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Coconut Point

ESTERO, FLORIDA

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DESIGN REVIEW GUIDELINES

REVISIONS

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TABLE OF CONTENTS/PAGE i
add: V. ADMINISTRATIVE MATTERS to ToFC

PART 1/ SECTION V/ PAGE 6
add: V. ADMINISTRATIVE MATTERS

PART 3/SECTION D/PAGE 52
revised: Parking paragraph

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PART 5/SECTION III/PAGES 80-81
revised: Commercial Sign Types and Criteria

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Coconut Point

ESTERO, FLORIDA

A MIXED USE DEVELOPMENT BY
SIMON PROPERTY GROUP, INC.
OAKBROOK PROPERTIES, INC.

PREPARED BY: THE JERDE PARTNERSHIP
WITH CONTRIBUTIONS BY:
BEAME ARCHITECTURAL PARTNERSHIP

JUNE 14, 2004

DESIGN REVIEW GUIDELINES
INTRODUCTION
ARCHITECTURE
SITE PLANNING AND LANDSCAPE
SIGNAGE
LIGHTING

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TABLE OF CONTENTS

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JUN 30 2004
PERMIT COUNTER

PART 1 OVERVIEW

- 1 I. INTRODUCTION i
- 2 II. GUIDELINE OBJECTIVES
- 3 III. DISTRICT CHARACTERISTICS
 - 1. District 1 - North Village
 - 2. District 2 - Town Center
 - 3. District 3 - South Village
- 6 IV. HOW TO USE THE DESIGN GUIDELINES
- 6 V. ADMINISTRATIVE MATTERS

TABLE OF CONTENTS

PART 2 ARCHITECTURE

- 7 I. INTRODUCTION - ARCHITECTURE
- 8 II. GENERAL ARCHITECTURAL CHARACTERISTICS
 - 8 1. Architectural Language
 - 9 2. Architectural Components
 - Arcades
 - Awnings
 - Balconies
 - Ceramic Tile
 - Chimneys
 - Color Palette
 - Columns

JUNE 14, 2004

ADD 2004-00060

Cornices and Wall Caps
 Eave Types
 Entryways
 Facades and Exterior Walls
 Fountains
 Lighting at Building Facades
 Massing
 Medallions
 Moldings
 Ornament
 Portals and Pass-Throughs
 Railings
 Roofs - Types and Massing
 Roofs - Clay Tile
 Storefront/ Window Frames
 Stucco Texture
 Towers
 Trellis
 Wall Base
 Window Types

RECEIVED
 JUN 30 2004

PERMIT COUNTER

ii
TABLE OF CONTENTS

33	III. ARCHITECTURE - COMMERCIAL RETAIL
33	1. Characteristics of Commercial Retail Buildings
	A. Large Format Retail
	B. Secondary and Service Retail
	C. Commercial Retail Façade Articulation by type
	a. Façade Type "A"
	b. Façade Type "B"
	c. Façade Type "C"
38	2. Characteristics of Office/Institutional/Hospitality Buildings
39	IV. ARCHITECTURE - RESIDENTIAL
39	1. Characteristics of residential architecture
44	2. Characteristics specific to mixed-use residential architecture

PART 3
SITE PLANNING AND LANDSCAPE DESIGN

45	I. INTRODUCTION - SITE PLANNING AND LANDSCAPE DESIGN	
46	II. SITE PLANNING	
46	1. General Characteristics of Site Planning at Coconut Point	
	A. Pedestrian Circulation, Sidewalks, and Paving	
	B. Vehicular Circulation	
	C. Site Furnishings and Amenities	
	D. Parking	
	E. Screening Devices	
55	2. Characteristics of Site Planning specific to Commercial Retail Zones	iii
56	3. Characteristics of Site Planning specific to Residential Zones	
58	III. LANDSCAPE DESIGN	
58	1. General Characteristics of Landscape Design at Coconut Point	
	A. Planting Points	
	B. General Landscape Care	
	C. Irrigation	
	D. Landscaped Entries	
	E. Plant Material List	
73	2. Characteristics of Landscape Design specific to Commercial Retail Zones	
74	3. Characteristics of Landscape Design specific to Residential Zones	

RECEIVED
JUN 30 2004

PERMIT COUNTER

iii
TABLE OF CONTENTS

JUNE 14, 2004

ADD 2004-00060

PART 4
SIGNAGE

75	I. INTRODUCTION - SIGNAGE
76	II. GENERAL CHARACTERISTICS OF SIGNAGE AT COCONUT POINT
76	1. Project Identity Signage
	A. Project Identity Tower
	B. Large Scale Monument Signs
	C. Medium Scale Monument Signs
	D. Entry Sign Walls
	E. Project Identity Markers
79	2. Way Finding Signage
	1. Pedestrian signs
	2. Vehicle signs
	3. Bicycle signs
80	III. Characteristics of Signage specific to Commercial Retail Zones
80	1. Commercial Building Sign Types and Criteria
	A. Wall Mounted and Fascia signs
	B. Awning Signs
	C. Projecting Signs
	D. Banners
82	2. Construction of Commercial Building Sign Types and Criteria
	IV. CHARACTERISTICS OF SIGNAGE SPECIFIC TO RESIDENTIAL ZONES

RECEIVED
JUN 30 2004

PERMIT COUNTER

TABLE OF CONTENTS

iv

JUNE 14, 2004

ADD 2004-00060

PART 5
LIGHTING

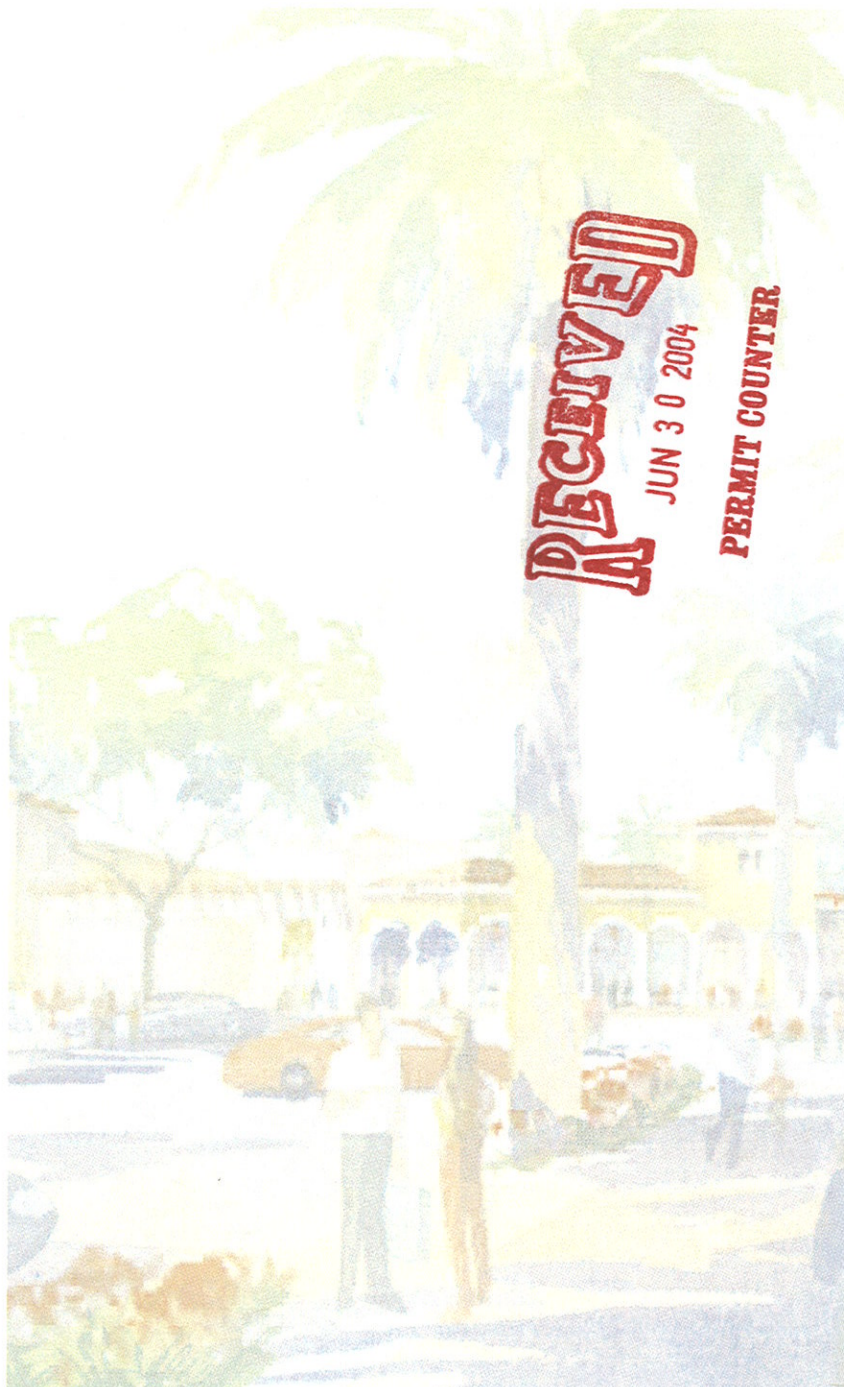
- 83 I. INTRODUCTION - LIGHTING
- 84 II. GENERAL CHARACTERISTICS OF LIGHTING AT COCONUT
POINT
- 84 1. Site Lighting
 - A. Parking Lots
 - B. Pathways and Pedestrian Lighting
- 85 2. Landscape Lighting
- 86 III. CHARACTERISTICS OF LIGHTING SPECIFIC TO
COMMERCIAL RETAIL ZONES
- 87 IV. CHARACTERISTICS OF LIGHTING SPECIFIC TO
RESIDENTIAL ZONES

