre of other surface waters consisting of two old cow ponds. Although old cow ponds are not typically considered wetlands, the eastern  $\pm 0.1$ -acre old cow pond was included within the permitted jurisdictional wetlands while the western  $\pm 0.43$ -acre old cow pond was specifically identified as other surface waters on Exhibit 3.0. The eastern pond within the jurisdictional wetlands will be incorporated into the wetland preserve and the western pond will be incorporated into the proposed lake. The proposed MCP shows the permitted jurisdictional wetland lines and existing/proposed impacts and preservation areas. The proposed rezoning reduces the previously permitted wetland impacts and proposes to preserve the maximum amount possible to maintain the existing approved access onto Six Mile Cypress Parkway. Table 1(a) clarification and exception 8(b) provides that dwelling units may be relocated to developable contiguous uplands designated Central Urban from preserved freshwater wetlands at the same underlying density as permitted for those uplands and impacted wetlands will be calculated at the standard Wetlands density of 1 dwelling unit per 20 acres. There is a total of 2.32 acres of impacted wetlands necessary to maintain the permitted access which will be calculated at 1 dwelling unit per 20 acres. The remaining 17.64 acres will be calculated at Central Urban density. The standard density is up to 10 units per acre, with 5 additional units per acre bonus density and 5 more additional units per acre utilizing GPITDUs for a maximum total density that could be requested on the property of 20 units per acre. Maximum density calculation is provided below:

Central Urban uplands and preserved freshwater wetlands standard density:

$$17.64 \text{ ac} \times 10 = 176.4 \text{ DU}$$

Impacted Wetlands:

$$2.32 \text{ ac} @ 1/20 = 0.12 \text{ DU}$$

Bonus Density (affordable housing or TDU):

$$17.64 \text{ ac} \times 5 = 88.2 \text{ DU}$$

GPITDUs:

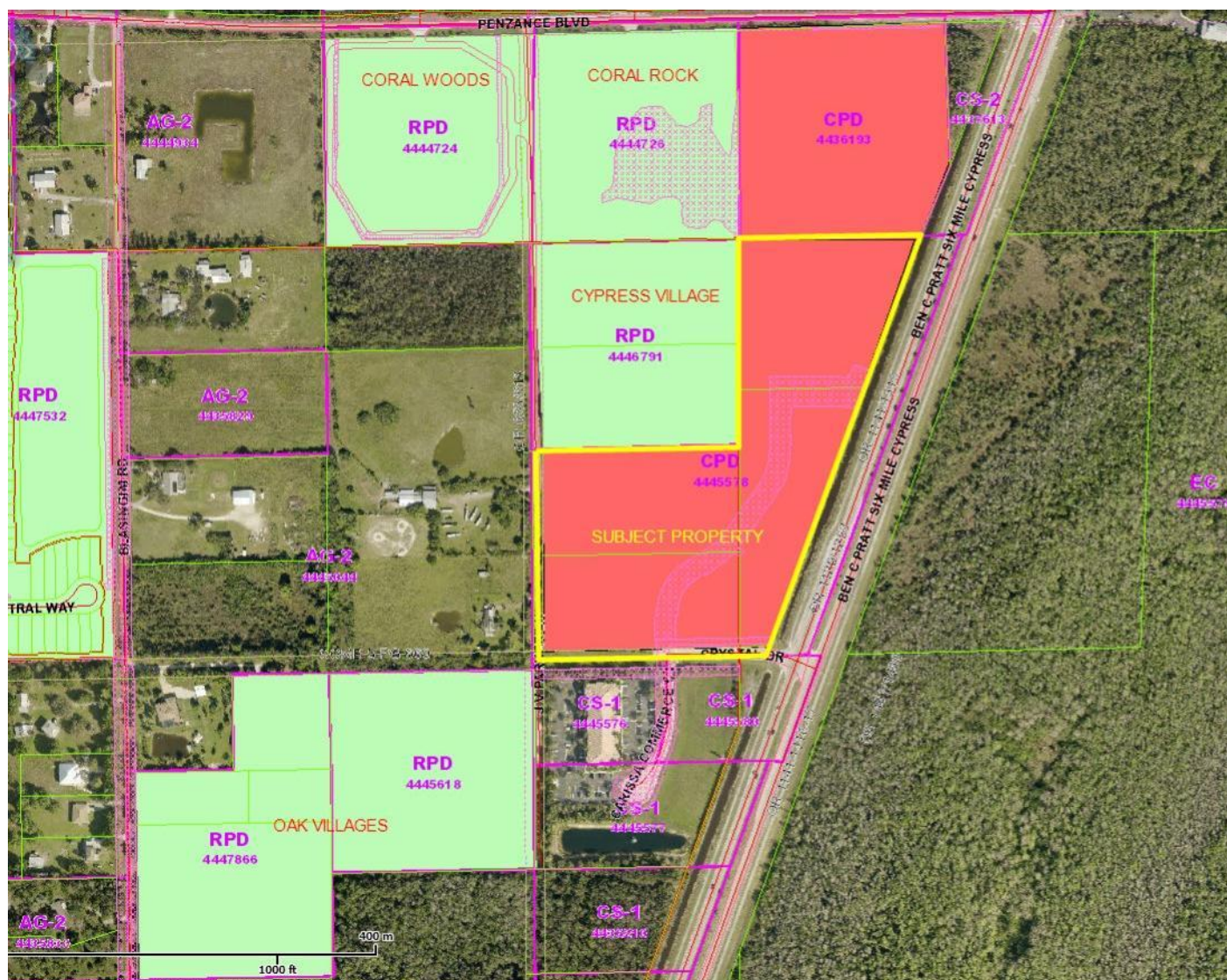
17.64 ac X 5 = 88.2 DU

Total Maximum Density that could be requested: 353 DU

The request is for 265 dwelling units on 19.96 acres resulting in a gross density of 13.3 dwelling units per acre, and upland/preserved wetland density of 15 dwelling units per acre utilizing either Transfer of Development Rights (TDR) program or the site-built or cash contribution provisions of the Affordable Housing Program. The property's location with direct access onto an arterial roadway furthers the appropriateness of the requested density.

The following table and image describe the density of nearby zoning approvals, none of which provide direct access onto an arterial roadway.

<b>Name/ Approval Date</b>	<b>Resolution/Case Number</b>	<b>Density</b>	<b>Acreage</b>	<b>Units</b>	<b>Max. Height</b>
Oak Villages RPD 12/4/2019	Z-18-006 DCI2017-00010	12.5 du/ac includes bonus density	20.96 ac	262	45'
Cypress Villages (eastern portion of Oak Villages) - 10/21/2015	Z-15-017/DCI2013-00019	13.6 du/ac includes bonus density	9.42 ac	128	45'
Cypress Village RPD 11/18/2013	Z-13-025 DCI2012-00045	9.65 du/ac	9.53 ac	92	40'
Coral Rock RPD 8/31/1998	Z-98-054 98-04-029.02Z	7.6 du/ac	9.97 ac	76	35'
Coral Woods RPD 7/20/1992	Z-92-027 88-08-11-DCI(a)	8.8 du/ac	9.53 ac	84	35'



The requested rezoning to minor RPD is consistent with Policies 1.1.3 and 1.5.1.

*POLICY 1.7.6: The Planning Communities Map and Acreage Allocation Table (see Map 16 and Table 1(b) and Policies 1.1.1 and 2.2.2) depicts the proposed distribution, extent, and location of generalized land uses for the year 2030. Acreage totals are provided for land in each Planning Community in unincorporated Lee County. No development orders or extensions to development orders will be issued or approved by Lee County that would allow the acreage totals for residential, commercial or industrial uses contained in Table 1(b) to be exceeded...*

Lee Plan Policy 1.7.6 establishes the Planning Communities Map and Acreage Allocation Table 1(b). The Central Urban FLU has 3,140 acres allocated for residential development within the South Fort Myers Planning Community with 2,781 acres existing. There are 359 acres remaining to be developed as residential which accommodates the subject request. The requested rezoning is consistent with Policy 1.7.6.

**OBJECTIVE 2.1: DEVELOPMENT LOCATION.** *Contiguous and compact growth patterns will be promoted through the rezoning process to contain urban sprawl, minimize energy costs, conserve land, water, and natural resources, minimize the cost of services, prevent development patterns where large tracts of land are by-passed in favor of development more distant from services and existing communities.*

**POLICY 2.1.1:** *Most residential, commercial, industrial, and public development is expected to occur within the designated Future Urban Areas on the Future Land Use Map through the assignment of very low densities to the non-urban categories.*

The subject property is located on Six Mile Cypress Parkway (a 4-lane arterial roadway) at its intersection with Crystal Drive which is approximately 1.4 miles north of Daniels Parkway and approximately 3.5 miles south of Colonial Boulevard. This area has become a major commercial and residential corridor as expected within the urban core of the county. This site has been deemed appropriate for development since 1997 as evidenced by the prior approvals. The proposed rezoning to RPD continues to promote a contiguous and compact growth pattern and is consistent with Objective 2.1 and Policy 2.1.1.

**OBJECTIVE 2.2: DEVELOPMENT TIMING.** *Direct new growth to those portions of the future urban areas where adequate public facilities exist or are assured and where compact and contiguous development patterns can be created. Development orders and permits (as defined in F.S. 163.3164(7)) will be granted only when consistent with the provisions of Sections 163.3202(2)(g) and 163.3180, F.S. and the concurrency requirements in the Land Development Code.*

**POLICY 2.2.1:** *Rezoning and Development of Regional Impact proposals will be evaluated as to the availability and proximity of the road network; central sewer and water lines; community facilities and services such as schools, EMS, fire and police protection, and other public facilities; compatibility with surrounding land uses; and any other relevant facts affecting the public health, safety, and welfare.*

The subject property has been deemed appropriate for development since 1997 as evidenced by the prior approvals. This area has become a major commercial and residential corridor as expected within the urban core of the county. The proposed rezoning to RPD continues to promote a compact and contiguous development pattern and is consistent with Objective 2.2 and Policy 2.2.1. The following table demonstrates the close proximity of available community facilities and services. Water and sewer services are available as demonstrated in the provided letter of availability from Lee County Utilities. There are two fire stations, two EMS stations and a sheriff substation in close proximity to the site. There are several schools and parks near the site and an existing bike lane and shared use path along Six Mile Cypress Parkway. The site is not directly served by public transit, bus route 50 is located approximately 1.4 miles from the site at the intersection of Six Mile Cypress Parkway and Daniels Parkway. There are nearby employment and commercial centers to the north along Colonial Boulevard, to the south along Daniels Parkway (including Gulf Coast Medical Center).

Facility Type	Name	Distance from site
Fire	South Trail Fire Station #62	±2.9 miles

Fire	South Trail Fire Station #61	±3.5 miles
EMS	Medic 35	±2.9 miles
EMS	Medic 1	±3.5 miles
Sheriff	Lee County Sheriff's Office	±3.8 miles
School	South Fort Myers High	±2.8 miles
School	Paul Laurence Dunbar Middle	±3 miles
School	Six Mile Charter Academy	±2.2 miles
School	Ray V. Pottorf Elementary	±3.3 miles
Park	CenturyLink Sports Complex	±2.4 miles
Park	John Yarbrough Linear Park	±2.6 miles
Park	Six Mile Cypress Slough Preserve	±0.5 mile
Park	Brooks Community Park	±4.4 miles
Park	Province Park	±4.2 miles
Transit	Lee Tran Route 50	±1.4 miles
Walkways/Bikeways	Existing bike lane along Six Mile Cypress Parkway	0'
Walkways/Bikeways	Existing shared use path along Six Mile Cypress Parkway	0'
Shopping/Dining/Employment	Daniels Parkway: Publix, Whole Foods, Rib City, Subway, Mellow Mushroom, etc.	±1.4 miles
Shopping/Dining/Employment	Challenger towards Colonial: Walmart, BJ's, Chili's, Kohl's, Publix	±3 miles

The prior approvals and existing development patterns demonstrate that the site is an appropriate location for higher intensity development. Recent case files describe the existing development patterns in the area with the most intense projects emerging adjacent to Six Mile Cypress Parkway, transitioning to lower densities and intensities further west of Six Mile Cypress Parkway. The existing approved commercial uses were deemed compatible with the surrounding properties since 1997. Properties to the north, west and south are also within the Central Urban future land use category. Property to the east across Six Mile Cypress Parkway is within the Conservation Lands Uplands and Wetlands, zoned EC and is owned by Lee County that joins to the Six Mile Slough Preserve to the north across from Penzance Boulevard. Adjacent to the north is Penzance Square CPD approved by Z-06-062/case number DCI2005-00103 which allows 90,000 square feet of commercial uses. Adjacent to the northwest quadrant is the Cypress Village RPD which was approved for 92 multi-family units (9.65 du/ac) at a maximum height of 40 feet and provides access onto JV Parker Lane, a private local road that then connects to Crystal Drive, another private local road before accessing Six Mile Cypress Parkway, an arterial roadway. The

subject property has direct access to Six Mile Cypress Parkway as well as access to Crystal Drive which provides an alternative access to Six Mile Cypress Parkway, furthering the appropriateness of the 45 feet in height and gross density of 13.3 dwelling units per acre or upland/preserved wetland density of 15 dwelling units per acre which is compatible with this adjacent property. The southwest portion of the site abuts JV Parker Lane (60' easement/private local road) then an  $\pm 18.5$  acres zoned AG-2 with 2 single-family mobile homes and grazing lands that has an existing vegetative along its frontage where the homes are located. The proposed MCP design continues to protect this adjacent property by providing a 15-foot type "D" buffer with no proposed access points while increasing wetland preservation and significantly reducing traffic impacts from the current approval. It should be noted that the Cypress Village RPD that abuts JV Parker Lane to the north was found compatible with this adjacent property by providing the same 15-foot type "D" buffer. Adjacent to the south is Crystal Drive then CS-1 zoned property developed with an existing 2-story office building. The LDC does not require proposed multi-family uses to buffer adjacent multi-family or commercial uses. The proposed multi-family is less intense than the existing approved commercial uses and will remain compatible with the surrounding uses.

*OBJECTIVE 4.1: WATER, SEWER, AND ENVIRONMENTAL STANDARDS. Consider water, sewer, and environmental standards during the rezoning process. Ensure the standards are met prior to issuing a local development order.*

*STANDARD 4.1.1: WATER. 1 Any new residential development that exceeds 2.5 dwelling units per gross acre, and any new single commercial or industrial development in excess of 30,000 square feet of gross leasable (floor) area per parcel, must connect to a public water system (or a "community" water system as that is defined by Chapter 62-550, F.A.C.).*

*STANDARD 4.1.2: SEWER. 1. Any new residential development that exceeds 2.5 dwelling units per gross acre, and any new single commercial or industrial development that generates more than 5,000 gallons of sewage per day, must connect to a sanitary sewer system.*

The development will be served by Lee County Utilities providing potable water and sanitary sewer. A letter of availability has been provided with the application demonstrating that Lee County Utilities has sufficient capacity to service the development. The requested rezoning is consistent with Objective 4.1, Standard 4.1.1, and Standard 4.1.2.

*STANDARD 4.1.4: ENVIRONMENTAL FACTORS. 1. In any case where there exists or there is the probability of environmentally sensitive areas (as identified by Lee County, the Corps of Engineers, Department of Environmental Protection, South Florida Water Management District, or other applicable regulatory agency), the developer/applicant must prepare an environmental assessment that examines the existing conditions, addresses existing or anticipated environmental problems, and proposes means and mechanisms to protect, conserve, or preserve the environmental and natural resources.*

There are  $\pm 5.71$  acres of existing wetlands on the site as demonstrated by the Environmental Assessment and Protected Species Survey Report prepared by BearPaws Environmental Consulting submitted with the application. The existing vegetation on site is highly invaded by

exotic vegetation and no protected species or signs thereof observed on-site. The existing SFWMD permit (ERP #36-05372-P-02) allowed impacts to the  $\pm 6.53$  acres of jurisdictional wetlands on site; however wetland impacts will be reduced to only  $\pm 2.32$  acres and the remaining  $\pm 4.21$  acres will be preserved and enhanced by exotic removal. A copy of Exhibit 3.0 of the SFWMD permit is attached showing the approved SFWMD jurisdictional wetland line. The permitting was done in combination with the parcel to the south of Crystal Drive. The approved jurisdictional wetlands onsite have been impacted during utility construction. An updated environmental assessment prepared by BearPaws Environmental Consulting is attached that represents the current conditions of the site which reflects the  $\pm 5.71$  acres of remaining wetlands. The updated FLUCFCS map identifies  $\pm 0.53$  acre of other surface waters consisting of two old cow ponds. Although old cow ponds are not typically considered wetlands, the eastern  $\pm 0.1$ -acre old cow pond was included within the permitted jurisdictional wetlands while the western  $\pm 0.43$ -acre old cow pond was specifically identified as other surface waters on Exhibit 3.0. The eastern pond within the jurisdictional wetlands will be incorporated into the wetland preserve and the western pond will be incorporated into the proposed lake. The proposed MCP shows the permitted jurisdictional wetland lines and existing/proposed impacts and preservation areas. The proposed rezoning reduces the previously permitted wetland impacts and proposes to preserve the maximum amount possible to maintain the existing approved access onto Six Mile Cypress Parkway. The requested rezoning is consistent with Standard 4.1.4.

*GOAL 5: RESIDENTIAL LAND USES. To provide sufficient land in appropriate locations on the Future Land Use Map to accommodate the projected population of Lee County in the year 2030 in attractive and safe neighborhoods with a variety of price ranges and housing types.*

*OBJECTIVE 5.1: All development approvals for residential, commercial, and industrial land uses must be consistent with the following policies, the general standards under Goal 4, and other provisions of this plan.*

*POLICY 5.1.1: Residential developments requiring rezoning and meeting Development of County Impact (DCI) thresholds must be developed as planned residential developments.*

There is sufficient acreage allocated in the South Fort Myers Planning Community's Central Urban future land use category to accommodate the request. The proposed rezoning is consistent with Goal 4 as demonstrated above and is proposed as a minor residential planned development. The rezoning request is consistent with Goal 5, Objective 5.1, Policy 5.1.1.

*POLICY 5.1.2: Prohibit residential development where physical constraints or hazards exist, or require the density and design to be adjusted accordingly. Such constraints or hazards include but are not limited to flood, storm, or hurricane hazards; unstable soil or geologic conditions; environmental limitations; aircraft noise; or other characteristics that may endanger the residential community.*

There are no hazards associated with the subject property furthering the appropriateness for residential development. There are existing approved and valid permits to impact all of the existing wetlands on site and the subject application proposes to adjust the design to reduce impacts to the minimum required to maintain the existing approved access onto Six Mile Cypress Parkway. The request is consistent with Policy 5.1.2.

*POLICY 5.1.3: During the rezoning process, direct high-density residential developments to locations that are near employment and shopping centers; are close to parks and schools; and are accessible to mass transit and bicycle facilities.*

The site has multiple employment and shopping centers within the vicinity of the project all along the Six Mile Cypress corridor with major nearby employment and commercial centers to the south along Daniels Parkway (including Gulf Coast Medical Center) and to the north along Colonial Boulevard. There are several parks and schools located in the vicinity and an existing bike lane and shared use path along Six Mile Cypress Parkway as demonstrated in the public facilities table on page 7 of this report. Although the site is not directly served by public transit, bus route 50 is located approximately 1.4 miles from the site at the intersection of Six Mile Cypress Parkway and Daniels Parkway. The requested rezoning is consistent with Policy 5.1.3.

*POLICY 5.1.5: Protect existing and future residential areas from any encroachment of uses that are potentially destructive to the character and integrity of the residential environment. Requests for conventional rezonings will be denied in the event that the buffers provided in Chapter 10 of the Land Development Code are not adequate to address potentially incompatible uses in a satisfactory manner. If such uses are proposed in the form of a planned development or special exception and generally applicable development regulations are deemed to be inadequate, conditions will be attached to minimize or eliminate the potential impacts or, where no adequate conditions can be devised, the application will be denied altogether. The Land Development Code will continue to require appropriate buffers for new developments.*

The prior approvals and existing development patterns demonstrate that the site is an appropriate location for higher intensity development. Recent case files describe the existing development patterns in the area with the most intense projects emerging adjacent to Six Mile Cypress Parkway, transitioning to lower densities and intensities further west of Six Mile Cypress Parkway. The existing approved commercial uses were deemed compatible with the surrounding properties since 1997. The requested rezoning to minor RPD is compatible with the adjacent RPD zoning approvals. The southwest portion of the site abuts JV Parker Lane (60' easement/private local road) then an  $\pm 18.5$  acres zoned AG-2 with 2 single-family mobile homes and grazing lands that has an existing vegetative along its frontage where the homes are located. The proposed MCP design protects this adjacent property by providing a 15-foot type "D" buffer. It should be noted that the Cypress Village RPD that abuts JV Parker Lane to the north was found compatible with this adjacent property by providing the same 15-foot type "D" buffer. The request is consistent with Policy 5.1.5 as it is consistent with existing development approval patterns and continues to protect the agricultural and residential parcel and neighborhood to the west by providing the 15-foot type "D" buffer along JV Parker Lane with no proposed access points while increasing wetland preservation and significantly reducing traffic impacts from the current approval.

*POLICY 5.1.6: Maintain development regulations that require high-density, multi-family, cluster, and mixed-use developments to have open space, buffering, landscaping, and recreation areas appropriate to their density and design.*

*POLICY 5.1.7: Maintain development regulations that require that community facilities (such as park, recreational, and open space areas) in residential developments are functionally related to all dwelling units and easily accessible via pedestrian and bicycle pathways. These pathways must be interconnected with adjoining developments and public pathways whenever possible. Townhouses, condominiums, apartments, and other types of multi-family residential development must have directly accessible common open space.*

The proposed development will meet or exceed the required open space, buffering and landscaping requirements and provides a recreation area appropriate for the design and density. The site will provide internal sidewalks at the time of development order that will connect to the existing sidewalk on Crystal Drive and the existing shared use path and bike lanes along Six Mile Cypress Parkway. The proposed minor RPD is consistent with Policies 5.1.6 and 5.1.7.

### **Land Development Code Analysis**

The proposed rezoning complies with the Land Development Code (LDC) Section 2-146 minimum requirements for the Bonus Density Program as follows:

- (a) *Applicants must comply with the minimum requirements set forth herein to be eligible to participate in the bonus density program through use of one of the following incentive programs:*
- (1) *Affordable Housing Program in accordance with the site-built provisions or the cash contribution provisions set forth in Administrative Code 13-5.*
  - (2) *Transfer of Development Rights (TDR) Program in accordance with the provisions set forth in Administrative Code 13-5. The additional traffic will not be required to travel through areas with significantly lower densities before reaching the nearest collector or arterial road; and*

The rezoning request includes a request for 88 bonus density units through use of either the Affordable Housing Program in accordance with the site-built provisions or the cash contribution provisions or the Transfer of Development Rights (TDR) program. Development option will be determined at the time of development order.

- b) *Minimum requirements:*
- (1) *The additional traffic will not be required to travel through areas with significantly lower densities before reaching the nearest collector or arterial road; and*

The traffic generated by this request will have direct access to Six Mile Cypress Parkway, an arterial roadway and secondary access via Crystal Drive which provides an alternate access to Six Mile Cypress Parkway. The traffic will be significantly reduced by that which is approved today and will not be required to travel through any areas before reaching the adjacent arterial road.

- (2) *Existing and committed public facilities are not so overwhelmed that a density increase would be contrary to the overall public interest; and*

The existing zoning approval allows for 100,000 square feet of commercial retail, 50,000 square feet of office and 100 hotel rooms. The submitted Traffic Impact Statement demonstrates that

265 multi-family units will result in reductions of  $\pm 75\%$  in the AM peak hour,  $\pm 85\%$  in the PM peak hour and  $\pm 83\%$  over the entire weekday. Additionally, all roadway links are shown to operate at or above the Level of Service Standards when the development traffic is added to the surrounding road network. The submitted letter of availability from Lee County Utilities confirms that there is sufficient capacity to provide potable water and sanitary sewer service for up to 300 units which covers the subject request.

- (3) Storm shelters or other appropriate mitigation is provided if the development is located within the coastal high hazard area as defined in section 2-483.*

The subject property is not located within the coastal high hazard area.

- (4) The resulting development will be compatible with existing and planned surrounding land uses.*

The prior approvals and existing development patterns demonstrate that the site is an appropriate location for higher intensity development. Recent case files describe the existing development patterns in the area with the most intense projects emerging adjacent to Six Mile Cypress Parkway, transitioning to lower densities and intensities further west of Six Mile Cypress Parkway. The existing approved commercial uses were deemed compatible with the surrounding properties since 1997. Properties to the north, west and south are also within the Central Urban future land use category. Property to the east across Six Mile Cypress Parkway is within the Conservation Lands Uplands and Wetlands, zoned EC and is owned by Lee County that joins to the Six Mile Slough Preserve to the north across from Penzance Boulevard. Adjacent to the north is Penzance Square CPD approved by Z-06-062/case number DCI2005-00103 which allows 90,000 square feet of commercial uses. Adjacent to the northwest quadrant is the Cypress Village RPD which was approved for 92 multi-family units (9.65 du/ac) at a maximum height of 40 feet and provides access onto JV Parker Lane, a private local road that then connects to Crystal Drive, another private local road before accessing Six Mile Cypress Parkway, an arterial roadway. The subject property has direct access to Six Mile Cypress Parkway as well as access to Crystal Drive which provides an alternative access to Six Mile Cypress Parkway, furthering the appropriateness of the 45 feet in height and gross density of 13.3 dwelling units, per acre/upland density of 15 dwelling units per acre which is compatible with this adjacent property. The southwest portion of the site abuts JV Parker Lane (60' easement/private local road) then an  $\pm 18.5$  acres zoned AG-2 with 2 single-family mobile homes and grazing lands that has an existing vegetative along its frontage where the homes are located. The proposed MCP design continues to protect this adjacent property by providing a 15-foot type "D" buffer with no proposed access points while increasing wetland preservation and significantly reducing traffic impacts from the current approval. It should be noted that the Cypress Village RPD that abuts JV Parker Lane to the north was found compatible with this adjacent property by providing the same 15-foot type "D" buffer. Adjacent to the south is Crystal Drive then CS-1 zoned property developed with an existing 2-story office building. The LDC does not require proposed multi-family uses to buffer adjacent multi-family or commercial uses. The proposed multi-family is less intense than the existing approved commercial uses and will remain compatible with the surrounding uses.

- (c) *Assisted living facilities are eligible for bonus density through the TDR Program or through the Affordable Housing Program when annual rental rates, including all services, do not exceed the levels established for eligible households. Where the cash-contribution bonus density option is used, the cash contribution must be applied for each dwelling unit or its equivalent unit, as provided in section 34-1494, built above the standard density.*

The rezoning request does not include assisted living facilities.

- (d) *The barrier and coastal islands, including but not limited to Gasparilla Island, Cayo Costa, North Captiva, Captiva Island, Buck Key, and Black Island are not eligible to receive bonus density, with the following exceptions:*
- (1) *Only the portion of Greater Pine Island defined in the Lee Plan as Pine Island Center is eligible to receive Greater Pine Island TDUs subject to this article and the Lee Plan. Suburban designated lands within the Greater Pine Island Planning Community are not eligible receiving lands for any TDUs.*
  - (2) *Work force housing may be developed on barrier islands within the Mixed Use Overlay if transit is available and bonus density is approved through the Affordable Housing Program.*

Not applicable.

- (e) *TDUs may not be utilized on property located within the coastal high hazard area as defined in section 2-483 or located within the Bayshore, Buckingham, Caloosahatchee Shores, or Northeast Lee County Planning Communities. Within the Southeast Lee County Planning Community, TDUs may only be used as described in section 2-154.*

The property is not located within the coastal high hazard area and is not located in any of the listed planning communities.

The proposed rezoning complies with the general standards provided in the Land Development Code Section 34-411 as follows:

- (a) *All planned developments must be consistent with the provisions of the Lee Plan.*

The proposed rezoning to minor RPD is consistent with the Comprehensive Plan as demonstrated above.

- (b) *All planned developments must be designed and constructed in accordance with the provisions of all applicable County development regulations in force at that time. Deviations from the general provisions of this chapter may be permitted if requested as part of the application for a planned development in accordance with section 34-373(a)(9) and approved by the Board of County Commissioners based on the findings established in section 34-377(b)(4). Pursuant to section 34-373(a)(10) the establishment of property*

*development regulations for planned developments does not require deviations from articles VI and VII of this chapter. Amendments to approved master concept plans may be reviewed pursuant to section 34-380.*

The proposed development will comply with applicable Lee County regulations, together with approval of the requested deviations. All requested deviations enhance the achievement of the objectives of the planned development and preserve and promote the general intent of the LDC to protect the public health, safety and welfare as demonstrated in the submitted Schedule of Deviations and Justifications.

*(c) The tract or parcel proposed for development under this article must be located so as to minimize the negative effects of the resulting land uses on surrounding properties and the public interest generally, and must be of such size, configuration and dimension as to adequately accommodate the proposed structures, all required open space, including private recreational facilities and parkland, bikeways, pedestrian ways, buffers, parking, access, on-site utilities, including wet or dry runoff retention, and reservations of environmentally sensitive land or water.*

The proposed rezoning to minor RPD is compatible with surrounding properties and the 19.96± acre site is adequate size, configuration and dimension to accommodate the proposed use, open space, recreational facilities, buffers, pedestrian ways, access, utilities and storm water management. Although the request includes a parking deviation, a parking study has been provided demonstrating the reduced demand. The deviation provides parking above and beyond the minimum requirements provided in the study and provides for increased wetland preservation areas on-site which have existing permits to be fully impacted.

*(d) All planned developments must have access to existing or proposed roads. Access must comply with the requirements of chapter 10 and be located so that site-related industrial traffic does not travel through predominantly residential areas.*

Please see Traffic Impact Statement provided with the application. The proposed minor RPD maintains the same previously approved access points to Six Mile Cypress Parkway (arterial roadway and controlled access facility) and Crystal Drive (a private local road). There will be no site-related industrial traffic.

*(e) If within the Lee Tran public transit service area, the development shall be designed to facilitate the use of the transit system.*

The site is not within the Lee Tran public transit service area. Bus route 50 is located approximately 1.4 miles from the site at the intersection of Six Mile Cypress Parkway and Daniels Parkway.

*(f) Development and subsequent use of the planned development shall not create or increase hazards to persons or property, whether on or off the site, by increasing the probability or degree of flood, erosion or other danger, nor shall it impose a nuisance on*

*surrounding land uses or the public's interest generally through emissions of noise, glare, dust, odor, air or water pollutants.*

The proposed minor RPD will not create any hazards to persons or property and will comply with applicable regulations.

*(g) Every effort shall be made in the planning, design and execution of a planned development to protect, preserve or to not unnecessarily destroy or alter natural, historic or archaeological features of the site, particularly mature native trees and other threatened or endangered native vegetation. Alteration of the vegetation or topography that unnecessarily disrupts the surface water or groundwater hydrology, increases erosion of the land, or destroys significant wildlife habitat is prohibited. That habitat is significant that is critical for the survival of rare, threatened or endangered species of flora or fauna.*

There are ±5.71 acres of existing wetlands on the site as demonstrated by the Environmental Assessment and Protected Species Survey Report prepared by BearPaws Environmental Consulting submitted with the application. The existing vegetation on site is highly invaded by exotic vegetation and no protected species or signs thereof observed on-site. The existing SFWMD permit (ERP #36-05372-P-02) allowed impacts to the ±6.53 acres of jurisdictional wetlands on site; however wetland impacts will be reduced to only ±2.32 acres and the remaining ±4.21 acres will be preserved and enhanced by exotic removal. A copy of Exhibit 3.0 of the SFWMD permit is attached showing the approved SFWMD jurisdictional wetland line. The permitting was done in combination with the parcel to the south of Crystal Drive. The approved jurisdictional wetlands onsite have been impacted during utility construction. An updated environmental assessment prepared by BearPaws Environmental Consulting is attached that represents the current conditions of the site which reflects the ±5.71 acres of remaining wetlands. The updated FLUCFCS map identifies ±0.53 acre of other surface waters consisting of two old cow ponds. Although old cow ponds are not typically considered wetlands, the eastern ±0.1-acre old cow pond was included within the permitted jurisdictional wetlands while the western ±0.43-acre old cow pond was specifically identified as other surface waters on Exhibit 3.0. The eastern pond within the jurisdictional wetlands will be incorporated into the wetland preserve and the western pond will be incorporated into the proposed lake. The proposed MCP shows the permitted jurisdictional wetland lines and existing/proposed impacts and preservation areas. The proposed rezoning reduces the previously permitted wetland impacts and proposes to preserve the maximum amount possible to maintain the existing approved access onto Six Mile Cypress Parkway. See submitted Description of Surface Water Management Plan. The proposed drainage system will preserve existing drainage patterns and not block any runoff overflow from adjacent properties.

*(h) A fundamental principle of planned development design is the creative use of the open space requirement to produce an architecturally integrated human environment. This shall be coordinated with the achievement of other goals, e.g., the preservation or conservation of environmentally sensitive land and waters or archaeological sites.*

The proposed RPD provides open space and preservation areas along the Six Mile Cypress Parkway frontage except where impacts are necessary to maintain the previously approved access point. Buildings views are oriented along the preservation areas to the maximum extent possible to create an architecturally integrated human environment. The clubhouse area is located adjacent to the existing commercial development to the south across Crystal Drive.

*(i) Site planning and design shall minimize any negative impacts of the planned development on surrounding land and land uses.*

The proposed development has been designed to minimize any potential negative effects on the surrounding properties and the public interest generally. The proposed development is compatible infill development and has been approved for commercial uses since 1997. The proposed multi-family uses are less intense and remain compatible. The LDC does not provide buffering requirements for multi-family developments where abutting multi-family or commercial uses further demonstrating the compatibility of the proposed use. The proposed Master Concept Plan continues to protect the agricultural and residential parcel to the west by continuing to provide a 15-foot type "D" buffer along JV Parker Lane while increasing wetland preservation and significantly reducing traffic impacts from the current approval as evidenced by the submitted traffic impact statement.

*(j) Where a proposed planned development is surrounded by existing development or land use with which it is compatible and of an equivalent intensity of use, the design emphasis shall be on the integration of this development with the existing development, in a manner consistent with current regulation.*

The requested minor RPD provides compatible infill development as it is consistent with existing development approval patterns with the most intense projects emerging adjacent to Six Mile Cypress Parkway, transitioning to lower densities and intensities further west of Six Mile Cypress Parkway. The existing approvals for commercial development on the site were deemed compatible since 1997 and the proposed minor RPD remains compatible with surrounding existing development and approvals. Required sidewalks along roadways provide integration with the adjacent developments since existing site designs on adjacent planned developments do not provide for interconnects. The site design buffers and separates the residential and agricultural grazing lands across JV Parker Lane to the west.

*(k) Where the proposed planned development is surrounded by existing development or land use with which it is not compatible or which is of a significant higher or lower intensity of use (plus or minus ten percent of the gross floor area per acre if a commercial or industrial land use, or plus or minus 20 percent of the residential density), or is surrounded by undeveloped land or water, the design emphasis will be to separate and mutually protect the planned development and its environs.*

The requested minor RPD provides compatible infill development as it is consistent with existing development approval patterns with the most intense projects emerging adjacent to Six Mile Cypress Parkway, transitioning to lower densities and intensities further west of Six Mile Cypress Parkway. The existing approvals for commercial development on the site were deemed compatible since 1997 and the proposed minor RPD remains compatible with surrounding existing development and approvals. The proposed Master Concept Plan continues to separate and protect the agricultural and residential property to the west across JV Parker Lane by providing the 15-foot type "D" buffer with no access points along this property line while increasing wetland preservation and significantly reducing traffic impacts from the current approval as evidenced by the submitted traffic impact statement.

*(l) In large residential or commercial planned developments, the site planner is encouraged to create subunits, neighborhoods or internal communities which promote pedestrian activity and community interaction.*

The proposed MCP demonstrates an integrated and interconnected community with development pods to the north and south separated by the proposed preservation areas which are internally connected and share amenities. The onsite sidewalks will interconnect with the shared use path on Six Mile Cypress Parkway and the existing sidewalk on Crystal Drive promoting pedestrian activity and community interaction.

*(m) In order to enhance the viability and value of the resulting development, the designer shall ensure the internal buffering and separation of potentially conflicting uses within the planned development.*

There will be no conflicting uses within the planned development.

*(n) Density or type of use, height and bulk of buildings and other parameters of intensity should vary systematically throughout the planned development. This is intended to permit the location of intense or obnoxious uses away from incompatible land uses at the planned development's perimeter, or, conversely, to permit the concentration of intensity where it is desirable, e.g., on a major road frontage or at an intersection.*

The requested rezoning to minor RPD does not include any intense or obnoxious uses and is compatible with the land uses at the development's perimeter. Since the proposed development is compatible, it is not necessary to vary development parameters.

*(o) Minimum parking and loading requirements are set forth in article VII, divisions 25 and 26, of this chapter. Where land uses are generators of occasional peak demand for parking space, a portion of the required parking may be pervious or semi-pervious surfaces, subject to the condition that the parking area is constructed and maintained so as to prevent erosion of soil. In all cases, sufficient parking must be provided to prevent the spilling over of parking demand onto adjacent properties or rights-of-way at times of peak demand.*

The proposed minor RPD includes requests for parking related deviations to allow stacking in private accessory garages and to allow an alternate parking calculation based upon the submitted Parking Demand Study supplied with the Schedule of Deviations and Justifications. The requested parking calculation deviation provides approximately 27% more than the peak demand study per unit results, 25% more spaces than the demand study per bedroom results, and 30% more than ITE Parking Generation Manual provides. Sufficient parking is provided to prevent spill over.

*(p) Internal consistency through sign control, architectural controls, uniform planting schedules and other similar controls is encouraged.*

The proposed minor RPD will be developed with internally consistent signage, architecture and planting schedules.

The proposed amendment complies with the findings provided in the Land Development Code Section 34-145(d)(4)a.1 as follows:

*a. Complies with the Lee Plan;*

The request is consistent with the densities, intensities and general uses set forth for the Central Urban future land use designation and is consistent with the Comprehensive Plan as demonstrated above.

*b. Meets this Code and other applicable County regulations or qualifies for deviations;*

The site will be developed in compliance with the Comprehensive Plan and the Land Development Code, together with approval of the requested deviations. All requested deviations enhance the achievement of the objectives of the planned development and preserve and promote the general intent of the LDC to protect the public health, safety and welfare as demonstrated in the submitted Schedule of Deviations and Justifications.

*c. Is compatible with existing and planned uses in the surrounding area;*

The existing approved commercial uses were deemed compatible with the surrounding properties since 1997. Properties to the north, west and south are also within the Central Urban future land use category. Property to the east across Six Mile Cypress Parkway is within the Conservation Lands Uplands and Wetlands, zoned EC and is owned by Lee County that joins to the Six Mile Slough Preserve to the north across from Penzance Boulevard. Adjacent to the north is Penzance Square CPD approved by Z-06-062/case number DCI2005-00103 which allows 90,000 square feet of commercial uses. Adjacent to the northwest quadrant is the Cypress Village RPD which was approved for 92 multi-family units (9.65 du/ac) at a maximum height of 40 feet and provides access onto JV Parker Lane, a private local road that then connects to Crystal Drive, another private local road before accessing Six Mile Cypress Parkway, an arterial roadway. The subject property has direct access to Six Mile Cypress Parkway as well as access to Crystal Drive which provides an alternative access to Six Mile Cypress Parkway, furthering the appropriateness of the 45 feet in height and gross density of 13.3 dwelling units per acre/upland density of 15 dwelling units per acre which is compatible with this adjacent property. The southwest portion of the site abuts JV Parker Lane (60' easement/private local road) then an ±18.5 acres zoned AG-2 with 2 single-family mobile homes and grazing lands that has an existing vegetative along its frontage where the homes are located. The proposed MCP design continues to protect this adjacent property by providing a 15-foot type "D" buffer with no proposed access points while increasing wetland preservation and significantly reducing traffic impacts from the current approval. It should be noted that the Cypress Village RPD that abuts JV Parker Lane to the north was found compatible with this adjacent property by providing the same 15-foot type "D" buffer. Adjacent to the south is Crystal Drive then CS-1 zoned property developed with an existing 2-story office building. The LDC does not require proposed multi-family uses to buffer adjacent multi-family or commercial uses. The proposed multi-family is less intense than the existing approved commercial uses and will remain compatible with the surrounding uses.

*d. Will provide access sufficient to support the proposed development intensity;*

Please see Traffic Impact Statement provided with the application. The existing zoning approval allows for 100,000 square feet of commercial retail, 50,000 square feet of office and 100 hotel rooms. The proposed minor RPD maintains the same previously approved access points to Six Mile Cypress Parkway (arterial roadway and controlled access facility) and Crystal Drive (a private local road). The submitted Traffic Impact Statement demonstrates that 265 multi-family units will result in reductions of  $\pm 75\%$  in the AM peak hour,  $\pm 85\%$  in the PM peak hour and  $\pm 83\%$  over the entire weekday. The access provided is sufficient to support the proposed development intensity.

*e. The expected impacts on transportation facilities will be addressed by existing County regulations and conditions of approval;*

The submitted Traffic Impact Statement demonstrates that 265 multi-family units will result in reductions from existing approved intensity of  $\pm 75\%$  in the AM peak hour,  $\pm 85\%$  in the PM peak hour and  $\pm 83\%$  over the entire weekday. Additionally, all roadway links are shown to operate at or above the Level of Service Standards when the development traffic is added to the surrounding road network. The expected impacts will be addressed by existing County regulations.

*f. Will not adversely affect environmentally critical or sensitive areas and natural resources; and*

There are  $\pm 5.71$  acres of existing wetlands on the site as demonstrated by the Environmental Assessment and Protected Species Survey Report prepared by BearPaws Environmental Consulting submitted with the application. The existing vegetation on site is highly invaded by exotic vegetation and no protected species or signs thereof observed on-site. The existing SFWMD permit (ERP #36-05372-P-02) allowed impacts to the  $\pm 6.53$  acres of wetlands; however wetland impacts will be reduced to only  $\pm 2.32$  acres and the remaining  $\pm 4.21$  acres will be preserved and enhanced by exotic removal. A copy of Exhibit 3.0 of the SFWMD permit is attached showing the approved SFWMD jurisdictional wetland line. The permitting was done in combination with the parcel to the south of Crystal Drive. The approved jurisdictional wetlands onsite have been impacted during utility construction. An updated environmental assessment prepared by BearPaws Environmental Consulting is attached that represents the current conditions of the site. The updated FLUCFCS map identifies  $\pm 0.53$  acre of other surface waters consisting of two old cow ponds. Although old cow ponds are not typically considered wetlands, the eastern  $\pm 0.1$ -acre old cow pond was included within the permitted jurisdictional wetlands while the western  $\pm 0.43$ -acre old cow pond was specifically identified as other surface waters on Exhibit 3.0. The eastern pond within the jurisdictional wetlands will be incorporated into the wetland preserve and the western pond will be incorporated into the proposed lake. The proposed MCP shows the permitted jurisdictional wetland lines and existing/proposed impacts and preservation areas. The proposed rezoning reduces the previously permitted wetland impacts and proposes to preserve the maximum amount possible to maintain the existing approved access onto Six Mile Cypress Parkway.

*g. Will be served by urban services, defined in the Lee Plan, if located in a Future Urban area category.*

A table demonstrating the close proximity of available community facilities and services is provided on page 7. Water and sewer services are available as demonstrated in the provided letter of availability from Lee County Utilities. There are two fire stations, two EMS stations and a sheriff substation in close proximity to the site. There are several schools and parks near the site and an existing bike lane and shared use path along Six Mile Cypress Parkway. The site is not directly served by public transit, bus route 50 is located approximately 1.4 miles from the site at the intersection of Six Mile Cypress Parkway and Daniels Parkway. There are nearby employment and commercial centers to the north along Colonial Boulevard, to the south along Daniels Parkway (including Gulf Coast Medical Center).

The proposed amendment complies with the findings provided in the Land Development Code Section 34-145(d)(4)a.2 as follows:

- a) *The proposed use or mix of uses is appropriate at the proposed location;*
- b) *The recommended conditions provide sufficient safeguards to the public interest and are reasonably related to the impacts on the public's interest expected from the proposed development.*
- c) *If the application includes deviations pursuant to section 34-373(a)(9), that each requested deviation:*
  - 1) *Enhances the achievement of the objectives of the planned development; and*
  - 2) *Preserves and promotes the general intent of this Code to protect the public health, safety and welfare.*

The proposed rezoning to minor RPD is appropriate at this location. The prior approvals and existing development patterns demonstrate that the site is an appropriate location for higher intensity development. Recent case files in the area describe the existing development patterns in the area with the most intense projects emerging adjacent to Six Mile Cypress Parkway, transitioning to lower densities and intensities further west of Six Mile Cypress Parkway. The existing RPD zonings in the area do not have direct access onto an arterial roadway such as the subject property furthering the appropriateness of the requested density. Conditions of approval will require the RPD to be consistent with the proposed MCP which provides sufficient safeguards to the public interest. All requested deviations enhance the achievement of the objectives of the planned development and preserve and promote the general intent of the LDC to protect the public health, safety and welfare as demonstrated in the submitted Schedule of Deviations and Justifications.

In conclusion, the proposed rezoning to minor RPD allows for infill development on a site that has been permitted for urban development since 1997. The request is in compliance with the Lee County Comprehensive Plan, the Land Development Code, together with approval of the requested deviations, and other applicable codes and regulations; is compatible with existing and planned uses in the surrounding area; will provide access sufficient to support the proposed development intensity; the expected impacts on transportation facilities will be addressed by existing County regulations and conditions of approval; will not adversely affect environmentally critical or sensitive areas and natural resources; and will be served by urban services, defined in the Lee Plan. The proposed use is appropriate at the proposed location; conditions provide

sufficient safeguards to the public interest and are reasonably related to the impacts on the public's interest expected from the proposed development. All requested deviations enhance the achievement of the objectives of the planned development and preserve and promote the general intent of the LDC to protect the public health, safety and welfare. For these reasons, the applicant respectfully submits that the rezoning request from CPD to minor RPD should be approved.



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## Carissa Minor RPD

# Property Development Regulations

### Minimum Lot Area and Dimensions:

Area:	10,000 square feet
Width:	100 feet
Depth:	100 feet

### Minimum Building Setbacks:

Side Yard	20 feet
Rear Yard	20 feet
Waterbody	20 feet
Street:	
Public:	25 feet
Private:	20 feet

### Accessory Structures:

Rear:	5 feet
Side:	5 feet

Maximum Lot Coverage: 45 percent

Maximum Building Height: 45 feet

Minimum Building Separation: 20 feet



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## **Carissa Minor RPD Rare & Unique Upland Habitat Map**

There are no rare or unique upland habitat on the site.



Professional Engineers, Planners & Land Surveyors

## Carrisa Minor RPD

### Schedule of Deviations and Justifications

The previous zoning approvals included eight deviation requests and approved four (deviations 3-reduced indigenous vegetation, 5-increased signage, 6-lake right-of-way setbacks and 7-commercial buffer reduction) with the remaining being either withdrawn or denied. These deviations are no longer applicable to the subject request.

The subject request includes the following requested deviations:

**Deviation (1):** A request for relief from LDC Section 10-261(a) solid waste facilities provision of container spaces which requires 216 SF (120 + 96) for first 25 multi-family units plus 8 SF for each additional unit; to allow 100 SF space for recyclable materials and space for the trash compactor.

Justification: The requested deviation is included in LDC Section 10-104(a)(1) list of provisions where the Development Services Director is authorized to grant administrative deviations. This deviation is necessary to allow one central location for the trash compactor and recyclable area instead of requiring multiple stops for solid waste collection. The requested deviation is internal to the site and enhances the achievement of the objectives of the planned development and will preserve and promote the general intent to protect the public health, safety and welfare. The provided collection area has been situated off the internal roadway for aesthetic purposes as shown on the Master Concept Plan. The collection area location is buffered internally and externally by preservation areas. The solid waste collection area enclosure meets setbacks, consistent with LDC Section 10-261(e) requirement that enclosures may not be located within or encroach into the required perimeter landscape buffer width. Written approval from Lee County Solid Waste will be provided prior to development order approval. The request is also consistent with the applicable criteria for administrative deviations contained in LDC Section 10-104(b): (1) The alternative proposed to the standards contained herein is based on sound engineering practices (2) The alternative is no less consistent with the health, safety and welfare of abutting landowners and the general public than the standard from which the deviation is being requested; (3) not applicable; (4) The granting of the deviation is not inconsistent with any specific policy directive of the Board of County Commissioners, any other ordinance or any Lee Plan provision; and (5) not applicable; and (6) not applicable.