RECEIVED
JUN 30 2004

TABLE OF CONTENTS
PERMIT COUNTER

JUNE 14, 2004

ADD 2004-00060



PART 1

I. INTRODUCTION

The community of Coconut Point introduces a new lifestyle to Southwest Florida, creating a mixed-use environment for living, working and playing. The development integrates a range of housing types, shopping, office, hotels and recreational facilities into a unified whole, with the sunny ambience that draws millions to Florida every year.

Located in Southwest Florida along U.S. 41 between Williams Road on the north and the Bonita Springs incorporation limit on the south, Coconut Point is well situated in a growing community that is establishing a tradition of quality development and exceptional design. Coconut Point is approximately midway between Fort Myers and Naples enabling it to cater to the retail, cultural and service needs of South Lee and North Collier Counties.

The community of Coconut Point is a hub of activity and a unique regional destination. It features vibrant neighborhoods with attractive streets and sidewalks complemented by varied buildings and courtyards. Providing for a diversity of uses, Coconut Point resonates to the elegant styles of the Mediterranean, embodying a rich architectural heritage in a lush tropical landscape. Supporting the distinctive design and exceptional environmental characteristics of Coconut Point are a comprehensive set of design guidelines.

These guidelines have been created primarily to assist owners, tenants and developers at Coconut Point in working together toward the common objectives of the development. The adjacent communities of Estero and Bonita Springs have already done much to establish a regional identity and high quality of life reflected in their built environments. The Coconut Point Design Guidelines recognize these qualities and strive to further expand on the accomplishments of these communities.

The Design Guidelines aim to establish the character of the overall development and encourage creative solutions that support the project objectives and design intent. While design solutions will always adhere to local building and planning authority requirements, the guidelines are not intended to prescribe any one particular design condition or application, nor are they intended to imply the creation of a redundant, bland or unimaginative environment. Functioning as a framework for owners and tenants to work within, they will enhance the beauty, harmony and livability of Coconut Point.

An important step in implementing the Coconut Point Design Guidelines is the submittal and review process. During this phase, the Design Review Authority (DRA) will review all proposed designs. This process is covered in a separate document.

II. GUIDELINE OBJECTIVES

- Create a unifying style for Coconut Point

The character and style of Coconut Point will be based on the Mediterranean Revival vernacular of historic Florida towns. This is a unique interpretation of architectural styles, blending the elegant and splendid European Mediterranean traditions of Italy, Spain and France with references to the closer regions of Mexico and the Caribbean. The thoughtful integration of these visually rich traditions results in a distinctive contemporary identity for Coconut Point.

- 2 • Establish a unique sense of character and place through a creative and harmonious use of architecture, landscape, lighting, signage and amenities

Coconut Point places a heavy emphasis on creating quality communal public spaces with unique focal points and distinctive landscaping. Architecture at Coconut Point employs appropriate building scale, massing and articulation. Attention to detail is encouraged at all areas, and should be further developed at the pedestrian level and at areas of high visibility. Using this same principle, the project augments the natural environment through landscape and site amenities creating pleasing and comfortable outdoor spaces.

- Uphold the sense of quality and commitment established by the growing communities of Estero and Bonita Springs

Coconut Point contributes to the regional identity established by its neighboring communities. By supporting the aesthetic direction and values of the adjacent communities, Coconut Point creates a high quality of life for visitors and residents alike.

- Incorporate the best current design and planning concepts.

Coconut Point enhances the physical environment through high quality design practices. Sound planning principles create fluid and pleasing pedestrian and vehicular circulation patterns. Careful building siting and orientation is further complemented by a studied application of landscaped zones, including charming squares and a park. The sensitive integration of mixed-use and other residential components allows residents to enjoy the benefits of a vibrant community in subdued courtyard settings.

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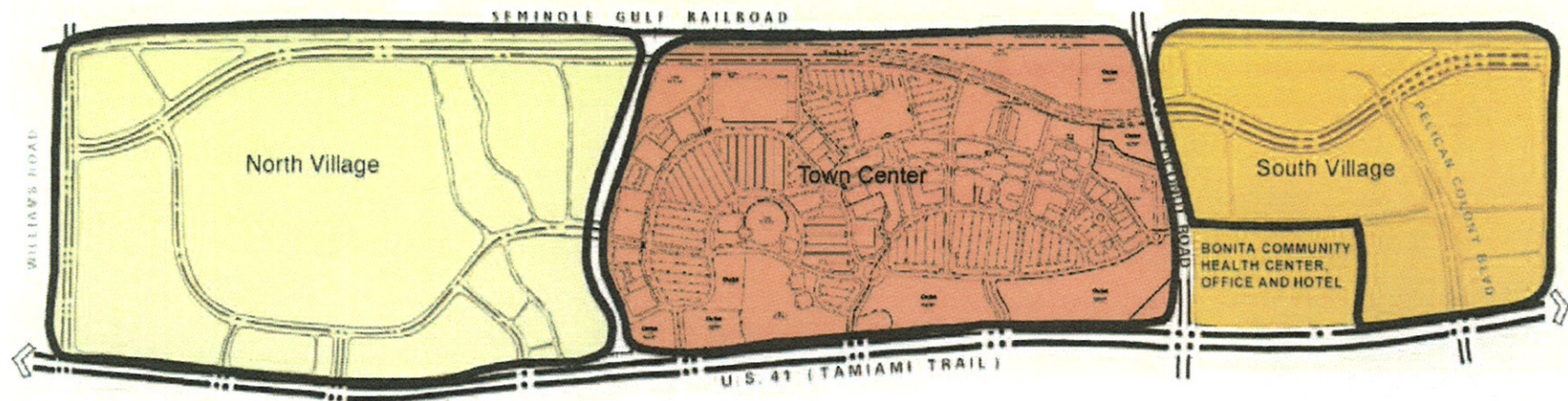
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III. DISTRICT CHARACTERISTICS

Coconut Point is made up of three districts: the North Village, the Town Center, and the South Village. Each of these districts maintains a distinct neighborhood character while at the same time contributing thoroughly to a unifying overall identity for Coconut Point. The differences between the districts are characterized primarily by differences in use.

The North Village, with its lower density single and multi-family housing, together with an array of open space, commercial support and recreational activities, projects a decidedly suburban image. The Town Center is a rich mix of commercial activity: shops and restaurants, entertainment venues and public courtyards. This is a gathering place for the community, lively and active because of the urban housing, offices and hotels that are part of the mix. South Village lies directly adjacent to the Town Center and contains a concentration of medical offices, the Bonita Community Health Center, congregate care, convenience shopping and residential neighborhoods. The residential component of the South Village is comprised of moderate density, attached unit housing types.