**Deviation (2):** A request to deviate from the Land Development Code (LDC) Section 34-2015(2)c which states that stacking of vehicles will be permitted only for single-family, duplex, two-family, and townhouses where each dwelling unit has a garage or driveway appurtenant to it; to allow stacking of vehicles for the multi-family site with associated garages.

S:\Jobs\29XX\2961F\Documents\Zoning\2961F\_Schedule of Deviations and Justifications.docx

• SERVING THE STATE OF FLORIDA •

Justification: This deviation is being requested based upon the specific design of the multi-family site. Stacking proposed for the proposed buildings which have private garages offered as an amenity option that function similar to a single-family or townhouse where each garage and driveway appurtenant to it are associated with one dwelling unit. There are 80 total private garages with stacking. The length of the driveway, as measured from the garage structure is 27 feet to the edge of pavement of the accessway, consistent with note (3) 4 of Table 34-2020(a). The garages are assigned to specific units and the stacking will be limited to the units with the respective garage spaces. The requested deviation is internal to the site and enhances the achievement of the objectives of the planned development and will preserve and promote the general intent to protect the public health, safety and welfare. The alternative proposed is based on sound engineering practices and is no less consistent with the health, safety and welfare of abutting landowners and the general public than the standard from which the deviation is being requested. The intent of this regulation to protect the health, safety and welfare of the public will be served and the planned development will be enhanced by approval of this deviation. The proposed stacked parking will be utilized for multi-family units that have two vehicles. Please note that the only part of the LDC Section 34-2015(2)c to be deviated from is the type of dwelling. The remainder of the code " Individual parking spaces must be accessible from a parking aisle intended to provide access to the space. " will be adhered to. The stacked parking in the garages would allow each unit to keep their two vehicles together in the same place consistently.

**Deviation (3):** A request to deviate from LDC Section 34-2020(a) which requires a minimum of 2 parking spaces per unit plus 10% guest parking plus 1 space per 1,000 square feet of clubhouse area; to allow 1.77 parking spaces per unit inclusive of guest and clubhouse parking.

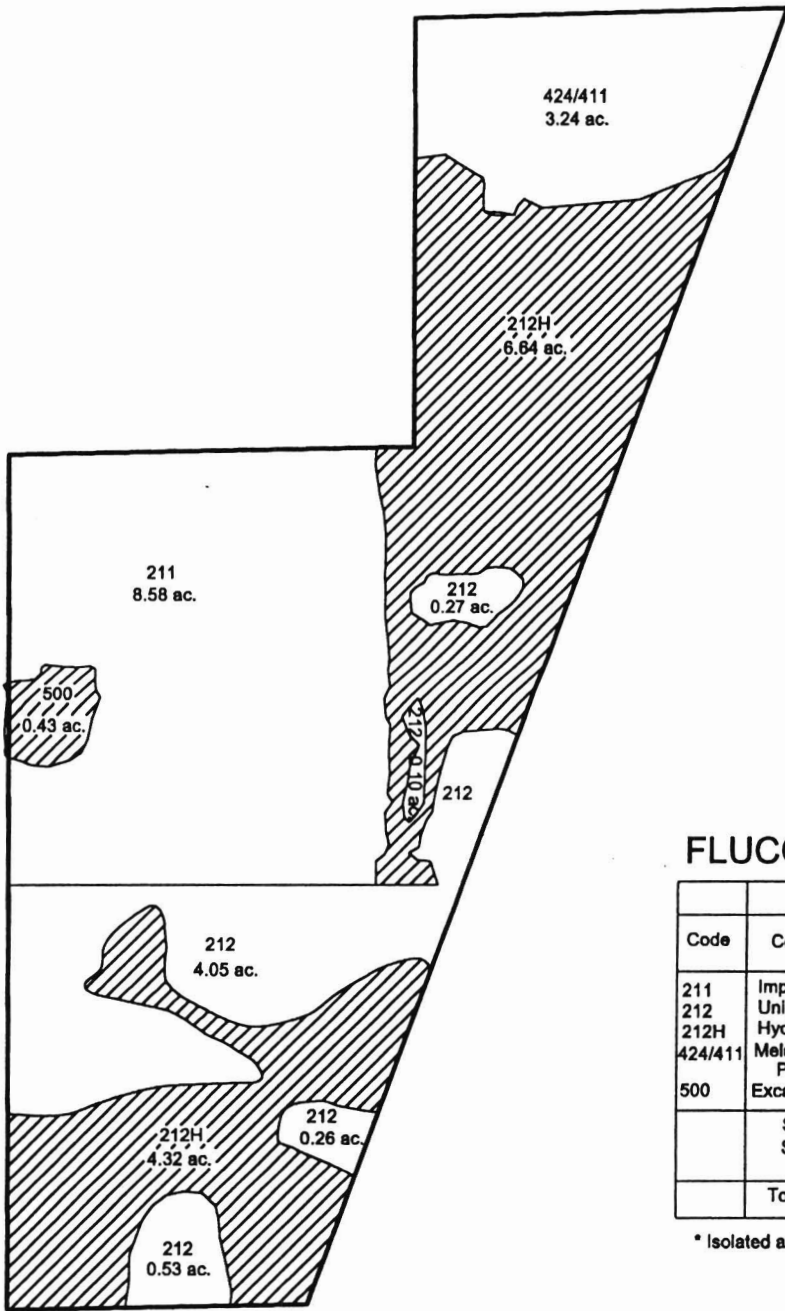
Justification: Please see attached Parking Demand Study prepared by TR Transportation Consultants, Inc. The comprehensive parking demand studied three similar multi-family apartment communities in Lee County and determined that the maximum parking demand experienced was 1.39 spaces per unit (inclusive of guest and clubhouse parking). The requested parking calculation deviation to allow 1.77 spaces per unit (inclusive of guest and clubhouse parking) provides approximately 27% more than the peak demand study per unit results, 25% more spaces than the demand study per bedroom results, and 30% more than ITE Parking Generation Manual provides. Providing a more accurate supply of parking provides site design flexibility and aids to reduce the previously permitted full wetland impacts and proposes to preserve the maximum amount possible to maintain the existing approved access onto Six Mile Cypress Parkway. The requested deviation is internal to the site and enhances the achievement of the objectives of the planned development and will preserve and promote the general intent to protect the public health, safety and welfare. The alternative proposed is based on sound engineering practices and is no less consistent with the health, safety and welfare of abutting landowners and the general public than the standard from which the deviation is being requested. The intent of this regulation to protect the health, safety and welfare of the public will be served and the planned development will be enhanced by approval of this deviation.



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## **Carissa Minor RPD Schedule of Uses**

Accessory Uses, Buildings and Structures  
Community Garden  
Entrance gate, gatehouses  
Residential Accessory Uses  
Administrative Offices  
Clubs, Private  
Dwelling Unit:  
    Multiple-Family Building  
Essential Services  
Essential Services Facilities – Group I  
Excavation, Water Retention  
Fences, Walls  
Home Care Facility  
Home Occupation, No Outside Help  
Models, Model Unit  
Recreation Facilities, Personal, Private–On-site  
Signs in Compliance with Chapter 30  
Temporary Uses



**FLUCCS Legend**

Code	Community	COE Wetland		Upland
		SFWMD Wetland	SFWMD OSW	
211	Improved Pasture	-	-	8.61
212	Unimproved Pasture	-	-	5.21
212H	Hydric Unimproved Pasture	10.96	-	-
424/411	Melaleuca Invaded Pine Flatwoods	-	-	3.24
500	Excavated Pond	-	0.43*	-
SFWMW Wetland Total:		10.96	-	17.06
SFWMW OSW Total:		-	0.43*	-
Total Site Acreage:		28.45		-


\* Isolated and not regulated by COE.

# EXHIBIT 3.0

JOB #  
SCALE 1"=300'  
FILE Permit/DWG's  
DRAWN BY K.K.  
DATE 5-3-02

**CARISSA COMMERCIAL PARK**  
SFWMW and COE FLUCCS Map

COUNTY Lee  
SEC. 17  
TWP. 45  
RNG. 25  
REVISIONS

**Boylan Environmental Consultants, Inc.**  
  
 Wetland & Wildlife Surveys, Environmental Permitting, Impact Assessments  
 11000 Metro Parkway, Suite 4, Ft. Myers, 33912 (941)418-0671



Professional Engineers, Planners & Land Surveyors

## **Carissa Minor RPD Description of Surface Water Management Plan**

LDC Sec. 34-373(b)(1) A written description of the surface water management plan that includes:

- a. The runoff characteristics of the property in its existing state;  
**The ±19.96-acre vacant site is bordered on the east by Six Mile Cypress Parkway, on the south by Crystal Drive, on the north by undeveloped property and on the west by JV Parker Lane. The site remains largely undeveloped and is predominately wooded. Stormwater runoff from the site generally drains to the east into the Six Mile Cypress Parkway roadway stormwater collection systems.**
- b. In general terms, the drainage concept proposed, including the outfall to canals or natural water bodies including how drainage flow from adjacent properties will be maintained;  
**The proposed drainage system will preserve existing drainage patterns and not block any runoff overflow from adjacent properties. The proposed drainage within the development will be collected into a catch basin and pipe system and detained in an on-site proposed dry detention area and wet detention pond. The dry detention area will discharge to the Six Mile Cypress Parkway roadway stormwater system. The wet detention pond will discharge to the Crystal Drive roadway stormwater system.**
- c. The retention features (including existing natural features) that will be incorporated into the drainage system and the legal mechanism which will guarantee their maintenance;  
**The water management system will consist of a proposed on-site dry detention area and wet detention pond. If the property remains under single ownership, that owner will maintain the drainage system consistent with the South Florida Water Management District permit that will be required. If the property ownership does not remain under a single owner, then an association would be formed to maintain the drainage system.**
- d. How existing natural features will be preserved. Include an estimate of the ranges of existing and post development water table elevations, where appropriate;  
**The existing SFWMD permit (ERP #36-05372-P-02) allows impacts to the existing ±6.53 acres of existing wetlands on the subject property; however existing/proposed wetland impacts will be reduced to only ±2.32 acres and the remaining ±4.21 acres will be preserved and exotics removed. The water table elevations will be maintained by appropriately setting the dry detention outfall structure at the established water control elevation.**

e. If the property is subject to seasonal inundation or subject to inundation by a stream swollen by the rains of a 100-year storm event, indicate the measures that will be taken to mitigate the effects of expectable flooding.

**The property is within a FEMA flood zone. This will be mitigated by placing fill such that the finished floor elevation is one foot above the FEMA base flood elevation.**



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FORT MYERS, FL 33901-9356  
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TRAFFIC ENGINEERING  
TRANSPORTATION PLANNING  
SIGNAL SYSTEMS/DESIGN

# **TRAFFIC IMPACT STATEMENT**

FOR

## **CARISSA MINOR RPD**

**(PROJECT NO. F2001.11)**

**PREPARED BY:  
TR Transportation Consultants, Inc.  
Certificate of Authorization Number: 27003  
2726 Oak Ridge Court, Suite 503  
Fort Myers, Florida 33901-9356  
(239) 278-3090**

**August 28, 2020**



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TRAFFIC ENGINEERING  
TRANSPORTATION PLANNING  
SIGNAL SYSTEMS/DESIGN

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- II. EXISTING CONDITIONS
- III. PROPOSED DEVELOPMENT
- IV. TRIP GENERATION
- V. TRIP DISTRIBUTION
- VI. FUTURE TRAFFIC CONDITIONS
- VII. PROJECTED LEVEL OF SERVICE
- VIII. TRIP GENERATION COMPARISON
- IX. CONCLUSION



## I. INTRODUCTION

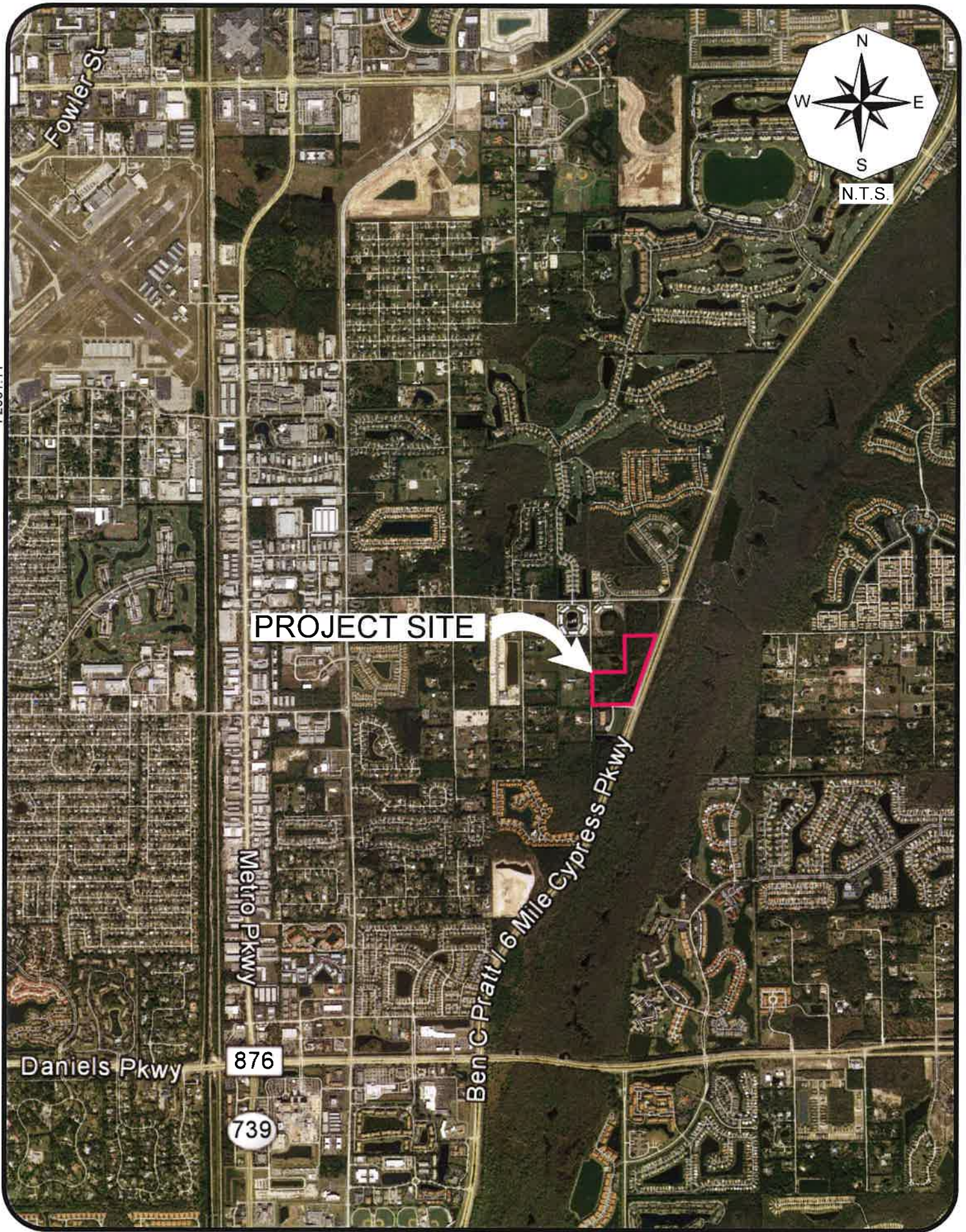
TR Transportation Consultants, Inc. has conducted a traffic impact statement to fulfill requirements set forth by Lee County for projects seeking zoning approval. This report has been completed in compliance with guidelines established by Lee County. The subject site is located along the west side of Six Mile Cypress Parkway approximately 800 feet south of Penzance Boulevard in Lee County, Florida. **Figure 1** illustrates the approximate location of the subject site.

The subject 19.96 acre site is currently zoned CPD and is controlled by Zoning Resolution Z-06-007. The project is currently approved for the development of up to 150,000 square feet of commercial floor area, consisting of up to 100,000 square feet of retail uses and 50,000 square feet of office uses, and up to 100 hotel rooms. Access on the approved Master Concept Plan under Z-06-007 includes a right-in/right-out access location on Six Mile Cypress Parkway and an access connection to Crystal Drive that borders the site to the south. No changes to the access configuration are being proposed as part of the zoning amendment.

The proposed zoning amendment would replace the commercial and hotel uses with residential uses and allow the property to be developed with up to 266 multi-family residential dwelling units. Access to the subject site will be consistent with the previous Master Concept Plan and provide a right-in/right-out access to Six Mile Cypress Parkway as well as an access connection to Crystal Drive, which borders the site to the south.

This report examines the impact of the development on the surrounding roadways. Trip generation and assignment to the site access drives will be completed and analysis conducted to determine the impacts of the development on the surrounding roadways.

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## II. EXISTING CONDITIONS

The subject site is currently vacant. Six Mile Cypress Parkway borders the subject site to the east, vacant land zoned CPD borders the site to the north, AG-2 and RPD lands border the site to the west and CS-1 land currently occupied by an office building complex borders the site to the south.

**Six Mile Cypress Parkway** is a four-lane divided Controlled Access facility that borders the site to the east. Six Mile Cypress has a posted speed limit of 50 mph adjacent to the site. Six Mile Cypress Parkway is an adopted Controlled Access Facility pursuant to Board of County Commissioners Resolution 93-09-51, as amended. The most recent amendment is Lee County Resolution No. 17-08-11. Included in that Resolution is a right-in/right-out access on the west side of Six Mile Cypress Parkway at Station 597+45. This Station matches the location where the proposed right-in/right-out access serving the subject site will be located. No amendment to the Controlled Access Resolution is necessary. A copy of the most recent Resolution is attached to this report for reference. Six Mile Cypress Parkway is under the jurisdiction of the Lee County Department of Transportation.

**Crystal Drive** is a two lane roadway that borders the subject site to the south. Currently, Crystal Drive is located within a private easement, with one-half of the roadway located on the subject site and the other half located on the adjacent property to the south. Crystal Drive currently extends approximately 375 feet to the west of Six Mile Cypress Parkway and serves as the access drive for the adjacent professional office park. Crystal Drive does not have a posted speed limit and is under private ownership. The extension of Crystal Drive from Plantation Road to Six Mile Cypress Parkway is no longer shown on the Lee County Metropolitan Planning Organizations (Lee MPO) *Long Range Transportation Plan* (either the Financially Feasible or Needs Plan) through the year 2040.



### III. PROPOSED DEVELOPMENT

Based upon the Master Concept Plan, the subject site is proposed to be rezoned from CPD to RPD to permit the development of up to 266 multi-family dwelling units with building heights up to 45 feet (four floors). **Table 1** summarizes the land use utilized for trip generation purposes for the subject site.

**Table 1**  
**Land Use**  
**Carissa Minor RPD**

Land Use	Size
Multi-Family (LUC 221)	266 Dwelling Units

Access to the subject site will be provided to Six Mile Cypress Parkway and to Crystal Drive. The intersection of Crystal Drive with Six Mile Cypress Parkway is currently an unsignalized full median opening.

### IV. TRIP GENERATION

The trip generation for the proposed development was determined by referencing the Institute of Transportation Engineer's (ITE) report, titled *Trip Generation*, 10<sup>th</sup> Edition. Land Use Code 221 (Multi-Family Housing Mid-Rise) was utilized for the trip generation purposes. In order to obtain the density of 266 units, the buildings for this project will need to be greater than two stories. The MCP indicates the maximum building height being requested is 45 feet. The trip generation equations for this land use is included in the Appendix of this report for reference. **Table 2** outlines the anticipated weekday A.M. and P.M. peak hour and daily trip generation of the development as currently proposed.



**Table 2  
Trip Generation  
Carissa Minor RPD**

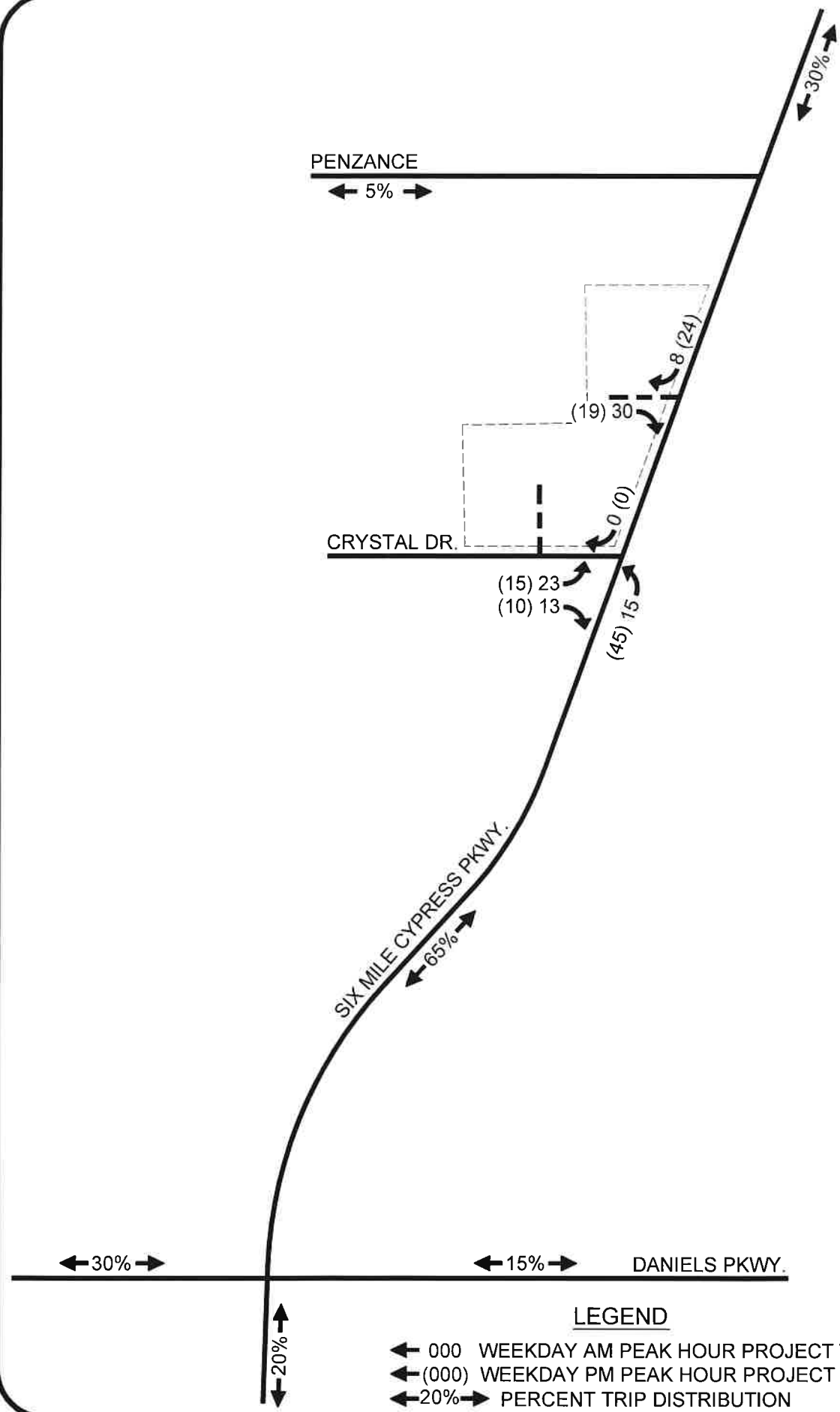
Land Use	Weekday A.M. Peak Hour			Weekday P.M. Peak Hour			Daily (2-way)
	In	Out	Total	In	Out	Total	
Apartment 266 Dwelling Units	23	66	89	69	44	113	1,448

## V. TRIP DISTRIBUTION

The trips from the proposed development shown in Table 2 were then assigned to the site access drives and to the surrounding roadway network based upon the anticipated routes the drivers will utilize to approach the site. Based on current and projected population in the area and other existing or planned competing/complementary uses in the area, a distribution of the site traffic was formulated. The anticipated trip distribution of the development traffic is shown on **Figure 2**. In addition, Figure 2 also indicates the site traffic assignment to the site access drive on Six Mile Cypress Parkway and the intersection of Six Mile Cypress Parkway and Crystal Drive.

In order to determine which roadway segments surrounding the site will be significantly impacted as outlined in the Lee County Traffic Impact Statement Guidelines, **Table 1A**, contained in the Appendix, was created. This table indicates which roadway links in the vicinity of the subject site will accommodate greater than 10% of the Peak Hour – Peak Direction Level of Service “C” volumes, as defined by the *Lee County Generalized Peak Hour Directional Service Volumes* table. From Table 1A, **NO** roadway segments are shown to be significantly impacted by the proposed development.

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- LEGEND**
- ← 000 WEEKDAY AM PEAK HOUR PROJECT TRIPS
  - ← (000) WEEKDAY PM PEAK HOUR PROJECT TRIPS
  - ← 20% → PERCENT TRIP DISTRIBUTION



**TRIP DISTRIBUTION & SITE TRAFFIC ASSIGNMENT  
CARISSA MINOR RPD**

Figure 2



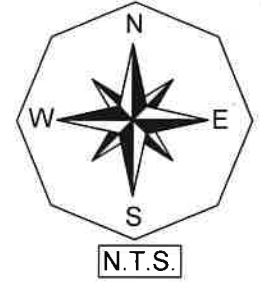
## VI. FUTURE TRAFFIC CONDITIONS

A horizon year analysis of 2023 was selected as the analysis year to evaluate the future impacts this project will have on the surrounding roadway network. Based on this horizon year, a growth rate was applied to the existing traffic conditions for all roadway links that could be significantly impacted by this development. The growth rates were obtained through comparisons of annual traffic data obtained from 2019 *Lee County Traffic Count Report* and data from the *FDOT Traffic Information Online* resource for 2019. Based on the project distribution illustrated on Figure 2, the link data was analyzed for the year 2023 without the development and year 2023 with the development.

**Table 2A** in the Appendix of the report indicates the methodology utilized to obtain the year 2023 build-out traffic volumes as well as the growth rate utilized for each roadway segment. The base year traffic volumes were obtained from the 2019 *Lee County Public Facilities Level of Service and Concurrency Report*.

**Figure 3** indicates the year 2023 peak hour – peak direction traffic volumes and Level of Service for the various roadway links within the study area. Noted on Figure 3 is the peak hour – peak direction volume and Level of Service of each link should no development occur on the subject site and the peak hour – peak direction volume and Level of Service for the weekday P.M. peak hour with the development traffic added to the roadways. This figure was derived from Table 2A contained in the Appendix.

F2001.11



172 - "C"  
(175 - "C")

PENZANCE

1,446 - "B"  
(1,470 - "B")

CRYSTAL DR.

1,446 - "B"  
(1,490 - "B")

SIX MILE CYPRESS PKWY.

**LEGEND**

XXX - "X" PROJECTED 2023 WEEKDAY PM PEAK SEASON PEAK HOUR PEAK DIRECTION BACKGROUND TRAFFIC AND LEVEL OF SERVICE DESIGNATION

(XXX -"X") PROJECTED 2023 WEEKDAY PM PEAK SEASON PEAK HOUR PEAK DIRECTION BACKGROUND TRAFFIC PLUS PROJECT TRAFFIC AND LEVEL OF SERVICE DESIGNATION

DANIELS PKWY.



## VII. PROJECTED LEVEL OF SERVICE AND IMPROVEMENTS

Figure 3 details the Levels of Service for all links inside the project's area of influence based on this analysis. In comparing the links' functional classification and calculated 2023 traffic volumes to their corresponding Level of Service Thresholds, it was determined that all roadway links analyzed will continue to operate at an acceptable Level of Service in 2023 both with and without the proposed development. Therefore no roadway capacity improvements will be warranted as a result of the additional traffic to be generated by the proposed development.

## VIII. TRIP GENERATION COMPARISON

A trip generation comparison was also completed to compare what is currently approved on the subject site based on Zoning Resolution Z-06-007 to what is proposed with this zoning change. Based on the approved Schedule of Uses, the site could be developed with up to 100,000 square feet of retail uses, 50,000 square feet of Office uses and 100 hotel rooms. The office uses could be developed with Medical Office uses per the approved Schedule of Uses, which is a more intense trip generator than General Office. Therefore, for the trip generation comparison, the land uses illustrated in **Table 3** were utilized to estimate the weekday peak hour and daily trips that the project site could generate based on current zoning approval.

**Table 3**  
**Approved Land Uses**  
**Carissa CPD**

Land Use	Size
Retail (LUC 820)	100,000 Sq. Ft.
Medical Office (LUC720)	50,000 Sq. Ft.
Hotel (LUC 310)	100 Rooms



**Table 4** then illustrates the weekday A.M., P.M. and daily trip generation of the site as currently approved based on the ITE Trip Generation Report, 10<sup>th</sup> Edition, as previously utilized. Land Use Code 820 – Shopping Center, was utilized for the retail uses, Land Use Code 720 – Medical/Dental Office, was utilized for the Office uses and Land Use Code 310 – Hotel was utilized for the Hotel uses. Copies of the ITE Trip Generation Report for these land use codes is included in the Appendix for reference.

**Table 4**  
**Trip Generation**  
**Carissa Minor RPDs**

Land Use	Weekday A.M. Peak Hour			Weekday P.M. Peak Hour			Daily (2-way)
	In	Out	Total	In	Out	Total	
Retail (100,000 Sq. Ft.)	125	77	202	260	283	543	6,012
Medical Office (50,000 Sq. Ft.)	94	27	121	49	123	172	1,833
Hotel (100 Rooms)	26	19	45	25	24	49	702
<b>Total Trips</b>	<b>245</b>	<b>123</b>	<b>368</b>	<b>334</b>	<b>430</b>	<b>764</b>	<b>8,547</b>

Comparing the trips shown in Table 4 with the trips that will be generated by the proposed uses in Table 2, the trip reductions that will occur as a result of this rezoning application will be approximately 75% in the A.M. peak hour, 85% in the P.M. peak hour and approximately 83% over the entire weekday. This is a substantial reduction in the number of driveway trips entering and exiting this site from what is currently approved.

## VIII. CONCLUSION

Based on the analysis prepared in this report, the proposed amendment to change the zoning on the subject site from CPD to RPD will substantially reduce the trip generation potential of the subject site. The resultant change to residential uses will not decrease the Level of Service below acceptable conditions once the development traffic has been added to the roadways. All roadway links are shown to operate at or above the Level of Service Standards of Lee County when the development traffic is added to the surrounding roadway network.



The site access drive connection on Six Mile Cypress Parkway shown on the Master Concept Plan is identified on the current Controlled Access Resolution for Six Mile Cypress Parkway. Turn lanes at this intersection as well as an evaluation of the existing turn lanes at the intersection of Six Mile Cypress Parkway and Crystal Drive will be completed at the time of Local Development Order approval.

K:\2020\01 January\11 Carissa RPD\8-28-2020 Zoning TIS.doc

# APPENDIX

**TABLE 1A & 2A**

**TABLE 1A  
PEAK DIRECTION PROJECT TRAFFIC VS. 10% LOS C LINK VOLUMES  
CARISSA MINOR RPD**

TOTAL AM PEAK HOUR PROJECT TRAFFIC = 89 VPH      IN= 23      OUT= 66  
 TOTAL PM PEAK HOUR PROJECT TRAFFIC = 113 VPH      IN= 69      OUT= 44

ROADWAY	SEGMENT	ROADWAY CLASS	LEVEL OF SERVICE THRESHOLDS						PERCENT		
			LOS A VOLUME	LOS B VOLUME	LOS C VOLUME	LOS D VOLUME	LOS E VOLUME	PROJECT TRAFFIC <sup>1</sup>	PROJECT TRAFFIC	PROJ/ LOS C	
Six Mile Cypress Pkwy	N. of Crystal Dr.	4LD	800	1,900	1,900	1,900	1,900	1,900	24	35%	1.3%
	S. of Crystal Dr.	4LD	800	1,900	1,900	1,900	1,900	1,900	45	65%	2.4%
Penzance Rd.	W. of Six Mile Cypress	2LU	0	0	550	860	860	860	3	5%	0.6%

\* Lee County Link Specific Peak Hour Directional Service Volumes were utilized for all roadway segments analyzed.

**TABLE 2A  
LEE COUNTY TRAFFIC COUNTS AND CALCULATIONS  
CARISSA MINOR RPD**

		TOTAL PROJECT TRAFFIC AM =		TOTAL PROJECT TRAFFIC PM =																	
		89	23	113	69	66	44														
		VPH	IN =	VPH	IN =	OUT =	OUT =														
		388	388	23,200	23,200	23,200	23,200														
		ADT	ADT	ADT	ADT	ADT	ADT														
		18,200	18,200	18,200	18,200	18,200	18,200														
		6.26%	6.26%	6.26%	6.26%	6.26%	6.26%														
		4	4	4	4	4	4														
		ANNUAL RATE	ANNUAL RATE	ANNUAL RATE	ANNUAL RATE	ANNUAL RATE	ANNUAL RATE														
		1,134	1,134	1,134	1,134	1,134	1,134														
		PK HR	PK HR	PK HR	PK HR	PK HR	PK HR														
		35%	65%	35%	65%	35%	65%														
		PROJECT	PROJECT	PROJECT	PROJECT	PROJECT	PROJECT														
		AM PROJ	AM PROJ	AM PROJ	AM PROJ	AM PROJ	AM PROJ														
		23	43	23	43	23	43														
		TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC														
		24	45	24	45	24	45														
		PM PROJ	PM PROJ	PM PROJ	PM PROJ	PM PROJ	PM PROJ														
		24	45	24	45	24	45														
		PERCENT	PERCENT	PERCENT	PERCENT	PERCENT	PERCENT														
		5%	5%	5%	5%	5%	5%														
		124	124	124	124	124	124														
		ANNUAL PK SEASON	ANNUAL PK SEASON	ANNUAL PK SEASON	ANNUAL PK SEASON	ANNUAL PK SEASON	ANNUAL PK SEASON														
		1,134	1,134	1,134	1,134	1,134	1,134														
		PEAK DIR.1	PEAK DIR.1	PEAK DIR.1	PEAK DIR.1	PEAK DIR.1	PEAK DIR.1														
		1,134	1,134	1,134	1,134	1,134	1,134														
		2019	2019	2019	2019	2019	2019														
		127	127	127	127	127	127														
		LEVEL OF SERVICE	LEVEL OF SERVICE	LEVEL OF SERVICE	LEVEL OF SERVICE	LEVEL OF SERVICE	LEVEL OF SERVICE														
		C	C	C	C	C	C														
		1,179	1,179	1,179	1,179	1,179	1,179														
		LOS	LOS	LOS	LOS	LOS	LOS														
		B	B	B	B	B	B														
		1,158	1,158	1,158	1,158	1,158	1,158														
		TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC														
		ANALYSIS	ANALYSIS	ANALYSIS	ANALYSIS	ANALYSIS	ANALYSIS														
		2019	2019	2019	2019	2019	2019														
		1,446	1,446	1,446	1,446	1,446	1,446														
		PEAK DIR.	PEAK DIR.	PEAK DIR.	PEAK DIR.	PEAK DIR.	PEAK DIR.														
		1,446	1,446	1,446	1,446	1,446	1,446														
		LOS	LOS	LOS	LOS	LOS	LOS														
		B	B	B	B	B	B														
		1,470	1,470	1,470	1,470	1,470	1,470														
		BACKGRND	BACKGRND	BACKGRND	BACKGRND	BACKGRND	BACKGRND														
		172	172	172	172	172	172														
		175	175	175	175	175	175														
		LOS	LOS	LOS	LOS	LOS	LOS														
		B	B	B	B	B	B														
		1,490	1,490	1,490	1,490	1,490	1,490														
		TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC	TRAFFIC														
		1,490	1,490	1,490	1,490	1,490	1,490														
		BACKGRND + PROJ	BACKGRND + PROJ	BACKGRND + PROJ	BACKGRND + PROJ	BACKGRND + PROJ	BACKGRND + PROJ														
		175	175	175	175	175	175														
		2023	2023	2023	2023	2023	2023														
		172	172	172	172	172	172														
		175	175	175	175	175	175														
		FUTURE PLANNING ANALYSIS	FUTURE PLANNING ANALYSIS	FUTURE PLANNING ANALYSIS	FUTURE PLANNING ANALYSIS	FUTURE PLANNING ANALYSIS	FUTURE PLANNING ANALYSIS														

<sup>1</sup> Obtained from the 2019 Lee County Level of Service and Concurrency Report

**CONTROLLED ACCESS RESOLUTION**

**17-08-11**

**SIX MILE CYPRESS PARKWAY**

**LEE COUNTY RESOLUTION NO. 17-08-11****A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF LEE COUNTY, FLORIDA, AMENDING RESOLUTION NO. 93-09-51, AS AMENDED, WHICH DESIGNATED BEN C. PRATT SIX MILE CYPRESS PARKWAY AS A CONTROLLED ACCESS ROAD AND ESTABLISHED PERMANENT ACCESS POINTS.**

**WHEREAS**, section 10-285(h) of the Lee County Land Development Code provides for the designation of certain streets in Lee County as "controlled access" facilities to which permanent access points are restricted to locations established and set by design study and plans adopted by resolution of the Lee County Board of County Commissioners; and

**WHEREAS**, the Board of County Commissioners retains the right and authority to exercise its police power to modify roadway median openings, access points and turning movements to protect the health, safety, and welfare of the traveling public; and

**WHEREAS**, on 15 September 1993, the Board of County Commissioners adopted Resolution No. 93-09-51 designating Ben C. Pratt Six Mile Cypress Parkway as a controlled access facility from US 41 northeast to Colonial Boulevard, and establishing permanent access points; and

**WHEREAS**, Resolution No. 93-09-51 was subsequently amended as follows:

1. No. 97-051A, adopted 10-28-1993 which relocated two access points on the west side of Ben C. Pratt Six Mile Cypress Parkway at Station 678+00 and at Station 669+00 for right-in and right-out access only; and
2. FDOT Permit # 98-A-192.0013 added an access at Station 419+34 on the north side of Ben C. Pratt Six Mile Cypress Parkway for a right-in and right-out access only.

**WHEREAS**, Six Mile Apartment, LLC, has requested a right-in and right-out access to its site at Station 732+59; and

**WHEREAS**, the Lee County Department of Transportation has concluded that, the addition of the designated connection point will not hinder traffic capacity nor be contrary to the protection of the health, safety, and welfare of the citizens of Lee County.

**NOW, THEREFORE, BE IT RESOLVED** by the Board of County Commissioners of Lee County, Florida, that:

1. Ben C. Pratt Six Mile Cypress Parkway, from US 41 northeast to Colonial Boulevard including its intersections, is designated a controlled access road facility.
2. Resolution No. 93-09-51 is hereby further amended as follows:
  - a. The access point at Station 732+59, east side, is amended to add a right-in and right-out directional movements conditioned as follows:
    - The zoning Master Concept Plan for the subject property is modified to depict access to Ben C. Pratt Six Mile Cypress Parkway at this location.

- The zoning Master Concept Plan for the subject property includes the connection to the joint access at Station 725+32 and permit general access to the site.
- The zoning Master Concept Plan for the subject property includes the connection to the Shops at Village Walk development, on the north, when that site is developed, and permits general access to the site.
- The City of Fort Myers includes in its zoning and development requirements the connection for both Shops at Village Walk and Six Mile Apartments.
- Construction of the access roadway must be to the applicable LDC development standards

3. Absent subsequent Board action in accordance with applicable County regulations, the connection points are limited to those identified on attached Exhibit A. Provided, however, no vested right to a particular connection point location is granted by virtue of adopting Exhibit A. The County retains full power and authority to exercise its police power to modify connection points, median openings, and turning movements to protect the health, safety, and welfare of the traveling public.

Commissioner Pendergrass made a motion to adopt the foregoing resolution, seconded by Commissioner Hamman. The vote was as follows:

John E. Manning	<u>Aye</u>
Cecil L Pendergrass	<u>Aye</u>
Larry Kiker	<u>Aye</u>
Brian Hamman	<u>Aye</u>
Franklin B. Mann	<u>Absent</u>

Duly passed and adopted this 15th day of August, 2017.

ATTEST:  
LINDA DOGGETT, CLERK

BOARD OF COUNTY COMMISSIONERS  
OF LEE COUNTY, FLORIDA

By *Louise Townsend*  
Deputy Clerk

By *John Manning*  
John E. Manning, Chair



APPROVED AS TO FORM FOR THE  
RELIANCE OF LEE COUNTY ONLY

By *[Signature]*  
Office of the Lee County Attorney

EXHIBIT A  
 BEN PRATT SIX MILE CYPRESS PARKWAY  
 DESIGNATED ACCESS POINTS

STATION	DISTANCE (Feet)		ORIGIN	MEDIAN OPENING	MOVEMENTS	CONNECTION	REMARKS
	North/West	South/East					
382+19.650	-	-	1&2&3	YES	ALL	US 41	
372+40.550	1021	1021	1&2	YES	ALL	Wal-Mart / Home Depot Plaza	
378+44.650	704	704	5	YES	ALL	N & 6	
389+80.350	738	738	1&2	YES	ALL	N & 8	
393+40.150	660	660	1&2&3	YES	ALL	N & 8	
401+90.050	n/a	650	6	NO	RT.IN/RT.OUT	S	
408+50.550	1510	650	1&2	YES	ALL	Independence Circle (W)	
413+38.550	488	488	6	NO	RT.IN/RT.OUT	Independence Circle (E)	Approved by FDOT Permit #88-A-182-0013
418+34.650	586	586	8	NO	RT.IN/RT.OUT	N	
422+74.150	936	936	1&2	YES	ALL	Metro Parkway	
428+10.550	638	638	4	NO	RT.IN/RT.OUT	N & Molly Lane (S)	
*435+70.150	660	660	1&2	YES	NBL, RT.IN/RT.OUT	N & Trader Street (S)	
442+47.150	677	677	3	YES	ALL	Plantation Road / Exchange Lane	Proposed directional left in
452+50.150	1003	1003	2&6	YES	NBL, RT.IN/RT.OUT	NW	
462+45.350	995	995	4	YES	ALL	NW	
471+87.150	922	922	4	YES	ALL	Stadium NW	
486+87.150	1520	1&2	1&2	YES	ALL	International Center Blvd.	
489+18.550	1231	1231	5	YES	ALL	Olympic Court	
508+50.550	732	n/a	2&4	NO	RT.IN/RT.OUT	International Drive	
514+02.150	752	1494	1	YES	ALL	Daniels Parkway	
521+88.550	768	n/a	2&5	NO	RT.IN/RT.OUT	W	
533+80.550	1182	1858	1	YES	ALL	Brookshire Lake Blvd.	
542+45.150	885	885	2&4	YES	ALL	East Pine Way W	
547+00.150	455	455	3	YES	ALL	with Special Conditions	
560+82.550	1382	1382	2&5	YES	ALL	Bergamo Way	
578+00.650	1738	1738	6	YES	NBL, RT.IN/RT.OUT	W	
581+78.150	n/a	378	n/a	NO	RT.IN/RT.OUT	W	
588+30.150	652	1030	1	YES	ALL	Crystal Drive	
597+45.550	915	n/a	6	NO	RT.IN/RT.OUT	W	
604+05.650	660	1575	8	YES	NBL, RT.IN/RT.OUT	W	
610+72.550	667	667	1	YES	ALL	Perezance Blvd.	
621+97.150	1035	1035	6	YES	NBL, RT.IN/RT.OUT	with Special Conditions	
631+43.150	1038	1038	1	YES	ALL	W	
642+21.150	1078	1078	1	YES	ALL	Key Deer Ct.	
660+88.550	1878	n/a	6	NO	RT.IN/RT.OUT	NW	
669+00.150	801	n/a	6&7	NO	RT.IN/RT.OUT	NW	
678+00.650	900	3578	1&7	YES	ALL	Heritage Palms Blvd.	Relocated from STA 671+52, does not exist
689+00.650	2100	2100	1	YES	ALL	NW & SE	Relocated from STA 681+00
707+95.550	895	895	4	YES	ALL	Winkler Avenue Ext.	
714+60.150	665	665	5	YES	SBL, RT.IN/RT.OUT	E	
725+32.550	1072	1072	1	YES	ALL	Berwood Place Dr. (S) / Via Columbia Circle	
731+83.550	661	n/a	4	NO	RT.IN/RT.OUT	W	
732+99.150	727	588	1	YES	RT.IN/RT.OUT	E	11
739+55.650	682	1323	1	YES	ALL	Berwood Place Dr. (north end)	
745+15.150	680	680	6	NO	RT.IN/RT.OUT	E & W	
751+73.150	682	662	1	YES	ALL	Challenger Blvd.	
758+50.650	673	673	4	YES	NBL/SBL, RT.IN/RT.OUT	E & W	
765+23.650	673	673	1	YES	ALL	Dani Drive / Wal-Mart Plaza	
770+70.650	n/a	547	8	NO	RT.IN/RT.OUT	Colonial Blvd - SR 884	
778+88.550	1345	788	1	YES	ALL		

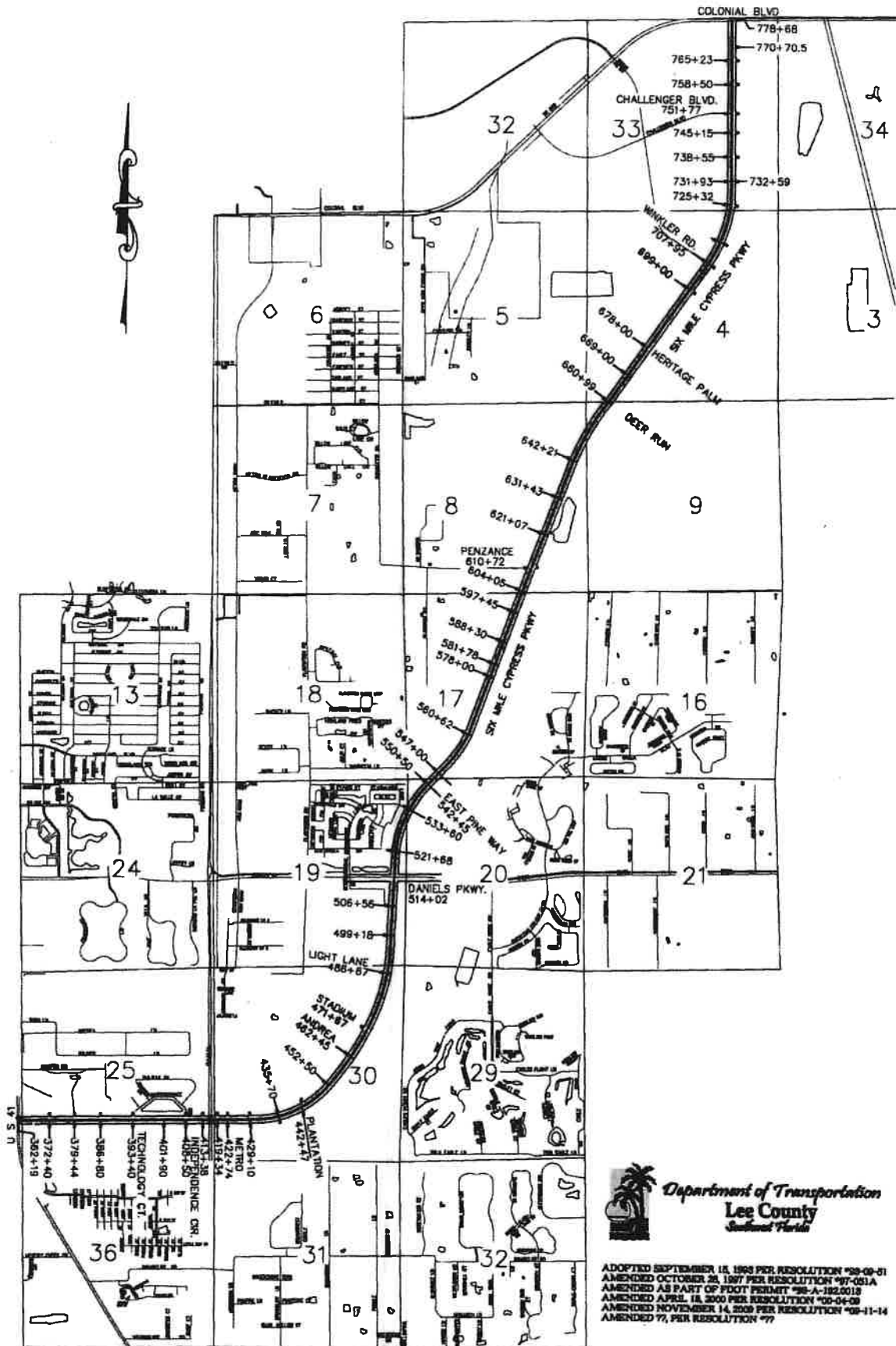
49 permanent access points  
 Road Length: 7.89 Miles  
 Average Spacing: 978 Feet  
 \* Pending Access Point Modifications: 1