While the differences in use between the districts gain subtle expression in a variety of factors such as the massing and architecture of the distinct building types and unique site and landscape requirements, the districts remain governed by the design principles and standards outlined in this manual. Further descriptions of the three districts, intended as a means to provide design direction and outline key district features and neighborhood character, are outlined below.



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JUN 30 2004
PERMIT COUNTER

JUNE 14, 2004

ADD 2004-00060

1. District 1 - North Village

An elegant Mediterranean village located north of the Town Center, North Village Residential includes residential and retail development. The multi-family homes and villas are designed to take advantage of the wetlands that border the North Village and a series of lakes that will connect the different neighborhoods. The neighborhood features intimate open spaces and uses pedestrian scale elements. The North Village also includes shopping, commercial offices, and institutional uses catering to the day-to-day needs of the residents of Coconut Point and the surrounding communities. The architecture of all buildings shall be consistent with the Mediterranean Revival style, incorporating a common palette of soft colors and materials such as tile, stucco, ornamental stone and iron.

- 4 A series of bicycle paths and pedestrian sidewalks link the entire Coconut Point community making it convenient for the residents and visitors to travel between villages and the Town Center of Coconut Point.



2. District 2 - Town Center

The Coconut Point Town Center site located at the intersection of US 41 (Tamiami Trail) and Coconut Road is proposed to be a mixture of retail anchor stores, smaller retail stores, entertainment and dining venues located along a main street and within a community retail center. In addition, residential, office uses and a hotel will be located above the retail along the main street. Out parcel development in this district includes financial institutions, home furnishing stores and casual dining restaurants.

Visitors approach the Town Center district by way of a number of connected routes within the community and via a distinctively landscaped boulevard road from U.S. 41. Designed to provide easy access for vehicles, cyclists and pedestrians, the transportation system layout connects the Town Center with the surrounding neighborhoods and the community at large.

Two distinct zones characterize the Town Center. At the north portion of the Town Center lies vibrant community retail with nationally recognized retailers. The focal point of this zone is a large scenic lake that creates a lakefront dining district with notable restaurants. The community retail provides the convenience of shopping with the excitement and pleasure of vibrant night and day entertainment and community gathering at water's edge.

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JUN 30 2004

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At the southern portion of the Town Center lies a charming main street. Portals, archways, plazas, covered walkways and arcades link the intimate pedestrian and vehicular streets found here. As visitors meander through the zone with its generous, shady sidewalks and avenues adorned with streetlights reminiscent of Mediterranean Revival architecture, they discover discreet courtyards, colorful fountains, bustling cafes, and lively shopfronts.

In the tradition and splendor of historic Mediterranean public spaces and villages, the Town Center will be the premier retail core of this community and surrounding neighborhoods. It is the setting for community shopping, entertainment and leisurely gathering.

3. District 3 - South Village

Located south of the Town Center and Coconut Road, the mixed-use South Village compliments the surrounding community it supports. The South Village includes primarily medical office and adult congregate living apartments. The neighborhood has been planned to provide synergy with the existing Bonita Springs Community Health Center located at U.S. 41 and Coconut Road. Consistent with the design of all of Coconut point, the buildings shall be of a Mediterranean Revival style. Buildings are generally set back from the roadway, tucked into the landscape and accessed through landscaped parking areas. Signage, common landscaping and lighting are consistent with the Coconut Point design criteria. Cohesive design elements will ensure the quality and beauty of the Coconut Point South Village.



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IV. HOW TO USE THE DESIGN GUIDELINES

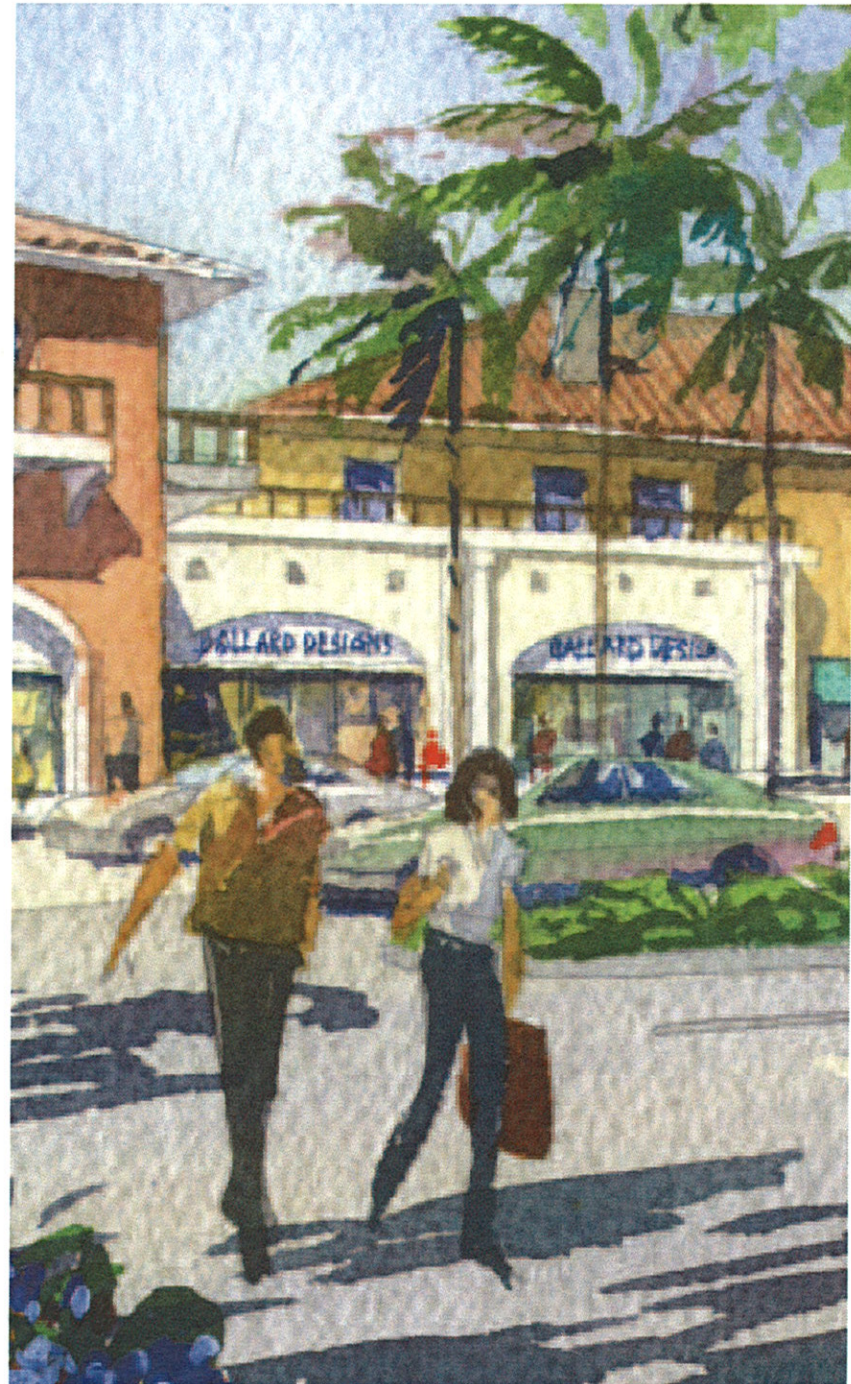
Follow the steps below in the order noted to effectively apply the guidelines outlined in this manual:

1. Review and follow the guidelines in the General Characteristics section for each development aspect (i.e. architecture, landscape, lighting, signage.) This umbrella category establishes the general guidelines that apply to all development and building types at Coconut Point.
2. Determine the building type of your project (i.e. commercial-retail, residential) and check that it conforms to any specific additional guidelines established for that category.
3. Check which district your project is located in and review and apply any district specific guidelines for your project.
4. Follow the design review and submittal procedures.

V. ADMINISTRATIVE MATTERS

A representative of each of the DRA's within Coconut Point shall appear before the Estero Design Review Committee (EDRC) on a quarterly basis to update the EDRC as to its plan reviews and approvals during the preceding three month period.

The EDRC shall be notified of any variance from these Design Review Guidelines granted by a DRA and the reasons/rationale for granting such variance.



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ADD 2004-00060

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I. INTRODUCTION

The architecture of Coconut Point serves as the backdrop, the setting within which the everyday activities of the community unfold. Coconut Point's buildings and environment affect the inhabitants' perceptions, outlook, and daily lives through factors such as spatial quality, visual harmony, stylistic references, and comfort and convenience.

Specific building elements and dimensions define the architectural spatial qualities of Coconut Point. Building heights and massing are maintained at an appropriate, often intimate, scale and avoid dwarfing their surroundings. Changes in massing achieved with towers announce tenant location and punctuate the visual landscape. Façade articulation creates light and shadow transitions, visual interest, and further breaks down building scale into the human realm. Courtyards create intimate areas for repose and reflection. Arcades minimize building scale, provide shade and may announce building entries. A combination of hip type, low angled tile roofs and flat parapet rooflines provide visual variety and opportunities for change in material and texture. The internal streets and walkways between buildings encourage strolling and discovery.

Visual harmony at Coconut Point is achieved through thoughtful application of combinations of surface treatments. The warm, earth tone color palette spreads a soothing feeling among the buildings. Changes in color animate facades and groups of buildings. Variety in texture at building or façade transitions differentiates buildings and creates shade and shadow. Ornament activates building facades and reinforces the identity of the community. Accent materials such as clay tile, ceramic tile, stone and cast stone further enliven the environment.

The style and character of an elegant Floridian town with a unique Mediterranean Revival identity is conveyed through Coconut Point's façade and building design, building siting, and ornament and surface treatments. Careful study and integration of this style, characterized by its low pitched



and random clay tile roofs, shady arcades and colonnades, decorative towers, and rational, articulated façades punctuated by arched windows and charming balconies is at the core of Coconut Point's elegant regional identity.

Comfort and convenience round out the architecture of Coconut Point and distinguish it from ordinary commercial retail developments. Awnings, arcades, beautiful greenery and other devices shade the pedestrian; ease of circulation results from well planned building siting and logical building entry locations; and intimate courtyards with site amenities provide places to rest and gather.

8 II. GENERAL ARCHITECTURAL CHARACTERISTICS

1. Architectural Language

A unique language of Architectural components has been established for Coconut Point. Components have been designed and chosen to support the unique Mediterranean Revival style of the community and the design guidelines objectives overall. Used in combination, they provide a thorough and solid basis for the architecture of all the building types at Coconut Point. While there is no minimum number of required components per building facade, designers are encouraged to creatively employ the examples shown on the following pages to enhance the visual flavor and cohesiveness of Coconut Point. Designers are also encouraged to create variations on the particular components in terms of motif, shape, and groupings of forms (such as window lites and frames), while bearing in mind that designs should always reflect a Mediterranean Revival style. Some architectural components have required features and applications as noted on the following pages.



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2. Architectural Components

Arcades

Arcades are covered passages in front of or at the side of a building façade. Providing protection from the elements, they also function to break down building massing to a more pedestrian scale through employment of an intermediate roofline. Frequently, they lead to building entrances or are, in fact, part of a storefront or lobby entry condition. Openings in arcades can be either arched or rectangular and establish a rhythm along the building façade.



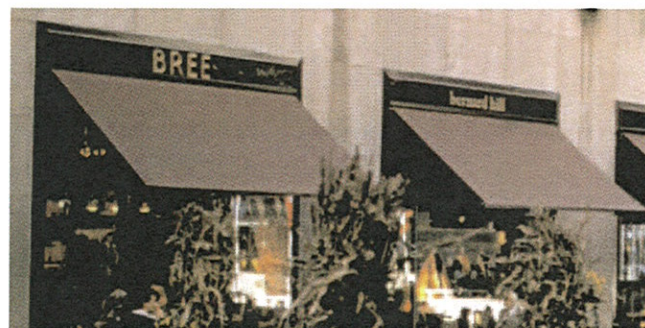
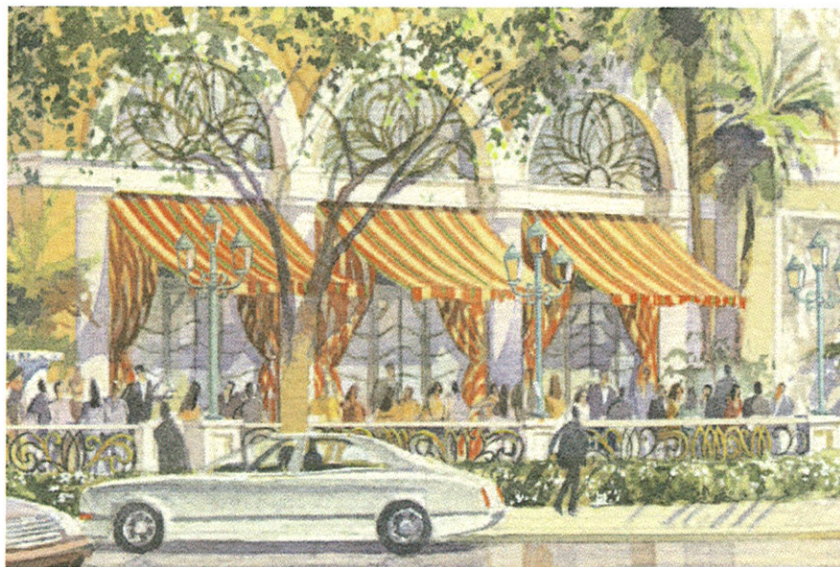
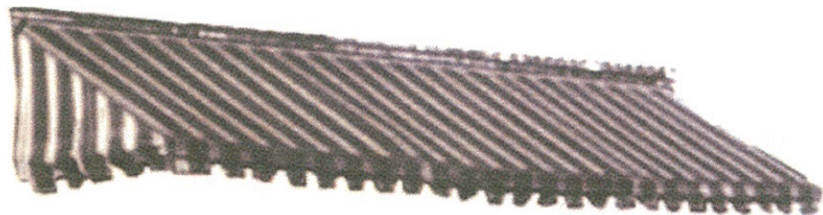
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Awnings

Awnings provide sun protection and add color and texture to the building façade. Awning shapes may be curved or rectangular depending on the corresponding window shape. Types of awnings include open-sided, spherical, rectangular, European roll-up, operable, fixed, wood framed, and marquee style. Canvas with metal frame and wood lattice are acceptable materials for awnings at Coconut Point. Materials such as panaflex, plastic, or other vinyls are not permitted.

10

PART 2 ARCHITECTURE

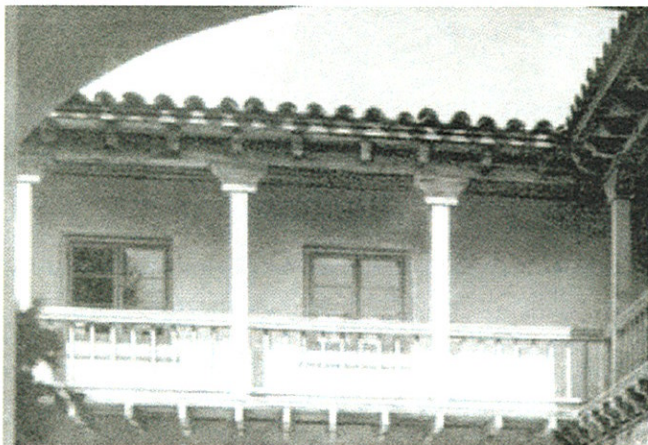


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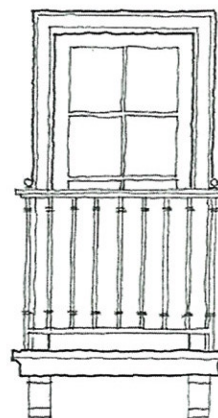
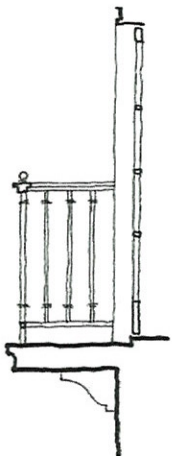
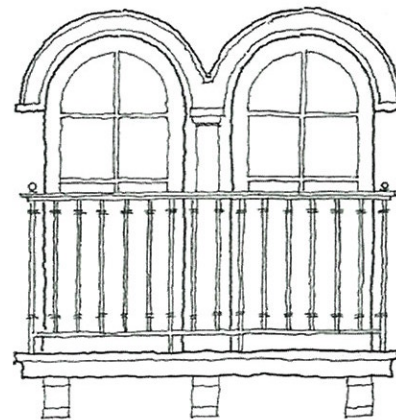
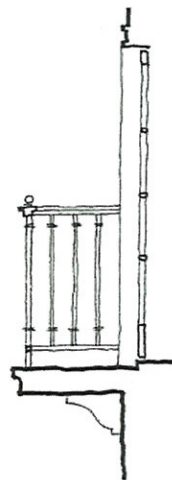
JUNE 14, 2004

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Balconies

Balconies function as compositional focal points. They act as centering elements of a façade. Balcony rails of wrought iron or wood add ornamental relief and visual interest to the composition. Balconies establish a relationship between the building upper levels and the street level and provide opportunity for planting.