Notes

- (1) Original Plan
- (2) Field Location Change
- (3) Count Order
- (4) Development Order
- (5) Kinley-Horn Study
- (6) To Guarantee Access
- (7) Modified by Amending Resolution #87-051A
- (8) Modified by FDOT Permit #88-A-182-0013
- (9) Added by Amending Resolution #00-04-08
- (10) Added Right-In/Right-out on East side with conditions by Amending Resolution #08-11-14
- (11) Added Right-In/Right-out on East side

NBL = Northbound left  
 SBL = Southbound left

### EXHIBIT B



ADOPTED SEPTEMBER 15, 1993 PER RESOLUTION #93-09-01  
 AMENDED OCTOBER 28, 1997 PER RESOLUTION #97-051A  
 AMENDED AS PART OF FOOT PERMIT #98-A-182,001B  
 AMENDED APRIL 18, 2000 PER RESOLUTION #00-04-02  
 AMENDED NOVEMBER 14, 2009 PER RESOLUTION #09-11-14  
 AMENDED 77, PER RESOLUTION #77

**BEN C. PRATT/SIX MILE CYPRESS PARKWAY  
 DESIGNATED ACCESS POINTS**

**LEE COUNTY LINK SPECIFIC  
SERVICE VOLUME TABLES**

LINK-SPECIFIC SERVICE VOLUMES ON ARTERIALS IN LEE COUNTY (2015 DATA)

ROAD SEGMENT	FROM	TO	TRAFFIC DISTRICT	LENGTH (MILE)	ROAD TYPE	SERVICE VOLUMES (PEAK HOUR PEAK DIRECTION)						SERVICE VOLUMES (PEAK HOUR--BOTH DIRECTIONS)					
						A	B	C	D	E	A	B	C	D	E		
PINE ISLAND RD/ BAYSHORE RD (SR 78)	SANTA BARBARA BLVD	DEL PRADO BLVD	5	2.3	4LD	1,250	2,020	2,020	2,020	2,020	2,320	3,760	3,760	3,760	3,760	3,760	
	DEL PRADO BLVD	BARNETT RD	5	2.1	4LD	1,250	2,020	2,020	2,020	2,020	2,320	3,760	3,760	3,760	3,760	3,760	
	BARNETT RD	US 41	2	0.5	4LD	1,250	2,020	2,020	2,020	2,020	2,320	3,760	3,760	3,760	3,760	3,760	
	US 41	BUSINESS 41	2	1.2	4LD	0	1,320	1,700	1,700	1,700	2,080	3,610	3,610	3,610	3,610	3,610	
	BUSINESS 41	HART RD	2	1.1	4LD	1,100	1,920	1,920	1,920	1,920	2,080	3,610	3,610	3,610	3,610	3,610	
	HART RD	BREWERS RD	2	0.4	4LD	1,100	1,920	1,920	1,920	1,920	2,080	3,610	3,610	3,610	3,610	3,610	
	BREWERS RD	SLATER RD	2	0.8	4LD	1,100	1,920	1,920	1,920	1,920	2,080	3,610	3,610	3,610	3,610	3,610	
	SLATER RD	I-75	2	2.9	4LD	1,100	1,920	1,920	1,920	1,920	2,080	3,610	3,610	3,610	3,610	3,610	
	I-75	NALLE RD	2	0.6	2LN	130	350	580	780	1,100	250	670	1,100	1,480	2,080	2,080	
	NALLE RD	SR 31	2	2.7	2LN	130	350	580	780	1,100	250	670	1,100	1,480	2,080	2,080	
PONDELLA RD	SR 78	WESTWOOD RD	5	0.9	4LD	0	1,890	1,890	1,890	1,890	0	3,100	3,100	3,100	3,100	3,100	
	WESTWOOD RD	ORANGE GROVE BLVD	2	0.6	4LD	0	1,890	1,890	1,890	1,890	0	3,100	3,100	3,100	3,100	3,100	
	ORANGE GROVE BLVD	US 41	2	1.6	4LD	0	1,890	1,890	1,890	1,890	0	3,100	3,100	3,100	3,100	3,100	
	US 41	BUS 41	2	0.6	4LD	0	1,890	1,890	1,890	1,890	0	3,100	3,100	3,100	3,100	3,100	
SAN CARLOS BLVD	ESTERO BLVD	MAIN ST	4	0.6	2LB	960	1,040	1,040	1,040	1,040	1,750	1,890	1,890	1,890	1,890	1,890	
	MAIN ST	SUMMERLIN RD	4	2.5	4LD	0	900	1,780	1,780	1,780	0	1,640	3,250	3,250	3,250	3,250	
	SUMMERLIN RD	KELLY RD	4	1.1	2LN	60	850	900	900	900	110	1,550	1,640	1,640	1,640		
	KELLY RD	MCGREGOR BLVD	4	0.6	4LN	150	1,810	1,810	1,810	1,810	280	3,300	3,300	3,300	3,300		
	MCGREGOR BLVD	TOLL PLAZA	4	2.9	2LN	100	220	440	620	1,140	180	390	780	1,090	2,010		
	TOLL PLAZA	METRO PKWY	4	1.2	4LD	0	1,740	2,000	2,000	2,000	0	3,290	3,770	3,770	3,770		
SANIBEL CAUSEWAY SIX MILE CYPRESS	METRO PKWY	DANIELS PKWY	4	1.8	4LD	0	1,740	2,000	2,000	2,000	0	3,290	3,770	3,770	3,770		
	DANIELS PKWY	CHALLENGER BLVD	4	4.4	4LD	800	1,900	1,900	1,900	1,900	1,360	3,220	3,220	3,220	3,220		
	CHALLENGER BLVD	WAL-MART INTERSECTIO	4	0.3	6LD	1,250	2,860	2,860	2,860	2,860	2,120	4,840	4,840	4,840	4,840		
	WAL-MART INTERSECTIO	COLONIAL BLVD	4	0.3	6LD	1,250	2,860	2,860	2,860	2,860	2,120	4,840	4,840	4,840	4,840		
	COLONIAL BLVD	NALLE GRADE RD	2	4.0	2LN	120	290	490	660	1,010	230	550	930	1,250	1,910		
	NALLE GRADE RD	SR 78	2 & 3	1.4	2LN	640	1,300	1,300	1,300	1,300	1,120	2,270	2,270	2,270	2,270		
SLATER RD	SR 80	N. RIVER RD	2	1.3	2LN	150	420	740	1,010	1,360	270	760	1,340	1,820	2,450		
	N. RIVER RD	COUNTY LINE	2	2.0	2LN	150	420	740	1,010	1,360	270	760	1,340	1,820	2,450		
	COUNTY LINE	ORTIZ AVE	1	1.3	4LD	0	1,650	1,820	1,820	1,820	0	2,710	3,000	3,000	3,000		
	ORTIZ AVE	I-75	1	1.2	6LD	0	2,550	2,760	2,760	2,760	0	4,190	4,520	4,520	4,520		
SR 31	I-75	SR 31	3	2.7	6LD	1,830	2,820	2,820	2,820	2,820	2,920	4,640	4,640	4,640	4,640		
	SR 31	BUCKINGHAM RD	3	2.5	4LD	1,150	1,880	1,880	1,880	1,880	1,890	3,080	3,080	3,080	3,080		
	BUCKINGHAM RD	HICKEY CREEK RD	3	2.5	4LD	940	1,600	2,260	2,860	3,170	1,550	2,630	3,710	4,690	5,200		
	HICKEY CREEK RD	MITCHELL AVE	3	0.9	4LD	940	1,600	2,260	2,860	3,170	1,550	2,630	3,710	4,690	5,200		
	MITCHELL AVE	JOEL BLVD	3	4.0	4LD	940	1,600	2,260	2,860	3,170	1,550	2,630	3,710	4,690	5,200		
	JOEL BLVD	COUNTY LINE	3	2.2	4LD	940	1,600	2,260	2,860	3,170	1,550	2,630	3,710	4,690	5,200		
STRINGFELLOW RD	1ST AVE	PINE ISLAND RD	6	7.9	2LN	130	340	570	780	1,060	250	630	1,060	1,450	1,970		
	PINE ISLAND RD	PINELAND RD	6	3.3	2LN	130	340	570	780	1,060	250	630	1,060	1,450	1,970		
	PINELAND RD	MAIN ST	6	3.7	2LN	130	340	570	780	1,060	250	630	1,060	1,450	1,970		
	MAIN ST		6	3.7	2LN	130	340	570	780	1,060	250	630	1,060	1,450	1,970		

LINK-SPECIFIC SERVICE VOLUMES ON ARTERIALS IN LEE COUNTY (2015 DATA)

ROAD SEGMENT	FROM	TO	TRAFFIC DISTRIC. (MILE)	LENGTH (MILE)	ROAD TYPE	SERVICE VOLUMES (PEAK HOUR PEAK DIRECTION)					SERVICE VOLUMES (PEAK HOUR--BOTH DIRECTIONS)				
						A	B	C	D	E	A	B	C	D	E
VETERANS MEM. PKWY	McGREGOR BLVD	DEL PRADO BLVD	1 & 5	3.5	4LB	1,120	1,900	2,680	3,440	4,000	1,880	3,170	4,460	5,720	6,680
	DEL PRADO BLVD	SANTA BARBARA BLVD	5	2.0	6LD	2,190	3,080	3,080	3,080	3,080	3,660	5,150	5,150	5,150	5,150
	SANTA BARBARA BLVD	SKYLINE BLVD	5	1.0	6LD	2,190	3,080	3,080	3,080	3,080	3,660	5,150	5,150	5,150	5,150
	SKYLINE BLVD	SR 78	5	3.5	4LD	1,400	2,040	2,040	2,040	2,040	2,340	3,420	3,420	3,420	3,420
	SUMMERLIN RD	GLADIOLUS DR	4	0.4	4LD	0	0	590	1,520	1,520	0	0	990	2,530	2,530
WINKLER RD	GLADIOLUS DR	BRANDYWINE CIR	4	0.9	2LN	0	750	880	880	880	0	1,260	1,460	1,460	1,460
	BRANDYWINE CIR	CYPRESS LAKE DR	4	0.9	2LN	0	750	880	880	880	0	1,260	1,460	1,460	1,460
	CYPRESS LAKE DR	COLLEGE PKWY	4	0.7	4LD	0	0	610	1,780	1,780	0	0	1,020	2,960	2,960
	COLLEGE PKWY	SUNSET VISTA	4	0.5	2LN	0	770	800	800	800	0	1,290	1,330	1,330	1,330
	SUNSET VISTA	McGREGOR BLVD	4	0.8	2LN	0	770	800	800	800	0	1,290	1,330	1,330	1,330

SERVICE VOLUMES ON COLLECTORS IN LEE COUNTY (2015 DATA)

ROAD SEGMENT	FROM	TO	TRAFFIC DISTRIC. (MILE)	LENGTH (MILE)	ROAD TYPE	SERVICE VOLUMES (PEAK HOUR PEAK DIRECTION)					SERVICE VOLUMES (PEAK HOUR--BOTH DIRECTIONS)				
						A	B	C	D	E	A	B	C	D	E
COLLECTORS					2LU	0	0	550	860	860	0	0	990	1,530	1,530
					2LD	0	0	580	910	910	0	0	1,040	1,610	1,610
					4LU	0	0	1,240	1,700	1,700	0	0	2,200	3,030	3,030
					4LD	0	0	1,310	1,790	1,790	0	0	2,340	3,190	3,190

**TRAFFIC COUNT DATA FOR SIX  
MILE CYPRESS PKWY AND  
PENZANCE BLVD.**

LeeSpins 2.0 | Transportation Data Management | x | + | lee.ms2soft.com/tds/tsearch.asp?loc=Lee&mod= | Bill Pay Sites | Governments | ESUTMISOnline: Tra... | Developments of R... | IFE Community | Traffic Data | Trans... | www.floridahealth.g... | FBC Jax Watchdogs | McTrans Center

Map | 215 | of 450 | Goto Record | go

Location ID	Type	MPO ID
895	SPOT	
On NHS	On HPMS	On HPMS
LR# ID	LR# Loc PL	LR# Loc PL
SF Group	Route Type	Route Type
AF Group	Route	Route
GF Group	Active	Active
Class Dist Grp	Category	Category
Seas Class Grp	Milepost	Milepost
W/M Group	Category	Category
QC Group	Category	Category
Funct1 Class	Category	Category
Located On	Category	Category
Loc On Alias	Category	Category
NORTH OF	Category	Category
More Detail	Category	Category

STATION DATA

Directions: 2-WAY | NB | SB

Year	AAADT	DHW-50	K %	D %	PA	BC	Src
2019	23,200	2,236	10	60			
2018	21,800	2,069	9	60			
2017	20,500	2,084	10	58			
2016	20,200	1,918	9	60			
2015	18,200	1,764	10	58			

Travel Demand Model

Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV
2019	23,200	15	27,151	15	27,151	15	27,151	15	27,151
2018	21,800	15	26,545	15	26,545	15	26,545	15	26,545
2017	20,500	15	26,398	15	26,398	15	26,398	15	26,398
2016	20,200	15	26,645	15	26,645	15	26,645	15	26,645
2015	18,200	15	26,279	15	26,279	15	26,279	15	26,279

VOLUME COUNT

Date	Int	Total	Annual Growth
Thu 4/4/2019	15	27,151	6%
Wed 4/3/2019	15	27,545	6%
Tue 4/2/2019	15	26,398	1%
Thu 3/15/2016	15	26,645	11%
Wed 3/14/2016	15	26,279	7%

VOLUME TREND

Map data © 2020 INEGI 1 km | Terms of Use | Report a map error

FLORIDA DEPARTMENT OF TRANSPORTATION  
 TRANSPORTATION STATISTICS OFFICE  
 2019 HISTORICAL AADT REPORT

COUNTY: 12 - LEE

SITE: 0162 - PENZANCE BLVD, W OF 6 MILE CYPRESS

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2019	3600 F	E 1900	W 1700	9.00	53.30	4.40
2018	3600 C	E 1900	W 1700	9.00	53.30	5.30
2017	2600 S	E 1400	W 1200	9.00	53.20	4.40
2016	2600 F	E 1400	W 1200	9.00	55.50	4.40
2015	2600 C	E 1400	W 1200	9.00	55.50	3.90

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE  
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN  
 \*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

**2019 LEE COUNTY  
PUBLIC FACILITIES  
LEVEL OF SERVICE  
AND  
CONCURRENCY REPORT**

Table 18 (cont.): Existing and Future Roadway LOS on County-Maintained Arterials in Unincorporated Areas

ROADWAY LINK				100TH HIGHEST HOUR DIRECTIONAL VOLUMES						NOTES
				STANDARD		2018		2023		
NAME	FROM	TO	TYPE	LOS	MAX	LOS	EXISTING	LOS	FUTURE	
LEELAND HEIGHTS	HOMESTEAD RD	JOEL BLVD	4LN	E	1,800	B	832	B	867	2017 count
LITTLETON RD	CORBETT RD	US 41	2LN	E	860	C	451	C	474	2017 count
	US 41	BUS 41	2LN	E	860	C	417	C	439	2017 count
LUCKETT RD	ORTIZ AVE	I-75	2LN	E	880	B	352	B	427	4 Ln design & ROW
Mc-GREGOR BLVD	SANIBEL T PLAZA	HARBOR DR	4LD	E	1,960	B	1,145	B	1,204	
	HARBOR DR	SUMMERLIN RD	4LD	E	1,960	B	1,192	B	1,253	2017 count
	SUMMERLIN RD	KELLY RD	4LD	E	1,960	A	980	B	1,030	
	KELLY RD	GLADIOLUS DR	4LD	E	1,960	A	980	B	1,030	
N RIVER RD	SR 31	FRANKLIN LOCK RD	2LN	E	1,140	A	166	B	285	2017 count
	FRANKLIN LOCK RD	BROADWAY RD	2LN	E	1,140	A	80	B	225	2017 count
	BROADWAY RD	COUNTY LINE	2LN	E	1,140	A	80	A	113	2017 count
ORANGE RIVER BLVD	SR 80	STALEY RD	2LN	E	1,000	C	418	C	440	
	STALEY RD	BUCKINGHAM RD	2LN	E	1,000	C	418	C	452	
ORTIZ AVE	SR 82	LUCKETT RD	2LN	E	900	B	787	C	828	v/c = 0.87/0.92 4 Ln design & ROW
	LUCKETT RD	SR 80	2LN	E	900	B	364	B	383	4 Ln design & ROW
PINE ISLAND RD	STRINGFELLOW RD	BURNT STORE RD	2LN	E	950	E	609	E	659	Constrained
PONDELLA RD	SR 78	ORANGE GROVE BLVD	4LD	E	1,890	B	840	B	883	2017 count
	ORANGE GROVE BLVD	US 41	4LD	E	1,890	B	1,331	B	1,399	
	US 41	BUS 41	4LD	E	1,890	B	1,018	B	1,070	2017 count
SANIBEL CAUSEWAY	SANIBEL SHORELINE	TOLL PLAZA	2LN	E	1,140	E	979	E	1,029	v/c = 0.86/0.90, 2017 count
SIX MILE CYPRESS	METRO PKWY	DANIELS PKWY	4LD	E	2,000	B	1,461	B	1,536	
	DANIELS PKWY	WINKLER EXT.	4LD	E	1,900	B	1,134	B	1,337	
SLATER RD	SR 78	NALLE GRADE RD	2LN	E	1,010	C	388	C	407	2017 count
STRING-FELLOW RD	1ST AVE	BERKSHIRE RD	2LN	E	1,060	B	315	D	672	Constrained
	BERKSHIRE RD	PINE ISLAND RD	2LN	E	1,060	B	315	C	448	Constrained
	PINE ISLAND RD	PINELAND RD	2LN	E	1,060	C	602	C	703	Constrained
	PINELAND RD	MAIN ST	2LN	E	1,060	C	602	C	699	
SUM-MERLIN RD	McGREGOR BLVD	KELLY COVE RD	4LD	E	1,980	A	1,243	A	1,306	
	KELLY COVE RD	SAN CARLOS BLVD	4LD	E	1,980	A	1,243	A	1,306	
	SAN CARLOS BLVD	PINE RIDGE RD	6LD	E	3,000	A	1,964	A	2,194	
	PINE RIDGE RD	BASS RD	6LD	E	3,000	A	1,964	A	2,064	
	BASS RD	GLADIOLUS DR	6LD	E	3,000	A	1,964	A	2,064	
	GLADIOLUS DR	CYPRESS LAKE DR	4LD	E	1,900	B	1,454	B	1,555	
	CYPRESS LAKE DR	COLLEGE PKWY	6LD	E	2,880	B	1,780	B	1,871	
	COLLEGE PKWY	PARK MEADOW DR	6LD	E	2,880	B	1,908	B	2,005	
	PARK MEADOW DR	BOY SCOUT	6LD	E	2,880	B	1,908	B	2,005	

Table 19 (cont.): Existing and Future Roadway LOS on County-Maintained Collectors in Unincorporated Areas

ROADWAY LINK				100TH HIGHEST HOUR DIRECTIONAL VOLUMES						NOTES
				STANDARD		2018		2023		
NAME	FROM	TO	TYPE	LOS	MAX	LOS	EXISTING	LOS	FUTURE	
ORANGE GROVE BLVD	CLUB ENTR.	4 LANE END	2LN	E	860	C	393	C	488	2009 count
	4 LANE END	HANCOCK B. PKWY	4LN	E	1,790	C	393	C	488	2009 count
	HANCOCK B. PKWY	PONDELLA RD	4LN	E	1,790	C	506	C	532	2009 count
ORIOLE RD	SAN CARLOS BLVD	ALICO RD	2LN	E	860	C	139	C	146	2010 count
PALOMINO LN	DANIELS PKWY	PENZANCE BLVD	2LN	E	860	C	408	C	431	
PARK MEADOWS DR	SUMMERLIN RD	US 41	2LN	E	860	C	206	C	216	2010 count
PENZANCE BLVD	RANCHETTE RD	SIX MILE PKWY	2LN	E	860	C	124	C	136	2010 count
PINE RIDGE RD	SAN CARLOS BLVD	SUMMERLIN RD	2LN	E	860	C	593	D	639	2010 count
	SUMMERLIN RD	GLADIOLUS DR	2LN	E	860	C	282	C	541	Heritage Isle, 2016 count
	GLADIOLUS DR	McGREGOR BLVD	2LN	E	860	C	261	C	275	
PLANTATION RD	SIX MILE PKWY	DANIELS PKWY	2LN	E	860	C	293	C	422	Intermed Park
	DANIELS PKWY	IDLEWILD ST	2LN	E	860	D	684	D	719	v/c = 0.83/0.88 FDOT Metro Pkwy 6-laning
	IDLEWILD ST	COLONIAL BLVD	4LN	E	1,790	C	730	C	767	
PRITCHETT PKWY	SR 78	RICH RD	2LN	E	860	C	73	C	541	2009 count, Stoneybrook North
RICH RD	SLATER RD	PRITCHETT PKWY	2LN	E	860	C	55	C	62	2009 count
RICHMOND AVE	LEELAND HEIGHTS	E 12TH ST	2LN	E	860	C	74	C	86	2010 count
	E 12TH ST	GREENBRIAR BLVD	2LN	E	860	C	74	C	78	2010 count
SAN CARLOS BLVD	US 41	THREE OAKS PKWY	2LN	E	860	C	421	C	443	2010 count
SANIBEL BLVD	US 41	LEE RD	2LN	E	860	C	490	C	515	
SHELL POINT BLVD	McGREGOR BLVD	PALM ACRES	2LN	E	860	C	269	C	283	2010 count
SOUTH POINTE BLVD	CYPRESS LAKE DR	COLLEGE PKWY	2LD	E	910	C	565	C	594	2010 count
STALEY RD	TICE	ORANGE RIVER BLVD	2LN	E	860	C	189	C	215	2017 count
SW 23RD ST	GUNNERY RD	SUNSHINE BLVD	2LN	E	860	D	660	D	694	v/c = 0.77/0.81
TICE ST	SR 80	ORTIZ AVE	2LN	E	860	C	163	C	171	2010 count
	ORTIZ AVE	STALEY RD	2LN	E	860	C	207	D	720	Elementary U., v/c = 0.24/0.84
WESTGATE BLVD	SW 23RD ST	LEE BLVD	2LN	E	860	C	640	C	696	
WHISKEY CREEK DR	COLLEGE PKWY	SAUTERN DR	2LD	E	910	C	340	C	357	2010 count
	SAUTERN DR	McGREGOR BLVD	2LD	E	910	C	340	C	357	2010 count
WILLIAMS AVE	LEE BLVD	W. 6TH ST	2LN	E	860	D	589	D	627	
WINKLER RD	STOCKBRIDGE DR	SUMMERLIN RD	2LN	E	860	C	461	D	537	2010 count
WOODLAND BLVD	US 41	AUSTIN ST	2LN	E	860	C	266	C	300	2010 count
W. 6TH ST	WILLIAMS AVE	JOEL BLVD	2LN	E	860	C	196	C	206	2017 count
W. 12TH ST	GUNNERY RD	SUNSHINE BLVD	2LN	E	860	C	239	C	252	
	SUNSHINE BLVD	WILLIAMS AVE	2LN	E	860	C	76	C	168	2010 count
	WILLIAMS AVE	JOEL BLVD	2LN	E	860	C	92	C	104	2010 count
W. 14TH ST	SUNSHINE BLVD	RICHMOND AVE	2LN	E	860	C	48	C	54	2010 count

0.8 &lt; v/c &lt; 0.9

= 100<sup>th</sup> hour directional volume v/c ratio between 80 and 90 percent of capacity

0.9 &lt; v/c &lt; 1.0

= 100<sup>th</sup> hour directional volume v/c ratio between 90 and 100 percent of capacity

= Does not meet the County adopted LOS standard (NOTE: Below LOS standard is acceptable on constrained roads)