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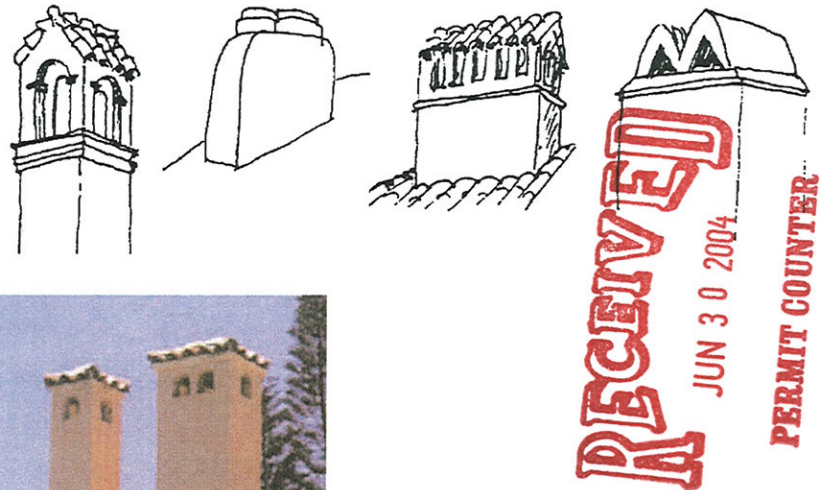
Ceramic Tile

Ceramic tile adds color, pattern, and texture to the building environment. Because of its small scale in relation to many building materials, it should be located with visibility in mind. As an accent in surface paving, at stair risers, storefront window curbs, and wall accents as frames, bands, and small murals are all appropriate applications.



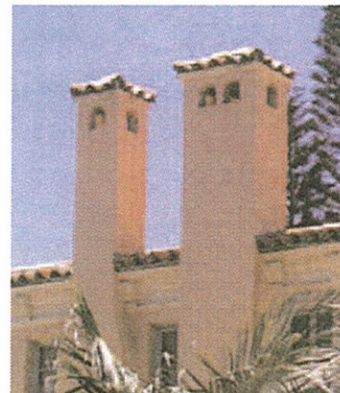
Chimneys

The proper placement of chimneys adds to the architectural scale and intimacy of the buildings at Coconut Point. Clay tile, stucco, and cast stone are appropriate materials for these elements that add punctuation and familiarity to the buildings.



Color Palette

Facade colors at Coconut Point shall be low reflectance and subtle, neutral, warm white or cream color and earth tone colors. Building trim and accent areas may feature lighter or darker saturated colors within an earth tone palette. The use of high intensity colors, metallic colors, black or fluorescent colors is prohibited.



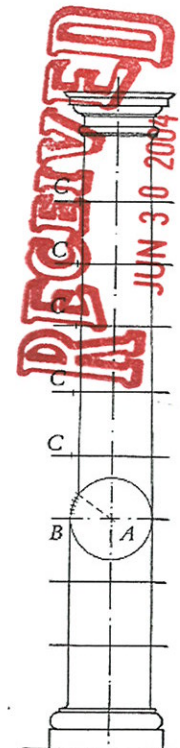
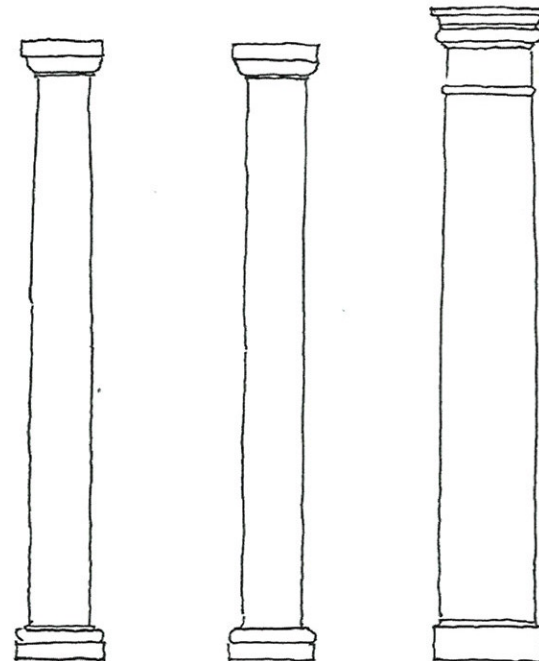
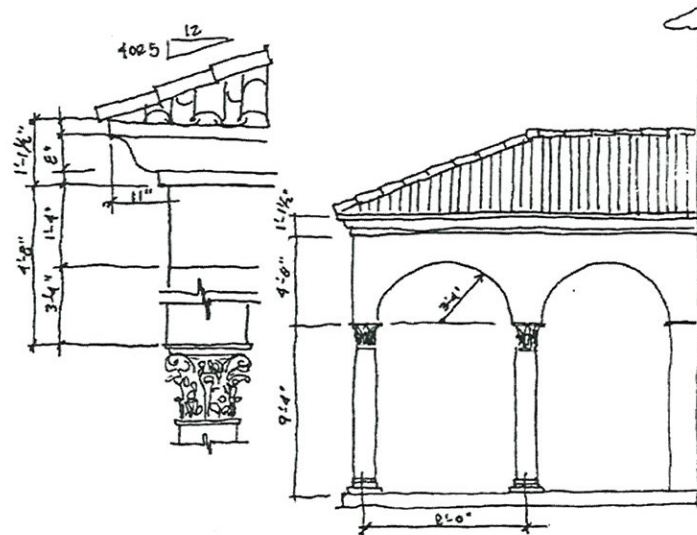
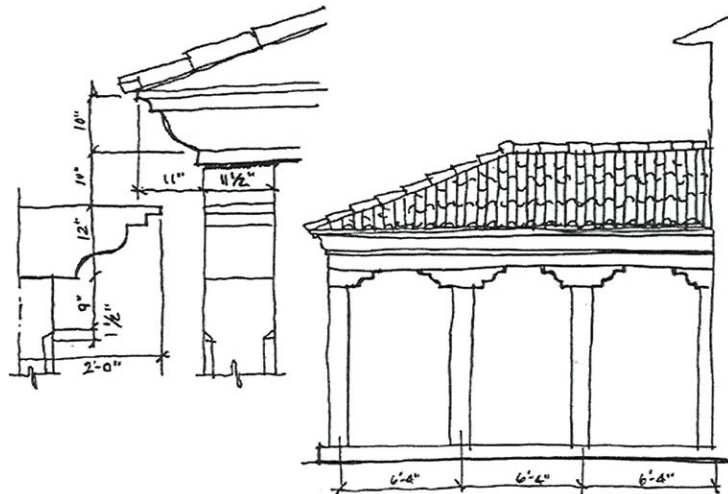
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Columns

Columns establish a horizontal rhythm for building facades and correspond in design to the buildings' style. Designers should use careful consideration of building proportion and column dimensions in design of columns for the project. Column capitals and bases may be simple or ornate. In general, columns will be manufactured of cast stone or wood.

Where columns appear as part of a colonnade, they establish a place to walk under protection, and a softening of the building scale and façade. The colonnade also provides shade and shadow relief to storefronts. The composition of colonnades may be formal or relaxed.



PERMIT COUNTER

13

PART 2 ARCHITECTURE

JUNE 14, 2004

ADD 2004^b-00060

Cornices and Wall Caps

Cornices and wall caps provide a decorative termination element for building parapets at flat roofs. They also serve to direct water away from the top of a building façade. Cornices should be scaled appropriately to the building façade. Cornices must either terminate at a recess or adjacent wall or turn a corner and continue down a façade, terminating at an architectural feature.

Cast stone is encouraged as a material for the manufacture of cornices and wall caps and corresponds to the Mediterranean Revival language established throughout these guidelines. Additionally, clay tiles may be used as parapet wall caps. Like molding, cast stone cornices and wall caps at Coconut Point incorporate several levels of contrasting curved and faceted elements in combination, creating a richness of texture, ornament and shadow.

14

PART 2 ARCHITECTURE



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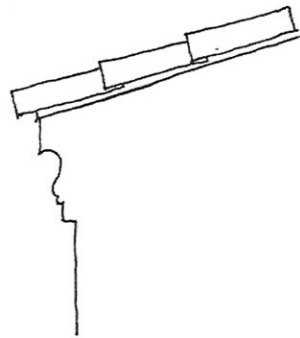
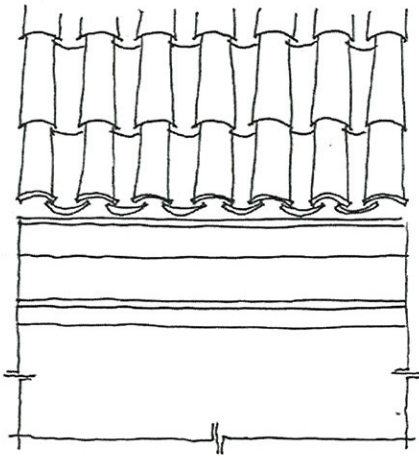
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ADD 2004-00060

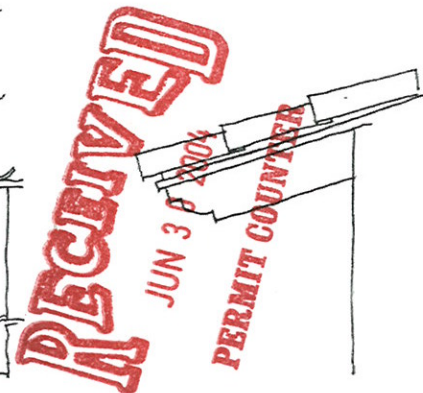
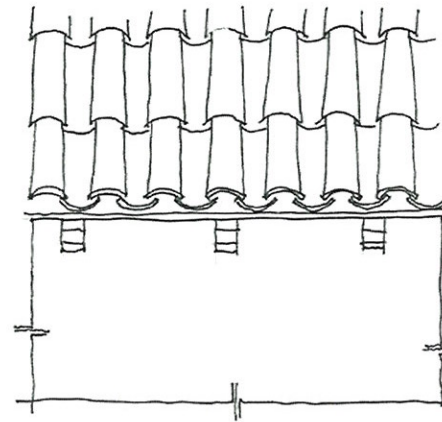


Eave Types

In addition to providing rain and sun protection for the building, eaves are an opportunity for ornament and articulation. Detail elements at eaves create shade and shadow and provide horizontal interest. Repetitive elements such as dentils and exposed rafters set a rhythm for the upper areas of the building façade. Rooflines may meet eave conditions with either exposed decorative rafters, dentils or cornice molding. In general, materials appropriate for eaves are cast stone and wood.

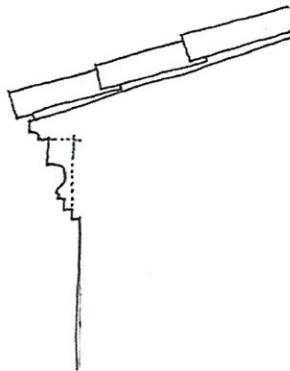
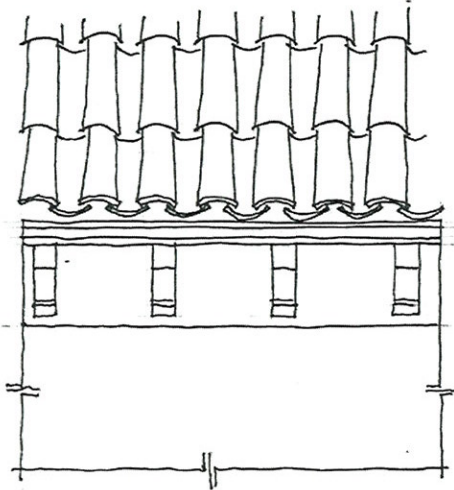


Eave Condition - Cornice Molding

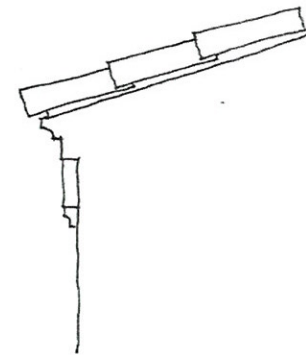
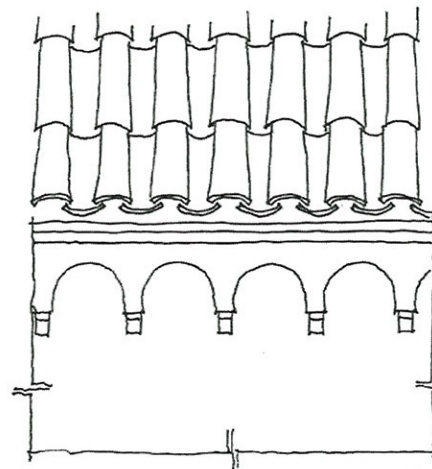


Eave Condition - Exposed Rafter Tails

15
PART 2 ARCHITECTURE



Eave Condition - Corbel Bracket Band



Eave Condition - Arched Corbel Table

JUNE 14, 2004

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Entryways

Entryways announce the location of access to the inside of a building. Frequently covered, or an articulated portion of an extended arcade, they provide orientation for the visitor and ample circulation. Other building entryway types are recessed within a continuous building façade. Unique entryway features may correspond to a tenant's identity or indicate the building's use. Additional elements that may define entryways include: overhangs and projections, arches, display windows, balconies, and seating areas beside doorways for waiting.



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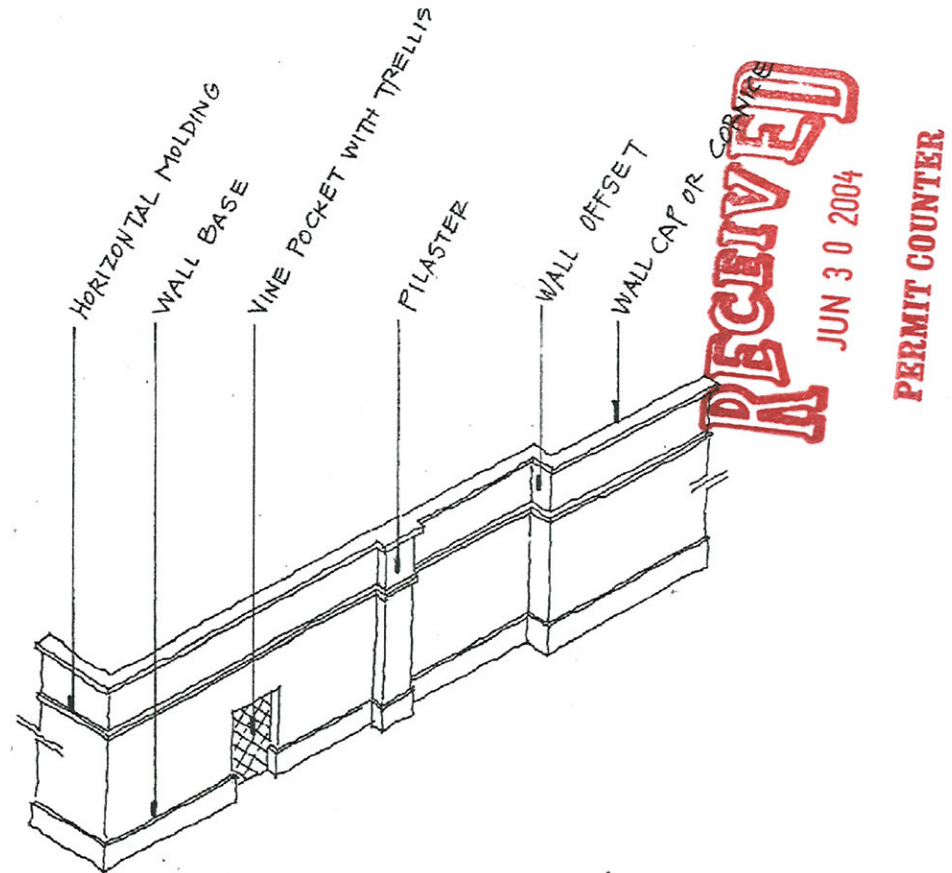
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Façades and Exterior Walls

Façades at Coconut Point shall be articulated to reduce building scale and relate to pedestrian and street scale elements. Recesses, plane changes and parapet height changes create visual interest and opportunities for change in color and texture. The incorporation of ornament and detail features such as molding, wall bases, vine pockets, wall caps and pilasters animate façades and reinforce building style.