F

# **TRIP GENERATION EQUATIONS**

## Multifamily Housing (Mid-Rise) (221)

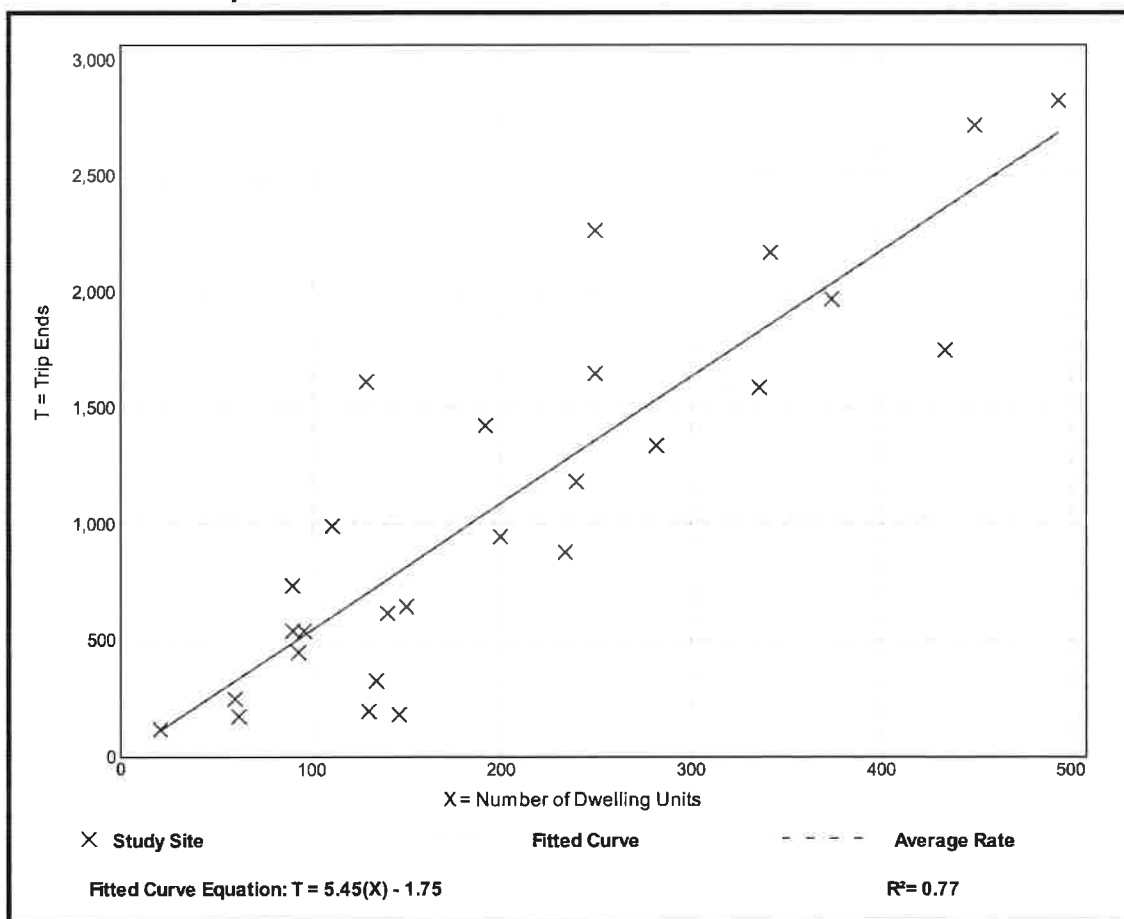
**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 27  
Avg. Num. of Dwelling Units: 205  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
5.44	1.27 - 12.50	2.03

### Data Plot and Equation



## Multifamily Housing (Mid-Rise) (221)

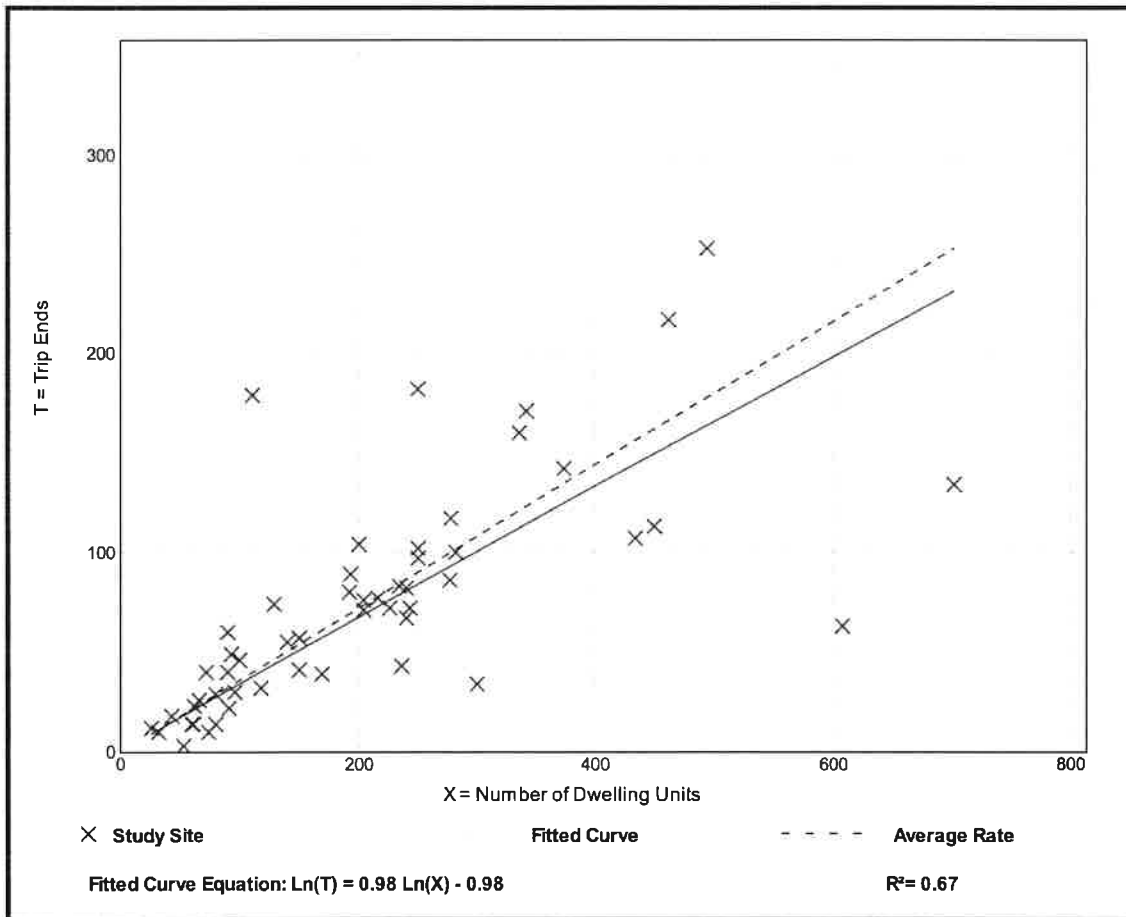
**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 53  
 Avg. Num. of Dwelling Units: 207  
 Directional Distribution: 26% entering, 74% exiting

### Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.36	0.06 - 1.61	0.19

### Data Plot and Equation



## Multifamily Housing (Mid-Rise) (221)

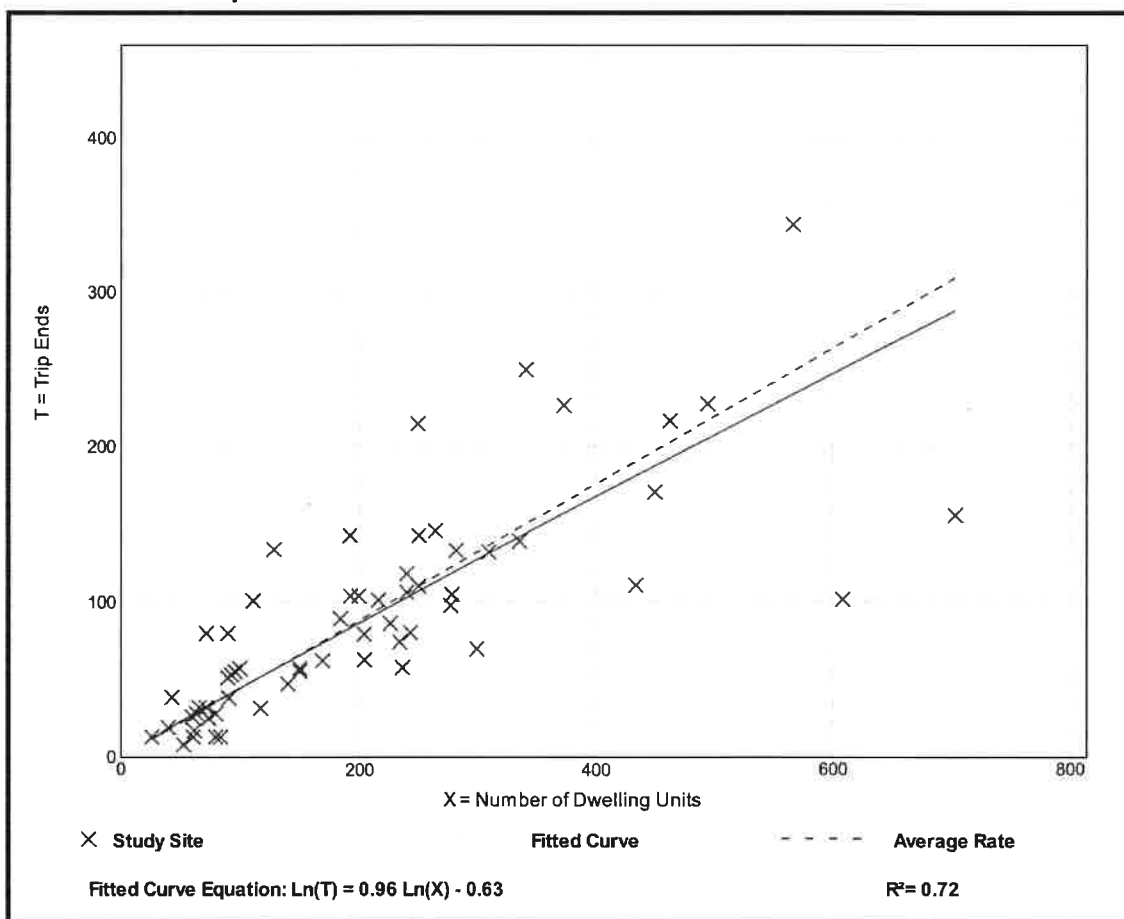
**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 60  
 Avg. Num. of Dwelling Units: 208  
 Directional Distribution: 61% entering, 39% exiting

### Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.44	0.15 - 1.11	0.19

### Data Plot and Equation



# Hotel (310)

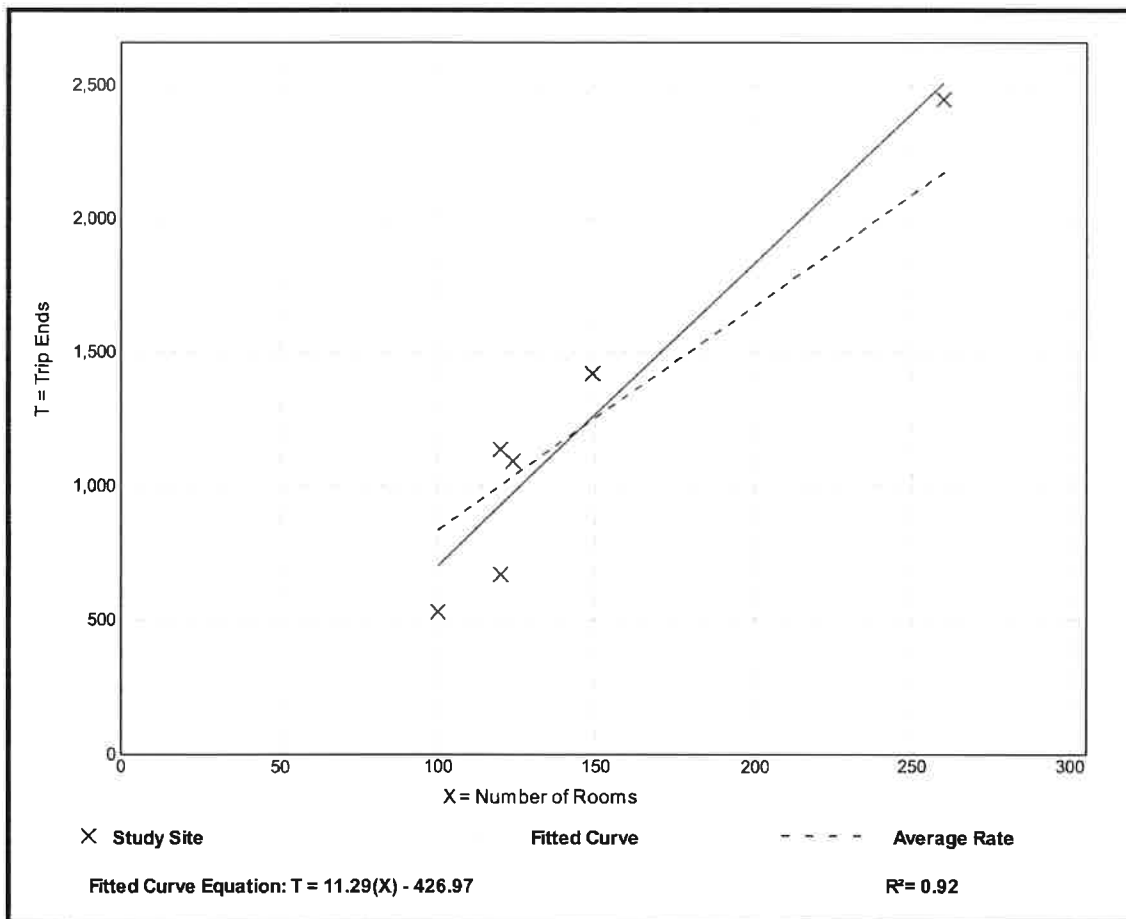
**Vehicle Trip Ends vs: Rooms**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 6  
Avg. Num. of Rooms: 146  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
8.36	5.31 - 9.53	1.86

### Data Plot and Equation



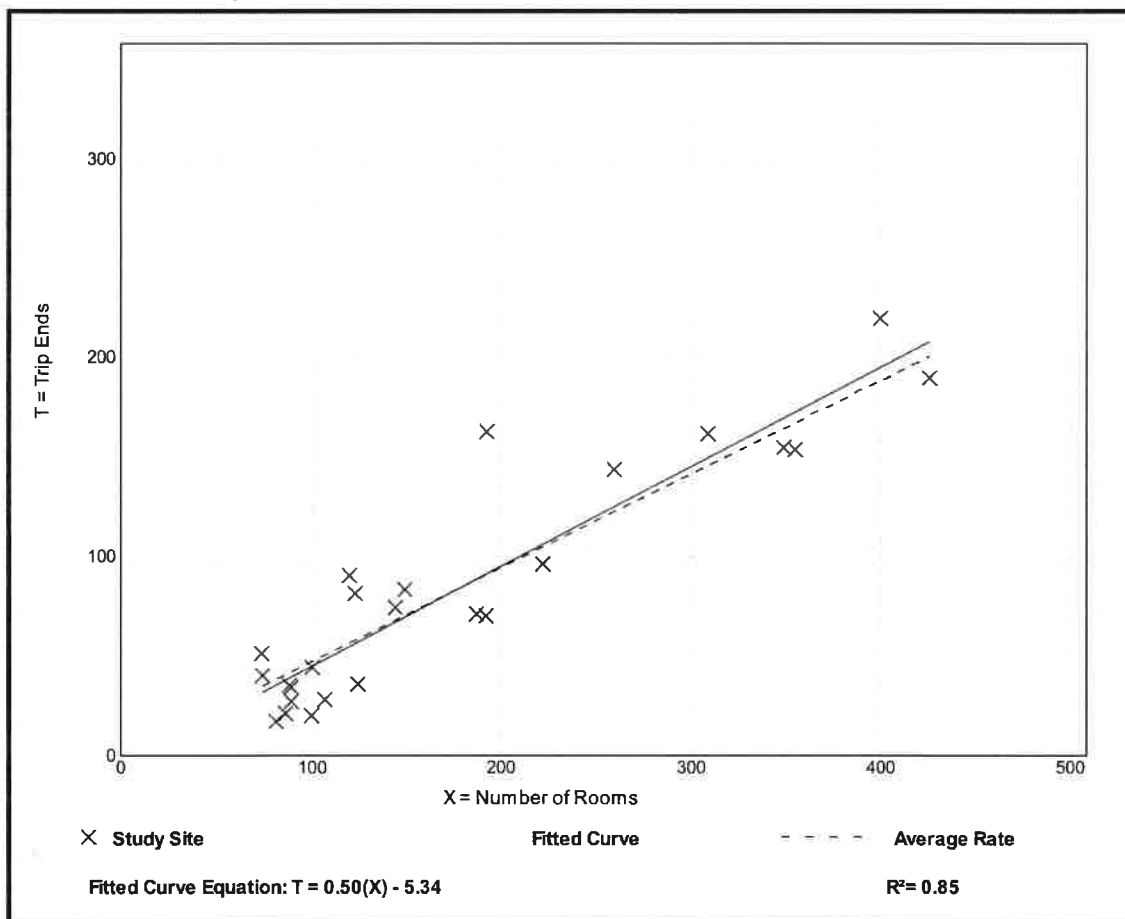
## Hotel (310)

**Vehicle Trip Ends vs: Rooms**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 25  
 Avg. Num. of Rooms: 178  
 Directional Distribution: 59% entering, 41% exiting

### Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
0.47	0.20 - 0.84	0.14

### Data Plot and Equation



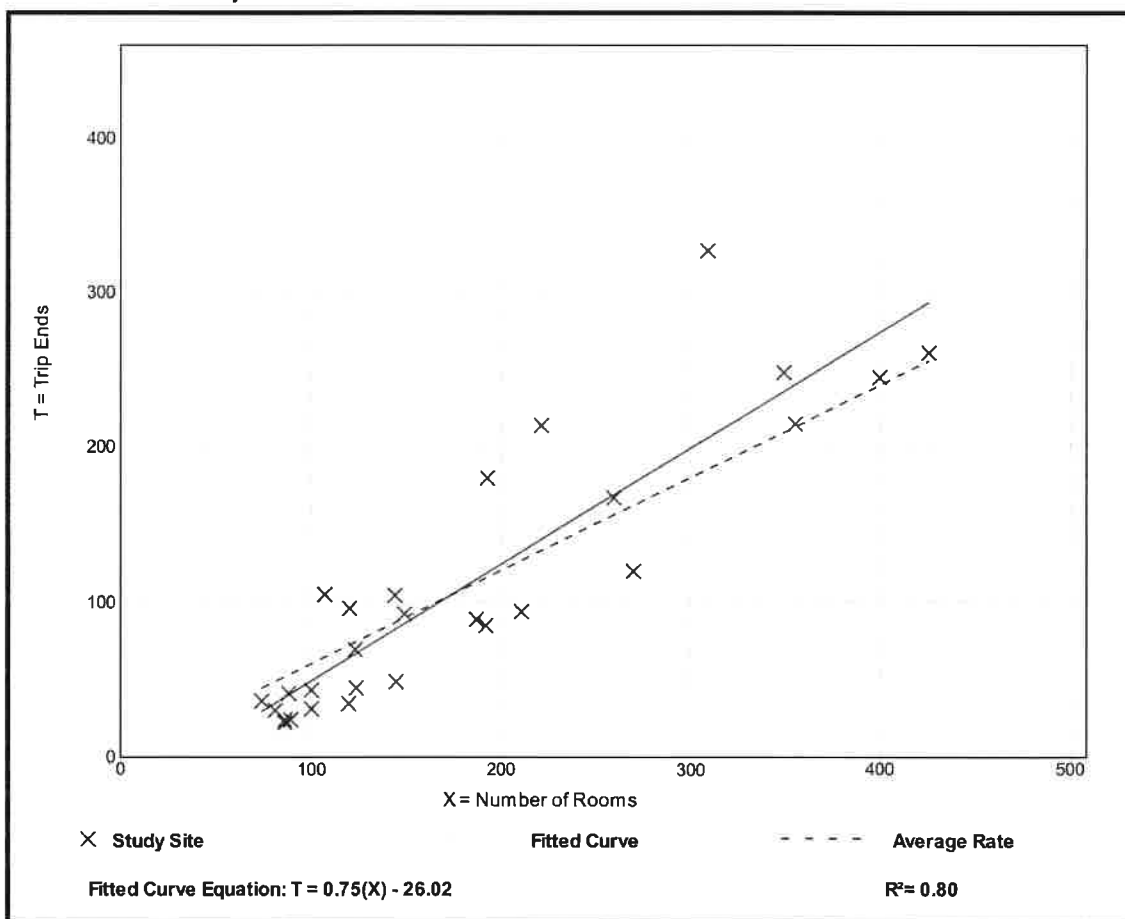
## Hotel (310)

**Vehicle Trip Ends vs: Rooms**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 28  
 Avg. Num. of Rooms: 183  
 Directional Distribution: 51% entering, 49% exiting

### Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
0.60	0.26 - 1.06	0.22

### Data Plot and Equation



## Medical-Dental Office Building (720)

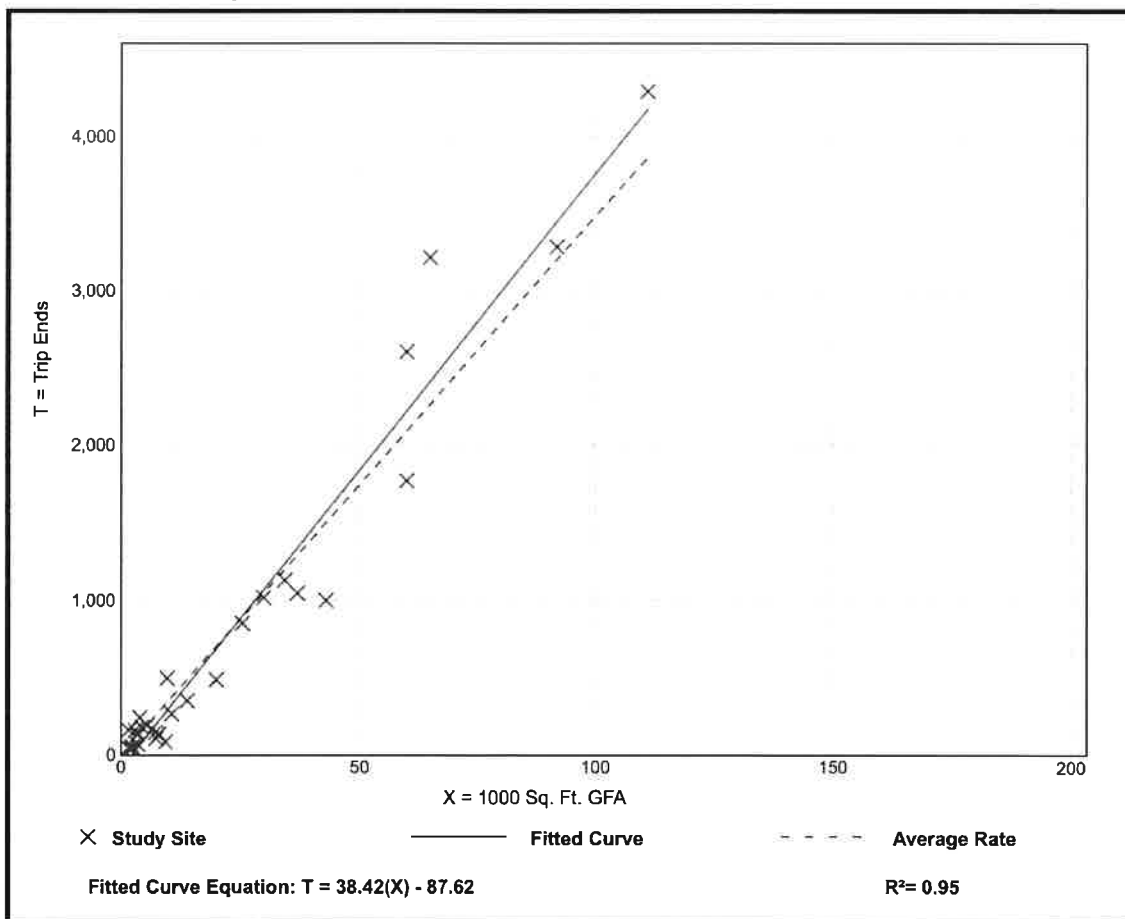
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 28  
1000 Sq. Ft. GFA: 24  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
34.80	9.14 - 100.75	9.79