Developments with facade over 75 feet in linear length shall incorporate wall projections or recesses a minimum of three foot depth and a minimum of 20 continuous feet within each 75 feet of façade length and shall extend over 20 percent of the façade. Developments shall use animated features such as arcades, display windows, entry area or awnings along at least 60 percent of the façades.

17



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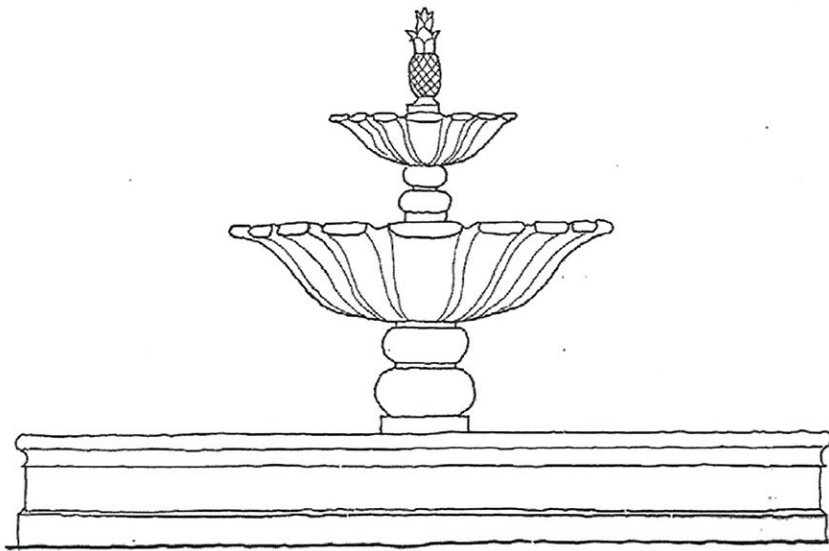
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Fountains

Primarily a site planning feature, fountains compliment the overall architecture of Coconut Point. Occurring most often at courtyard spaces, they provide opportunity for repose and reflection. In general, appropriate materials for fountains are cast stone and ceramic tile. Integral tile patterns can provide a focal point and a degree of intimacy for the entire courtyard space.

18

PART 2 ARCHITECTURE



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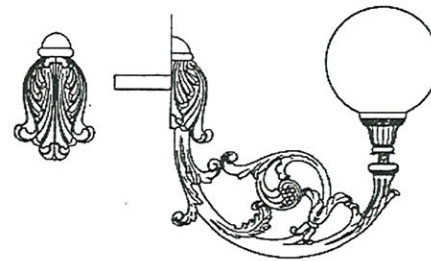
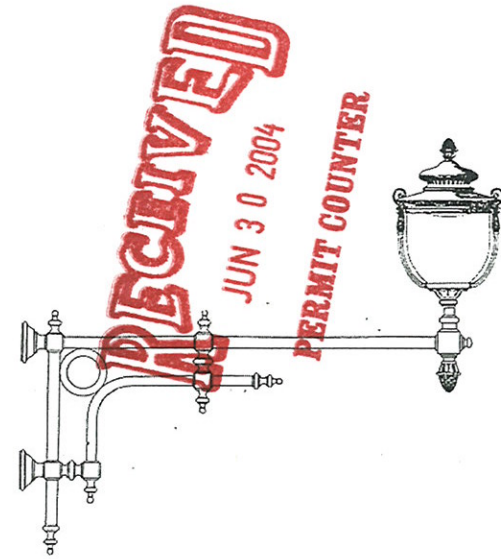
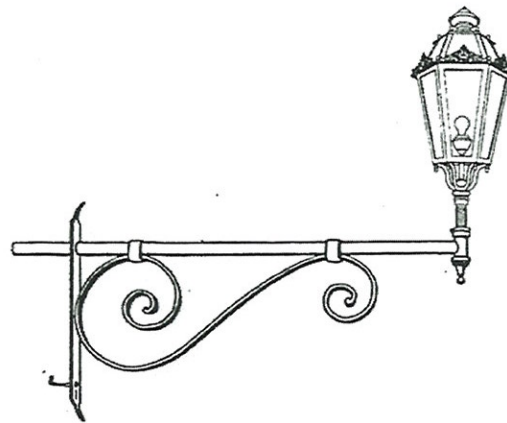
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Lighting at Building Façades



Integrated building lighting sets a tone for the entire project. Building lighting in the form of sconces, uplights, cove lights and ornamental fixtures can define and enhance building massing and color. The same elements can reinforce the architectural identity of the building through their design. Encouraged materials for visible light fixtures are wrought iron and glass, painted metal and aged metals.



Massing

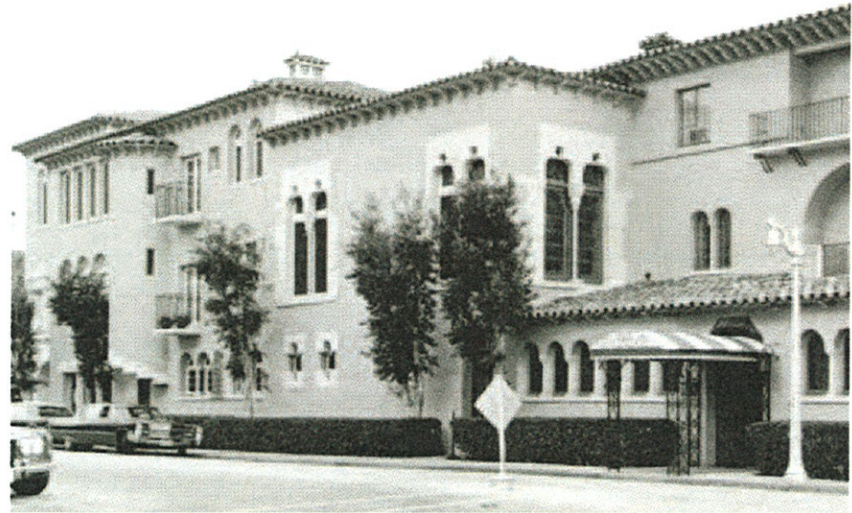
Massing of Mediterranean Revival buildings requires the careful articulation of the ground floor level for the pedestrian and passerby in a vehicle. This is the key to the ability live, work and shop with a sense of community. Ground level windows may be articulated by arched openings, colonnades, canopies or awnings framed in stone, cast stone, stucco or trim.

Upper floors should be composed such that there is a strong, yet romantic, rhythm of both the horizontal and vertical utilizing arched, square and rectangular openings. Attached balconies and recessed porches are appropriate. Walls should give the appearance of being load bearing. Therefore, spacing, size and composition of openings is critical. Buildings two stories or more in height should use classic "base, middle and top" composition.

Building façades shall include a pattern that shall include no less than three elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.

- Color change
- Texture change
- Material module change
- Expression of architectural or structural bay through a change in plane no less than 12" inches in width, such as an offset, reveal or projecting rib.

At building corners, façade components such as colonnades, moldings, bases, cornices and other items shall wrap at a ninety-degree angle and terminate at an architectural element.