### Data Plot and Equation



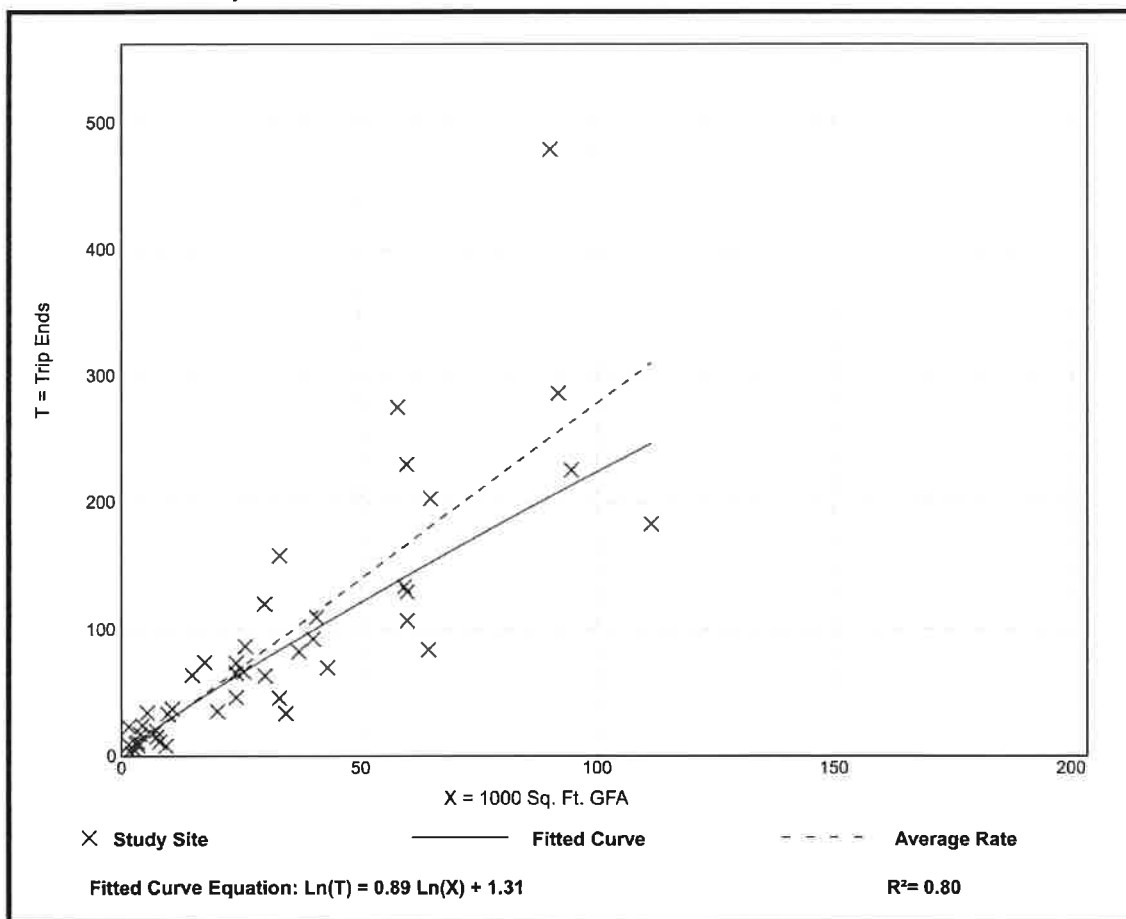
## Medical-Dental Office Building (720)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 44  
 1000 Sq. Ft. GFA: 32  
 Directional Distribution: 78% entering, 22% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
2.78	0.85 - 14.30	1.28

### Data Plot and Equation



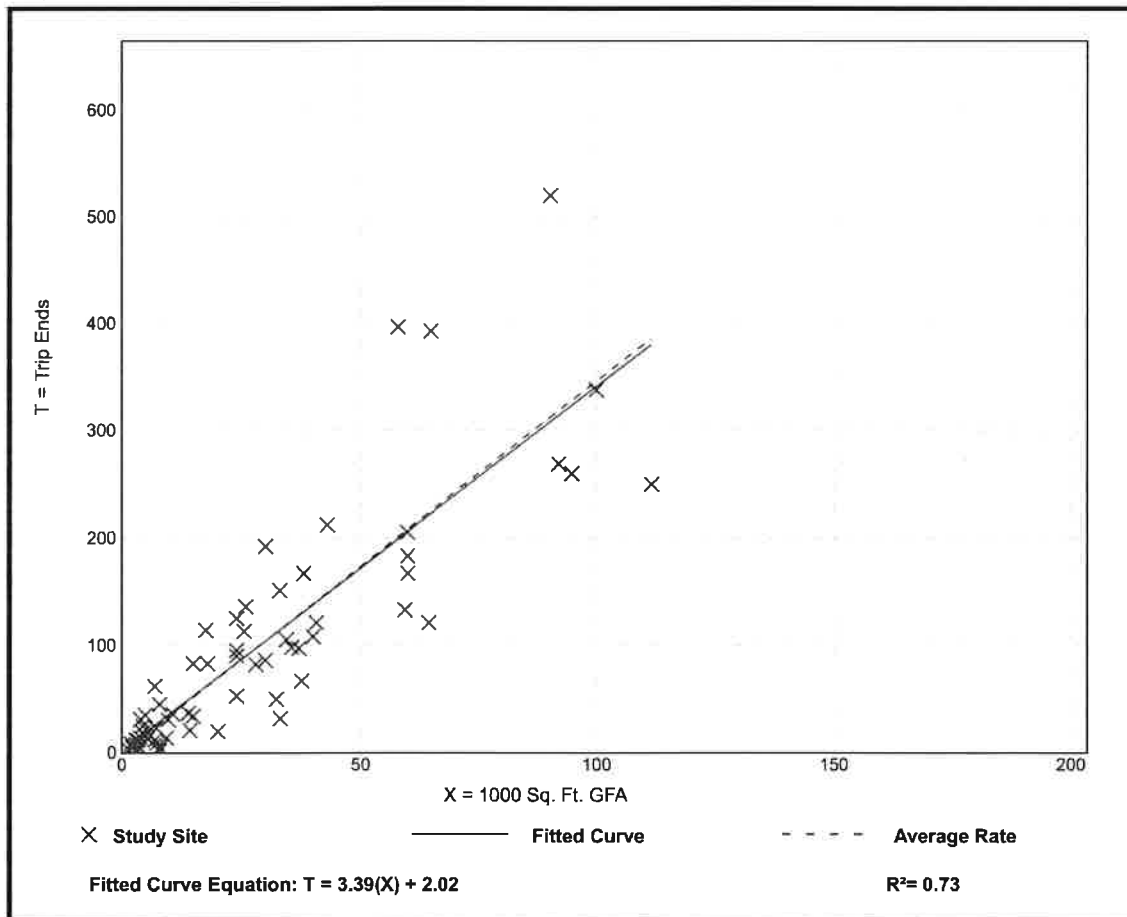
## Medical-Dental Office Building (720)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 65  
 1000 Sq. Ft. GFA: 28  
 Directional Distribution: 28% entering, 72% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.46	0.25 - 8.86	1.58

### Data Plot and Equation



## Shopping Center (820)

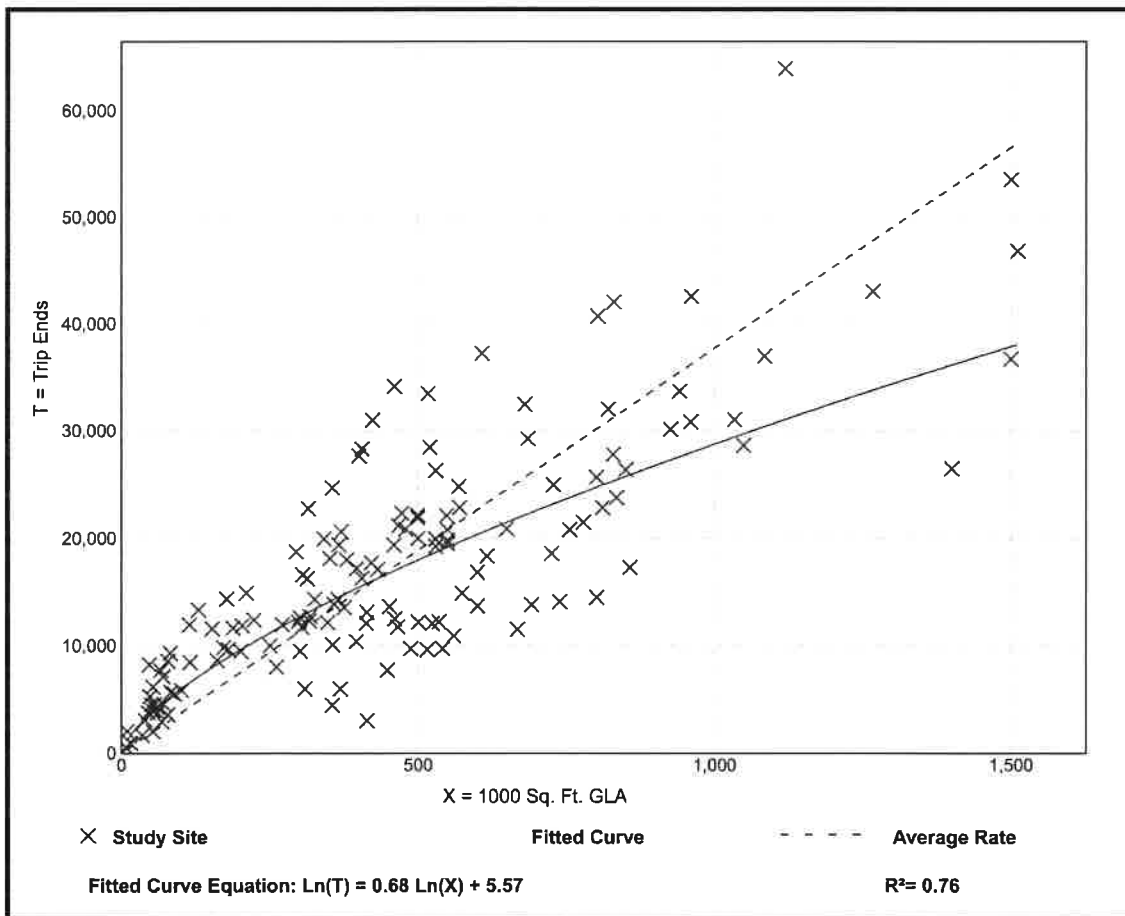
**Vehicle Trip Ends vs: 1000 Sq. Ft. GLA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 147  
1000 Sq. Ft. GLA: 453  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
37.75	7.42 - 207.98	16.41

### Data Plot and Equation



## Shopping Center (820)

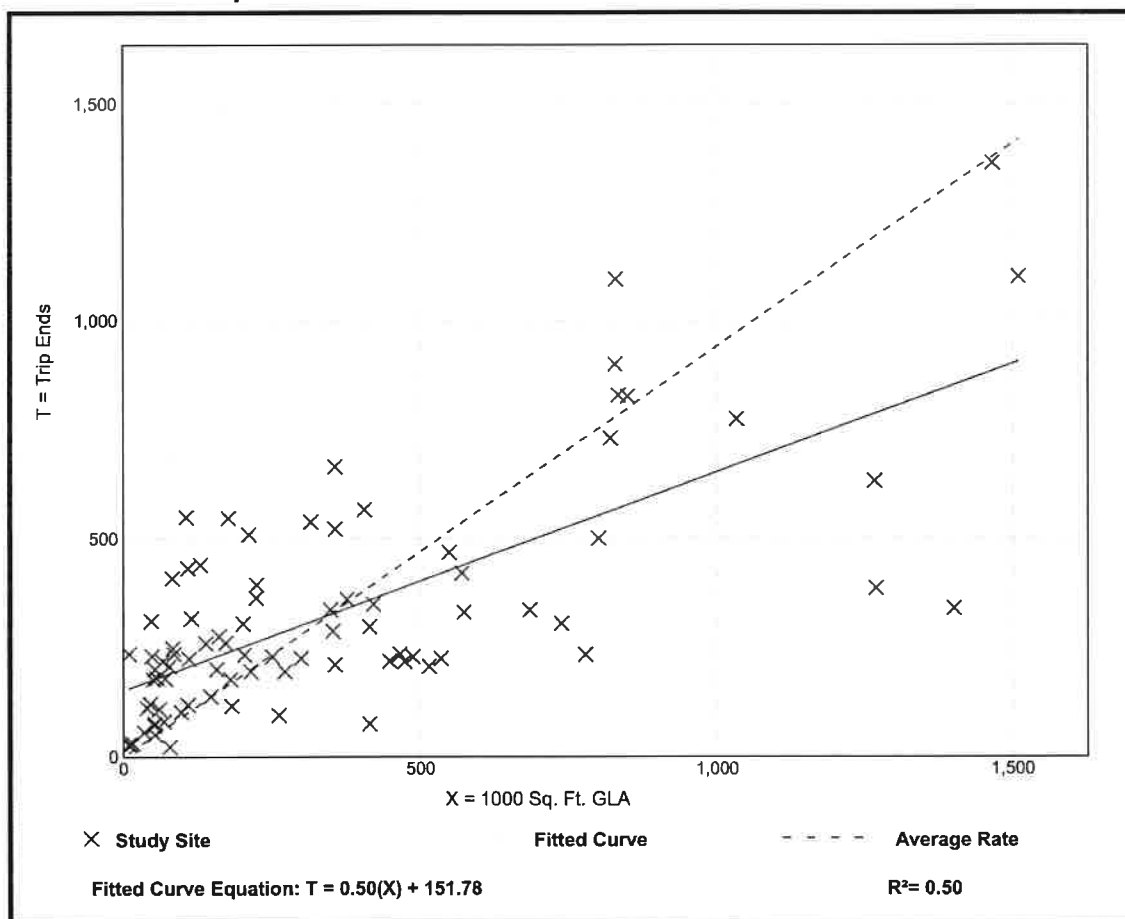
**Vehicle Trip Ends vs: 1000 Sq. Ft. GLA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 84  
 1000 Sq. Ft. GLA: 351  
 Directional Distribution: 62% entering, 38% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
0.94	0.18 - 23.74	0.87

### Data Plot and Equation



## Shopping Center (820)

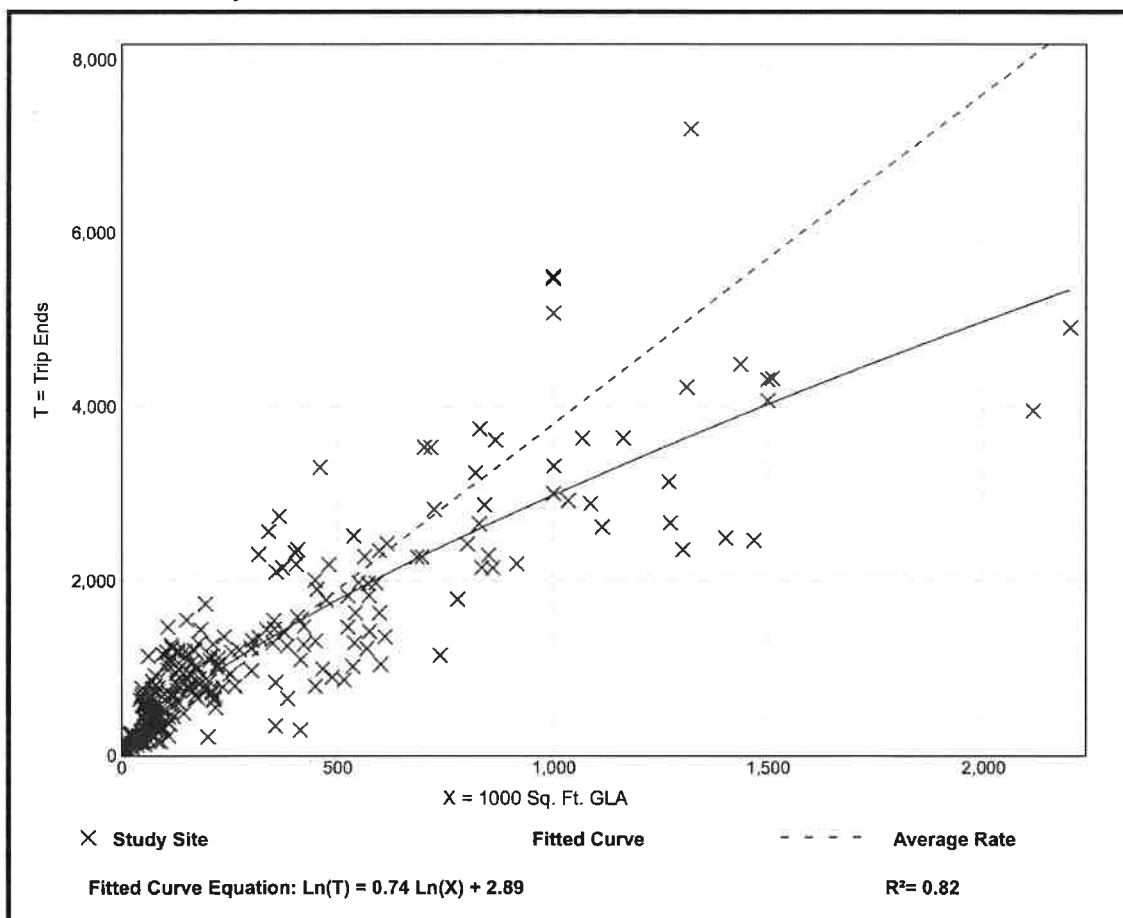
**Vehicle Trip Ends vs: 1000 Sq. Ft. GLA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**


**Setting/Location: General Urban/Suburban**  
 Number of Studies: 261  
 1000 Sq. Ft. GLA: 327  
 Directional Distribution: 48% entering, 52% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
3.81	0.74 - 18.69	2.04

### Data Plot and Equation



 <p><b>First American</b></p> <p><b>Commitment</b></p>	<p><b>ALTA Commitment for Title Insurance</b></p> <p>ISSUED BY</p> <p><b>First American Title Insurance Company</b></p> <p>File No: NCS-991651-ATL</p>
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**AMERICAN LAND TITLE ASSOCIATION COMMITMENT FOR TITLE INSURANCE**

Issued By  
***First American Title Insurance Company***

**NOTICE**

**IMPORTANT-READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

**COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, ***First American Title Insurance Company***, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Issued through:

***First American Title Insurance Company***



Dennis J. Gilmore, President



Greg L. Smith, Secretary

**If this jacket was created electronically, it constitutes an original document.**

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions.*

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**COMMITMENT CONDITIONS****1. DEFINITIONS**

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

**4. COMPANY'S RIGHT TO AMEND**

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

**5. LIMITATIONS OF LIABILITY**

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - (i) comply with the Schedule B, Part I—Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

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**6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

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*First American*

# Schedule A

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: NCS-991651-ATL

### **Transaction Identification Data for reference only:**

Issuing Office: Six Concourse Parkway, Suite 2000, Atlanta, GA 30328 Issuing Office's ALTA ® Registry ID:

Issuing Office File Number.: NCS-991651-ATL

Loan ID Number.:

Commitment Number.: NCS-991651-ATL

Property Address: 19 acres, , FL

Revision Number.:

### **Update and Revision: 08/20/2020**

Schedule A: brought Effective Date forward  
Schedule B-I: deleted Items 13, 15 and 16; revised Tax Note  
Schedule B-II: revised Item 14

### **Update and Revision: 05/20/2020**

Schedule A: brought Effective Date forward  
Schedule B-I: added Items 13 and 16; revised Tax Note  
Schedule B-II: revised Item 08.

### **Update and Revision: 03/20/2020**

Schedule A: brought Effective Date forward  
Schedule B-I: added Item 14; revised Tax Note

## **SCHEDULE A**

1. Commitment Date: August 04, 2020 at 8:00 AM
2. Policy or Policies to be issued: Proposed Amount of Insurance:
  - a. ALTA Owner's Policy of Title Insurance (6-17-06) (with Florida modifications) \$5,400,000.00  
Proposed Insured: NGI Investments, LLC, a Georgia limited liability company
  - b. ALTA Loan Policy of Title Insurance (6-17-06) (with Florida modifications) \$1,000.00  
Proposed Insured: A Natural Person or Legal Entity To Be Designated
3. The estate or interest in the Land described or referred to in this Commitment is Fee Simple as to Parcel 1 and Easements as to Parcels 2, 3 and 4
4. The Title is, at the Commitment Date, vested in:  
Carissa, LLC, a Florida limited liability company

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5. The Land is described as follows:

**See Exhibit "A" attached hereto and made a part hereof**



By: \_\_\_\_\_  
as an Authorized Signatory of First American Title Insurance Company National Commercial Services

 <p><b>Exhibit A</b></p>	<p>ISSUED BY <b>First American Title Insurance Company</b></p> <p>File No: NCS-991651-ATL</p>
---	---

File No.: NCS-991651-ATL

The Land referred to herein below is situated in the County of Lee, State of Florida, and is described as follows:

**PARCEL 1:**

A TRACT OR PARCEL OF LAND SITUATED IN THE STATE OF FLORIDA, COUNTY OF LEE, LYING IN SECTION 17, TOWNSHIP 45 SOUTH, RANGE 25 EAST, BEING FURTHER BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH ONE QUARTER CORNER OF SAID SECTION 17; THENCE S.00°06'35"E. ALONG THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 17, FOR 658.74 FEET; THENCE S.88°56'52"W. ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 17, FOR 654.76 FEET; THENCE S.00°22'36"E. ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 17 AND THE CENTERLINE OF A 60.00 FOOT WIDE INGRESS AND EGRESS EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4609, PAGE 4248, LEE COUNTY PUBLIC RECORDS, FOR 664.60 FEET; THENCE N.88°48'50"E. ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE CENTERLINE OF A 60.00 FOOT WIDE VIEWER'S ROAD AS DESCRIBED IN COUNTY COMMISSIONERS MINUTE BOOK 5, PAGE 669, SAID PUBLIC RECORDS, FOR 651.68 FEET; THENCE N.00°06'35"W. ALONG SAID NORTH-SOUTH QUARTER SECTION LINE OF SECTION 17, FOR 30.00 FEET TO THE NORTH LINE OF SAID 60.00 FOOT WIDE VIEWER'S ROAD; THENCE N.88°52'35"E. ALONG SAID NORTH LINE FOR 98.08 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SIX MILE CYPRESS PARKWAY (250.00 FEET WIDE); THENCE N.20°01'31"E. ALONG SAID WESTERLY RIGHT OF WAY LINE, FOR 1389.14 FEET; THENCE S.88°29'12"W. ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 17, FOR 576.42 FEET TO THE POINT OF BEGINNING.

SUBJECT PARCEL CONTAINS: 19.96 ACRES, MORE OR LESS.

**PARCEL 2:**

Easements and other interests in real property contained in those certain Roadway Easements, as described in Warranty Deeds recorded in Official Records Book 729, Page 618 and Official Records Book 1681, Page 1390, of the Public Records of Lee County, Florida.

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## PARCEL 3:

Easements and other interests in real property contained in that certain Easement Agreement by and among Stephanie Miller, Trustee, Carissa, LLC, a Florida limited liability company and Crystal Six Mile Partners, LLC, a Florida limited liability company, dated January 11, 2006 and recorded January 16, 2007 in Instrument No. 2007000016691, of the Public Records of Lee County, Florida.

## PARCEL 4:

Easements and other interests in real property contained in that certain Declaration of Covenants, Conditions and Restrictions for Carissa Commercial Park by Carissa LLC, a Florida limited liability company and Crystal Six Mile Partners, LLC, a Florida limited liability company, dated December 21, 2007 and recorded February 12, 2008 in Instrument No. 2008000038029, of the Public Records of Lee County, Florida.

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*First American*

# Schedule BI

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: NCS-991651-ATL

Commitment No.: NCS-991651-ATL

### SCHEDULE B-I

#### Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
  - (a) Warranty Deed conveying the land from Carissa, LLC, a Florida limited liability company to NGI Investments, LLC, a Georgia limited liability company. In connection with said deed, we will further require:
    - 1) Production of a copy of the articles of organization and regulations, if adopted, with an affidavit affixed thereto that it is a true copy of the articles of organization and regulations, and all amendments thereto, and that the limited liability company has not been dissolved;
    - 2) That said deed shall be executed by all of the members, unless the articles of organization provides that the company shall be governed by managers; then said deed shall be executed by all of the managers, unless said articles of organization and regulations show no limitation on the authority of one member, or one manager, if applicable, to execute a conveyance;
    - 3) Should any member or manager, if applicable, be other than a natural person, we will require proof of good standing as well as documentation of authority of the person to execute documents on its behalf;
    - 4) Certificate of Organization from the Secretary of State, showing the limited liability company to have been formed as of January 10, 2006, together with proof as to the current status of said limited liability company;
    - 5) Satisfactory evidence of compliance with all requirements regarding conveying company property contained in the articles of organization and regulations, if adopted; and
    - 6) The Company reserves the right to make such further requirements as it deems necessary after review of any of the documentation required above.

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- (b) Mortgage encumbering the land from NGI Investments, LLC, a Georgia limited liability company, to the proposed insured mortgagee, in the principal amount of \$1,000.00. In connection with said mortgage, we will further require:
- 1) Production of a copy of the articles of organization and regulations, if adopted, with an affidavit affixed thereto that it is a true copy of the articles of organization and regulations, and all amendments thereto, and that the limited liability company has not been dissolved;
  - 2) That said mortgage shall be executed by all of the members, unless the articles of organization provides that the company shall be governed by managers, then said mortgage shall be executed by all of the managers, unless said articles of organization and regulations, show no limitation on the authority of one member, or one manager, if applicable, to execute a mortgage;
  - 3) Should any member, or manager, if applicable, be other than a natural person, we will require proof of good standing as well as documentation of authority of the person to execute documents on its behalf;
  - 4) Certificate of Organization from the Secretary of State, showing the limited liability company to have been formed as of the date of acquisition of subject property, together with proof as to the current status of said limited liability company;
  - 5) Satisfactory evidence of compliance with all requirements regarding encumbering company property contained in the articles of organization and regulations, if adopted; and
  - 6) The Company reserves the right to make such further requirements as it deems necessary after review of any of the documentation required above.
5. Payment, cancellation and satisfaction of record of Mortgage and Security Agreement, executed by Carissa, LLC, a Florida limited liability company, in favor of FineMark National Bank & Trust, recorded February 2, 2009 in Instrument No. 2009000026223, as affected by Mortgage Modification Agreement, recorded in Instrument No. 2010000245045, and as further affected by Mortgage Modification Agreement, recorded in Instrument No. 2011000236203, and as further affected by Mortgage Modification Agreement, recorded in Instrument No. 2013000001065, and as further affected by Mortgage Modification Agreement, recorded in Instrument No. 2014000002087, and as further affected by Mortgage Modification and Renewal Agreement, recorded in Instrument No. 2015000267606, and as further affected by Mortgage Modification and Renewal Agreement, recorded in Instrument No. 2018000001155, of the Public Records of Lee County, Florida.
  6. Release of Collateral Assignment of Rents and Leases from Carissa, LLC, a Florida limited liability company to FineMark National Bank & Trust recorded February 2, 2009, in Instrument No. 2009000026224, of the Public Records of Lee County, Florida.
  7. The name(s) of the Proposed Insured under the Mortgage Policy must be furnished in order that this Commitment may become effective. The Company reserves the right to make such additional requirements as it may deem necessary.
  8. The actual value of the estate or interest to be insured must be disclosed to the Company and, subject to approval by the Company, entered as the amount of the Policy to be issued.
  9. Survey prepared by a Florida registered land surveyor; dated no more than 90 days prior to the closing date of subject transaction; certified to the proposed insured(s), First American Title Insurance Company, and all other parties in interest; meeting the minimum standards for all land surveys as set forth in Chapter 472.027, Florida Statutes or in Chapter 21 HH 6, Florida Administrative Code. The Company reserves the right to make such additional requirements and/or to modify the legal description (shown on Schedule A herein), as it may deem necessary.

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10. Note: Items 1, 2, 3, 4, 5 and 6 of Schedule B, Section 2 of the Commitment, will be deleted from any policies issued pursuant thereto upon our review and acceptance of a survey acceptable to the Company, certified in accordance with Florida Statutes, or such other proof as may be acceptable to the Company, relating to any rights, interests or claims affecting the land which a correct survey would disclose, and an Affidavit of Possession and No Liens in accordance with Florida Statutes, and the Company's review of the potential exposure for construction liens. The Company reserves the right to include exceptions from coverage relating to matters disclosed by the survey or other proof, the Affidavit, or discovered in the Company's review of the potential exposure for construction liens, and to make such additional requirements as it may deem necessary.
11. Satisfactory evidence of payment of any municipal liens or assessments for public improvements or assessments, as provided for by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas systems supplying the lands described herein. A municipal lien search will need to be ordered and will take 10 to 15 business days to complete. Suggested vendors are:
- Abramowitz Tax & Lien Service, Inc.  
816 South Military Trail  
Deerfield Beach, FL 33442  
Phone: (954) 480-6529
- American Lien & Estoppel Services, LLC  
6413 Congress Avenue, Ste 130  
Boca Raton, FL 33487  
Phone: (561) 922-5305
12. Note: The Company reserves the right to make additional requirements as it may deem necessary.
13. This item has been intentionally deleted.
14. Pay any and all taxes and/or assessments, levied and assessed against the Land, that are due and payable.
15. This item has been intentionally deleted.
16. This item has been intentionally deleted.

Note: 2019 Real Estate taxes are PAID in the gross amount of \$6,658.60 under Tax Parcel I.D. No. 17-45-25-00-00004.0000.

2019 Real Estate taxes are PAID in the gross amount of \$5,801.36 under Tax Parcel I.D. No. 17-45-25-00-00004.0020.

2019 Real Estate taxes are PAID in the gross amount of \$6,107.98 under Tax Parcel I.D. No. 17-45-25-01-00000.0270.

2019 Real Estate taxes are PAID in the gross amount of \$5,237.97 under Tax Parcel I.D. No. 17-45-25-01-00000.0280.

2019 Real Estate taxes are NO TAX DUE in the gross amount of \$0.00 under Tax Parcel I.D. No. 17-45-25-01-00000-07CE.

#### **FLORIDA RECORDING FEES:**

Recording Fees: \$10.00 for the first page / \$8.50 each additional page  
PLUS e-filing fee of \$4.00 per document  
PLUS \$1.00 indexing fee for each name over 4

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Deed Transfer Tax (called Documentary Stamp Tax): \$.70 per \$100 (rounded up to the nearest \$100)

for all FL counties EXCEPT Miami-Dade where the rate for all property except single family residences is \$10.50/\$1000 (rounded to the nearest \$100)

Mortgage Tax: Comprised of 2 taxes: Documentary Stamp Tax PLUS Intangible Tax  
 Documentary Stamp Tax: \$.35/\$100 (rounded up to the nearest \$100)  
 Intangible Tax: \$2.00/\$1000

In the case of taxes on Mortgage Modifications or Assumptions, please contact the assigned FL Underwriter.

#### **FLORIDA RECORDING STANDARDS:**

Margins - First Page: Leave 3" x 3" right hand top margin blank; place name and address of preparer and return-to address in left hand 3"; all other margins: 1"

Margins - Add'l Pages: 1"

Paper Size: Either 8.5" x 11" or 8.5" x 14"

Tax Parcel No.: Must be present on the face of all deeds.

Signatures: Names must be legibly printed, typed or stamped immediately beneath the signatures.

Addresses: The post office address of Grantor and Grantee must be legibly printed, typed or stamped within the document.

Witnesses: Two (2) witnesses are required on all conveyances of an interest in land. The name of each witness must be legibly printed, typed or stamped beneath the signatures.

Preparer/Return-to: The name, title and address of the person who prepared the document must be legibly printed, typed or stamped after the words "This document prepared by:" Also include a return-to address on the first page.

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## Schedule BII

### ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

File No: NCS-991651-ATL

### SCHEDULE B-II

#### Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. Any rights, interests, or claims of parties in possession of the land not shown by the public records.
3. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land.
4. Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein.
5. Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water.
6. Taxes or special assessments not shown as liens in the public records or in the records of the local tax collecting authority, at Date of Policy.
7. Any minerals or mineral rights leased, granted or retained by current or prior owners, without right of entry.
8. Taxes and assessments for the year 2020 and all subsequent years, which are not yet due and payable.
9. Oil, gas and mineral reservations contained in the Instrument(s) recorded in Deed Book 258, Page 453, as affected by transfers of mineral interests, including, but not limited to those recorded in

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Official Records Book 1728, Page 4701, Official Records Book 1747, Page 866, Official Records Book 1748, Page 1072, Official Records Book 1763, Page 1806, Official Records Book 1922, Page 730, Official Records Book 1922, Page 732, Official Records Book 2230, Page 39, Official Records Book 2253, Page 3555, Official Records Book 2410, Page 2017, in Instrument No. 2008000327596, of the Public Records of Lee County, Florida..

10. This item has been intentionally deleted.
11. Roadway Easements, as described in Warranty Deeds recorded in Official Records Book 729, Page 618 and Official Records Book 1681, Page 1390, of the Public Records of Lee County, Florida.
12. Lee County Ordinance No. 86-14, related to garbage and solid waste collection, recorded in Official Records Book 2189, Page 3281, and as affected by Lee County Ordinance No. 86-38, of the Public Records of Lee County, Florida.
13. Lee County Resolution No. 93-09-51, designating Six Mile Cypress Parkway as a controlled access road, recorded in Official Records Book 2680, Page 3419, of the Public Records of Lee County, Florida.
14. Covenant to Share Development Costs, recorded January 12, 2006 in Instrument No. 2006000017853, of the Public Records of Lee County, Florida; as affected by Affidavit recorded in Instrument No. 2020000184816.
15. Easement Agreement, for ingress, egress and drainage purposes, recorded January 16, 2007 in Instrument No. 2007000016691, of the Public Records of Lee County, Florida.
16. Environmental Resource Permit Notices, recorded in Instrument No. 2007000068140 and in Instrument No. 2007000313780, of the Public Records of Lee County, Florida.
17. Declaration of Covenants, Conditions and Restrictions for Carissa Commercial Park, recorded February 12, 2008 in Instrument No. 2008000038029, of the Public Records of Lee County, Florida.
18. Notice of Development Order Approval, recorded October 15, 2008 in Instrument No. 2008000272759, of the Public Records of Lee County, Florida.
19. Notice of Development Order Approval, recorded May 5, 2009 in Instrument No. 2009000121382, of the Public Records of Lee County, Florida.
20. Grant of Perpetual Public Utility Easement, recorded August 10, 2009 in Instrument No. 2009000217775, of the Public Records of Lee County, Florida.
21. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
22. Any facts, rights, interests or claims that may exist or arise by reason of the following matters disclosed by an ALTA/NSPS survey made by Banks Engineering on February 20, 2020 last revised February 21, 2020, designated 2961F:
  - (A) Fences around the property cross in and out of the boundary line. Ownership unknown.
  - (B) Signs on the south side of the property crosses the boundary line onto adjoining property.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions.*

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Note: All of the recording information contained herein refers to the Public Records of Lee County, Florida, unless otherwise indicated. Any reference herein to a Book and Page is a reference to the Official Record Books of said county, unless indicated to the contrary.

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*First American*

**Notices - Where Sent**

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this policy and shall be addressed to the Company, Attention: Claims Department, 1 First American Way, Santa Ana, CA 92707 (claims.nic@firstam.com).

**Service, Quality and Availability**

First American Title Insurance Company cares about its customers and their ability to obtain information and service on a convenient, timely and accurate basis. A qualified staff of service representatives is dedicated to serving you. A toll-free number is available for your convenience in obtaining information about coverage and to provide assistance in resolving complaints at 1-800-854-3643. Office hours are from 8:30 a.m. through 5:30 p.m. PST Monday through Friday.

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**First American****REISSUE CREDIT NOTICE**

Issued by

***First American Title Insurance Company*****YOU MAY BE ENTITLED TO A REDUCED PREMIUM FOR TITLE INSURANCE IF THIS OFFICE IS PROVIDED WITH A PRIOR OWNER'S POLICY INSURING THE SELLER OR MORTGAGOR IN THE CURRENT TRANSACTION.**

The purpose of this letter is to provide you with important information regarding the title insurance premium that has been or will be charged in connection with this transaction.

Eligibility for a discounted title insurance premium will depend on:

**REFINANCE TRANSACTIONS:**

To qualify for a reduced premium for title insurance you must provide our office with a copy of your prior owner's policy of title insurance insuring your title to the above-referenced property.

**SALES TRANSACTIONS:**

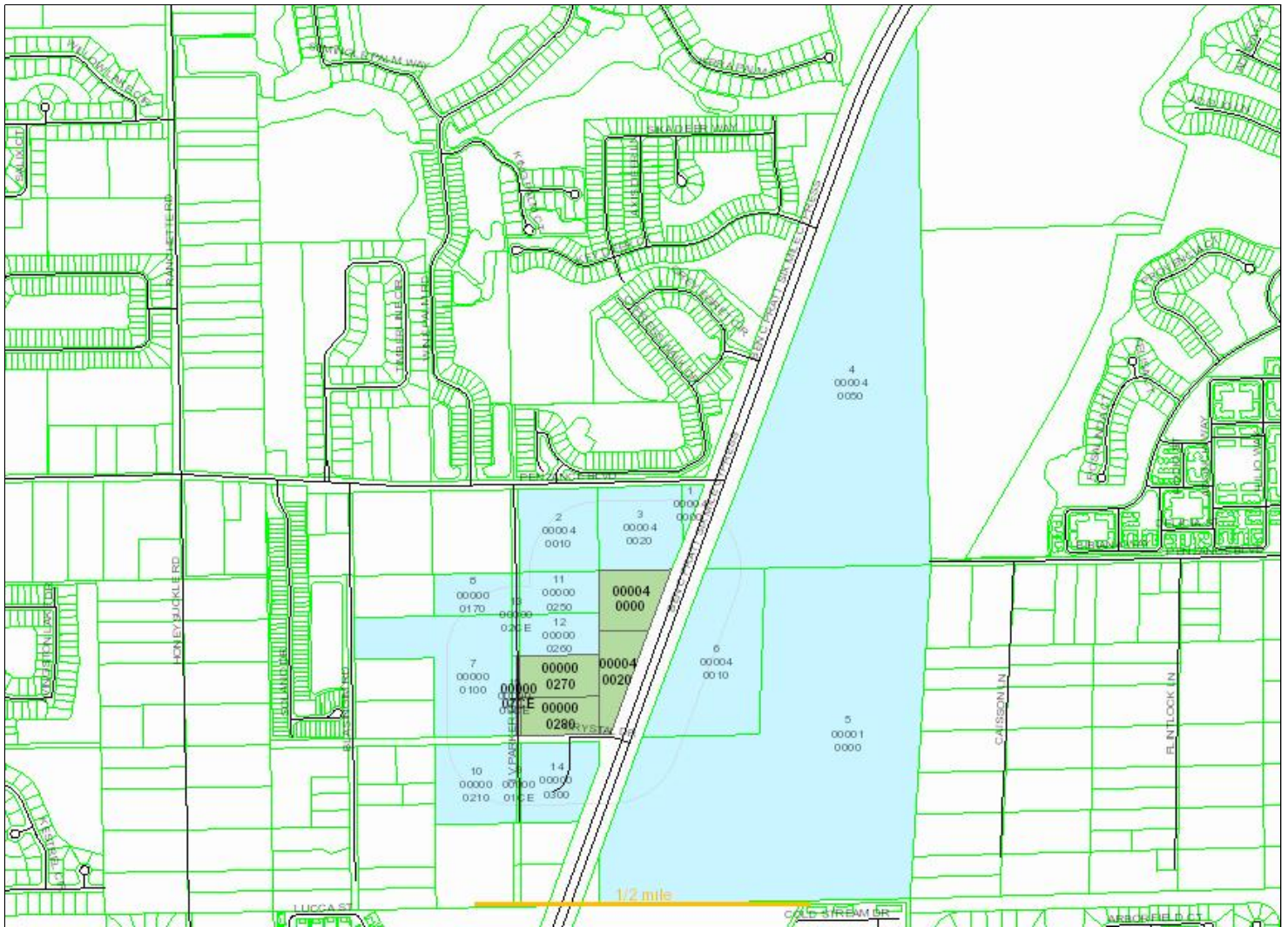
To qualify for a reduced premium for title insurance you must provide our office with a copy of your (or your seller's) prior owner's policy of title insurance insuring your title to the above referenced property. The effective date of the prior owner's policy must be less than three years old or the property insured by the policy must be unimproved (except roads, bridges, drainage facilities and utilities are not considered improvements for this purpose).

To qualify for the reduced rate, you or your representative may hand deliver, mail or fax a copy of the prior owner's policy of title insurance to your First American issuing agent conducting your settlement prior to closing, although we will accept the prior policy up to 5 working days after the closing date of your transaction.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions.*

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Date of Report: August 26, 2020

Buffer Distance:  feet

[Click here to download the map image, mailing labels \(Avery 5161\) and CSV formatted information.](#)

Parcels Affected: 15

Subject Parcels: **17-45-25-00-00004.0000, 17-45-25-00-00004.0020, 17-45-25-01-00000.0270, 17-45-25-01-00000.0280, 17-45-25-01-00000.07CE**

To change, add or remove subject parcels please change the parcel selection in [GeoView](#)

OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
WEINER KENNETH A TR + 8260 COLLEGE PKWY SU 203 FORT MYERS FL 33919	<b>08-45-25-00-00004.0000</b> 11900 BEN C PRATT SIX MILE CYPRESS PKWY FORT MYERS FL 33966	PARL SEC 8 TWP 45 RGE 25 DESC OR 1046 PG 44 LESS PARL W OF SR 80B	1
CORAL ROCK LLC INCORE RESIDENTIAL PO BOX 60195 FORT MYERS FL 33906	<b>08-45-25-00-00004.0010</b> 7400/7420 PENZANCE BLVD FORT MYERS FL 33966	SE 1/4 OF SE 1/4 OF SW 1/4	2
PENZANCE SQUARE LLC 9250 CORCKSCREW RD #8 ESTERO FL 33928	<b>08-45-25-00-00004.0020</b> 7530 PENZANCE BLVD FORT MYERS FL 33966	SW 1/4 OF SW 1/4 OF SE 1/4 LESS RD R/W ALSO LESS R/W FOR SR 80-B SIX MILE PKWY	3
LEE COUNTY PO BOX 398 FORT MYERS FL 33902	<b>08-45-25-00-00004.0050</b> 7791/7881 PENZANCE BLVD FORT MYERS FL 33966	PARL IN E 1/2 OF SEC E OF SIX MILE CYPRESS DESC ORS 1398/905 1497/512 1471/969 + 1477/2348	4
SOUTH FLA WATER MGMT DIST LAND MANAGEMENT	<b>17-45-25-00-00001.0000</b> 12321 BEN C PRATT SIX MILE	PARL IN N E 1/4 SEC 17 TWP 45 R 25 DESC IN	5

PO BOX 24680 WEST PALM BEACH FL 33416	CYPRESS PKWY FORT MYERS FL 33912	OR 1117 PG 1102 LESS R/W INST# 2009000253494	
LEE COUNTY PO BOX 398 FORT MYERS FL 33902	<b>17-45-25-00-00004.0010</b> 12121 BEN C PRATT SIX MILE CYPRESS PKWY FORT MYERS FL 33966	PARL IN SEC 17 T45 R25 DESC OR 1452 PG 621	6
PARKER CATHERINE SUE + 12150 J V PARKER LN FORT MYERS FL 33966	<b>17-45-25-01-00000.0100</b> 12091 BLASINGIM RD FORT MYERS FL 33966	SUBURBAN RANCHETTES UNREC OR 273 PG 94 LOT 10 + LOTS 18 THRU 20 LESS W 30 FT OF LOT 10 + LESS E 30 FT OF LOTS 18-20 + S 30 FT OF LOT 20	7
KASIREDDY HEMAPRASAD R 7503 SIKA DEER WAY FORT MYERS FL 33916	<b>17-45-25-01-00000.0170</b> 12030 J V PARKER LN FORT MYERS FL 33966	SUBURBAN RANCHETTES UNREC OR 273 PG 94 LOT 17 LESS E 30 FT	8
CRYSTAL SIX MILE PARTNERS LLC 3914 W RIVERSIDE DR FORT MYERS FL 33901	<b>17-45-25-01-00000.01CE</b> RIGHT OF WAY FORT MYERS FL 33966	A RD R/W IN NW 1/4 OF SEC 17 TWP 45 RGE 25 AS DESC IN 2007000308799 AKA W 30 FT OF LOTS 29 + 30 SUBURBAN RANCHETTES UNREC OR 273 PG 94	9
CYPRESS VILLAGES LLC 4301 VERONICA S SHOEMAKER BLVD FORT MYERS FL 33916	<b>17-45-25-01-00000.0210</b> 12270 J V PARKER LN FORT MYERS FL 33966	SUBURBAN RANCHETTES UNREC OR 273 PG 94 LOTS 21 + 22 LESS N 30 FT	10
PARKER LANE DEVELOPMENTS LLC 400-3800 STEELES AVE W WOODBIDGE ON L4L 4G9 CANADA	<b>17-45-25-01-00000.0250</b> 12031 J V PARKER LN FORT MYERS FL 33966	SUBURBAN RANCHETTES UNREC OR 273 PG 94 LOT 25 LESS W 30 FT	11
PARKER LANE DEVELOPMENTS LLC 400-3800 STEELES AVE W WOODBIDGE ON L4L 4G9 CANADA	<b>17-45-25-01-00000.0260</b> 12091 J V PARKER LN FORT MYERS FL 33966	SUBURBAN RANCHETTES UNREC. OR 273 PG 94 LOT 26 LESS W 30 FT	12
PARKER LANE DEVELOPMENT LLC 3800 STEELES AVE W STE 400W WOODBIDGE ON L4L 4G9 CANADA	<b>17-45-25-01-00000.02CE</b> RIGHT OF WAY FORT MYERS FL 33966	A RD R/W IN NW 1/4 OF SEC 17 TWP 45 RGE 25 AS DESC IN 2007000140188	13
CRYSTAL SIX MILE PARTNERS LLC PO BOX 07067 FORT MYERS FL 33919	<b>17-45-25-01-00000.0300</b> 12140-155 CARISSA COMMERCE CT FORT MYERS FL 33966	SUBURBAN RANCHETTES UNREC OR 273 PG 94 LOT 29 LESS E 30 FT + N 30 FT + R/W + LOT 30 LESS W 30 FT + RD R/W SIX MILE	14
PARKER LANE DEVELOPMENT LLC 3800 STEELES AVE W STE 400W WOODBIDGE ON L4L 4G9 CANADA	<b>17-45-25-01-00000.09CE</b> RIGHT OF WAY FORT MYERS FL	PT OF RD R/W IN SW 1/4 OF NE 1/4 OF NW 1/4 OF SEC 17 TWP 45 R 25 AKA E 30' OF LOTS 19 + 20	15

WEINER KENNETH A TR +  
8260 COLLEGE PKWY SU 203  
FORT MYERS FL 33919

CORAL ROCK LLC  
INCORE RESIDENTIAL  
PO BOX 60195  
FORT MYERS FL 33906

PENZANCE SQUARE LLC  
9250 CORCKSCREW RD #8  
ESTERO FL 33928

LEE COUNTY  
PO BOX 398  
FORT MYERS FL 33902

SOUTH FLA WATER MGMT DIST  
LAND MANAGEMENT  
PO BOX 24680  
WEST PALM BEACH FL 33416

LEE COUNTY  
PO BOX 398  
FORT MYERS FL 33902

PARKER CATHERINE SUE +  
12150 J V PARKER LN  
FORT MYERS FL 33966

KASIREDDY HEMAPRASAD R  
7503 SIKI DEER WAY  
FORT MYERS FL 33916

CRYSTAL SIX MILE PARTNERS LLC  
3914 W RIVERSIDE DR  
FORT MYERS FL 33901

CYPRESS VILLAGES LLC  
4301 VERONICA S SHOEMAKER BLVD  
FORT MYERS FL 33916

PARKER LANE DEVELOPMENTS LLC  
400-3800 STEELES AVE W  
WOODBIDGE ON L4L 4G9  
CANADA

PARKER LANE DEVELOPMENTS LLC  
400-3800 STEELES AVE W  
WOODBIDGE ON L4L 4G9  
CANADA

PARKER LANE DEVELOPMENT LLC  
3800 STEELES AVE W STE 400W  
WOODBIDGE ON L4L 4G9  
CANADA

CRYSTAL SIX MILE PARTNERS LLC  
PO BOX 07067  
FORT MYERS FL 33919

PARKER LANE DEVELOPMENT LLC  
3800 STEELES AVE W STE 400W  
WOODBIDGE ON L4L 4G9  
CANADA