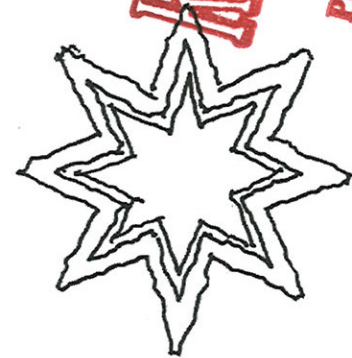
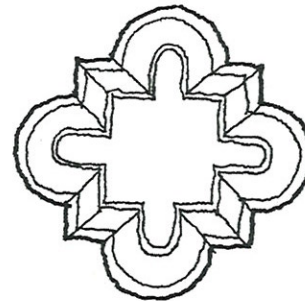
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Medallions

Medallions add texture and ornament to a building façade. They may be used as accents above colonnades or windows. Single applications of medallions are larger in scale and may punctuate façades above arches or entryways. Arranged in a grid or a band they may create texture and shadow on large wall surfaces with limited fenestration. When used as repetitive features, medallions should be smaller and proportional to building scale. In general, medallions will be manufactured of cast stone or metal.



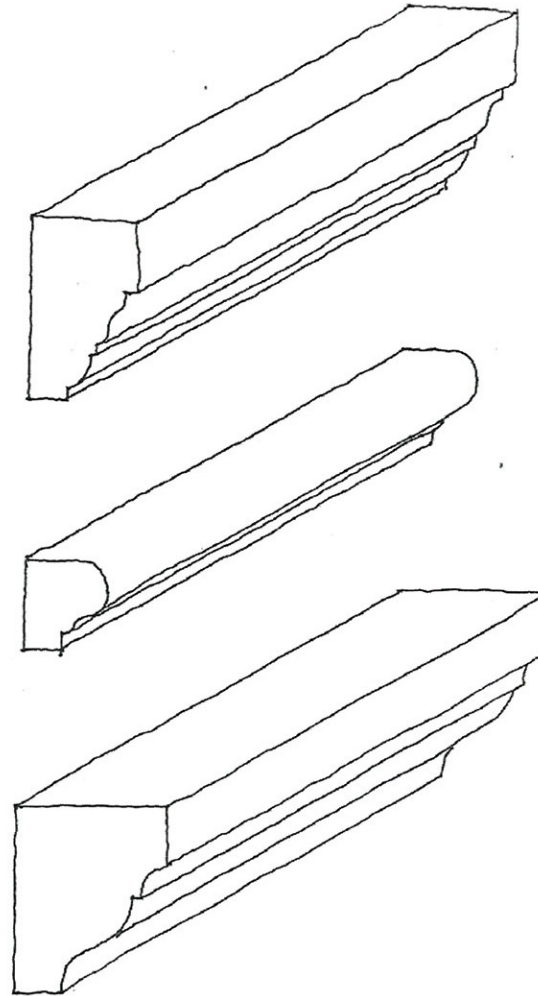
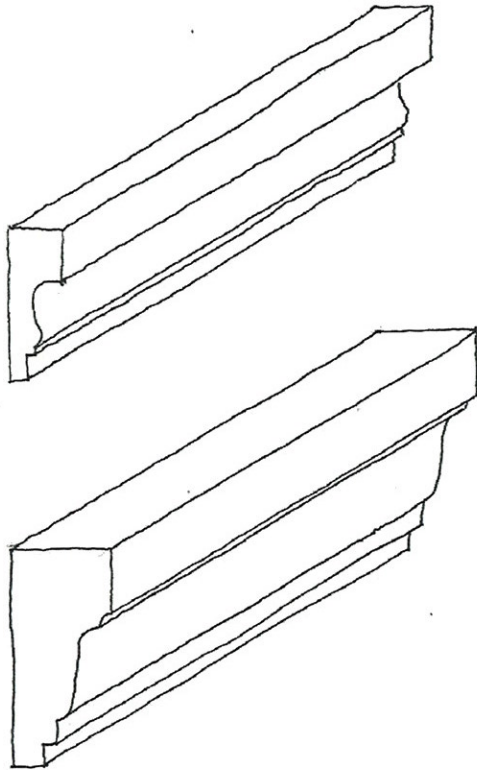
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Moldings

Moldings add horizontal relief to the building façade and provide opportunity for color and texture change. In general, molding will be manufactured of cast stone material. Recommended molding profiles for Coconut Point incorporate several levels of contrasting curved and faceted elements in combination, creating a richness of texture, ornament and shadow.

22

PART 2 ARCHITECTURE



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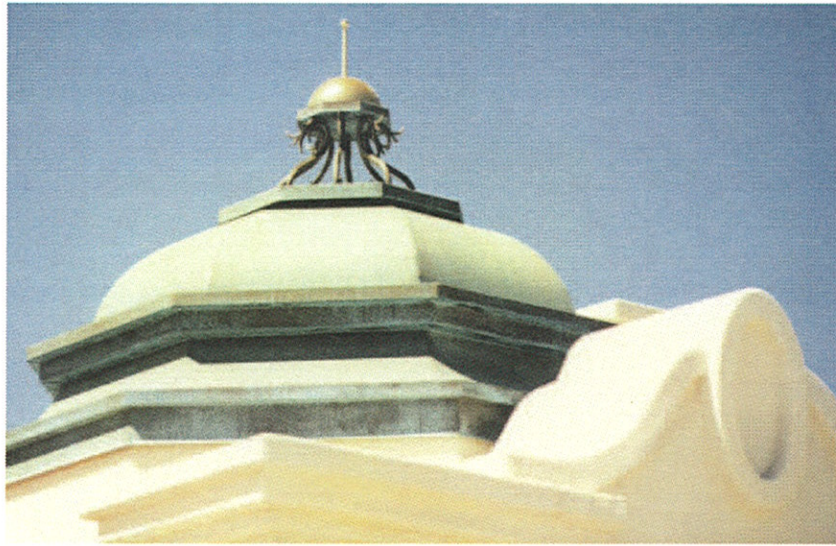
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Ornament

Architectural ornament reinforces the project identity through motif and richness of detail. Ornaments such as door pulls and decorative finials are usually fabricated of metal. Ornamental features such as relief bands, pendants, and keystones are generally made of cast stone.



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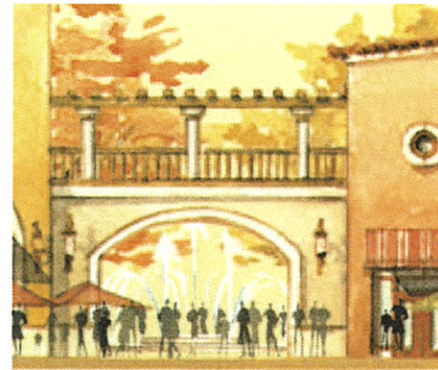
PART 2 ARCHITECTURE
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JUNE 14, 2004

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Portals and Pass-Throughs

Frequently recessed in a building façade and articulated by molding and ornament, portals frame an opening, punctuate a façade, and lead the pedestrian to a building entry. Pass-throughs are similar to portals but instead link two exterior spaces at the ground level with building functions spanning above the opening. Either curved or rectangular arch shapes characterize portals and pass-throughs.



24

PART 2 ARCHITECTURE

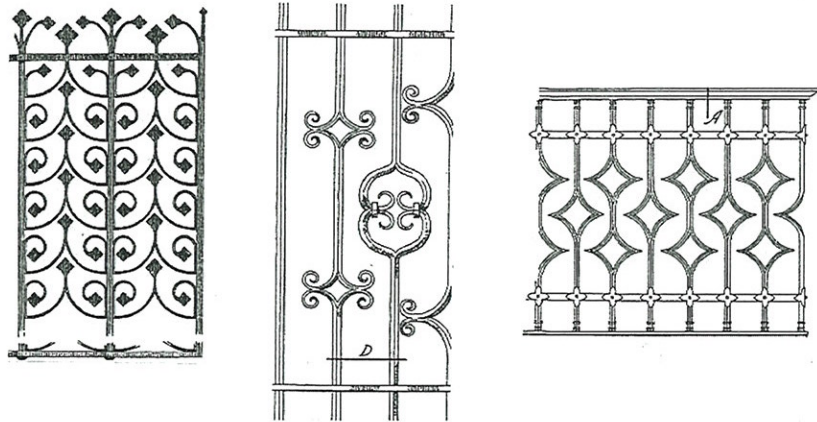


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Wrought Iron Metalwork



Railings

Typically made of metal with various organic and scroll type designs, railings are primarily installed as safety measures when there are site conditions which might allow a person to fall and sustain injury. Additionally, railings must be designed to resist lateral forces and minimize any openings through which a child might fall. These requirements do not prevent a railing from being very decorative. Railings should complement the architectural character of Coconut Point.



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Roofs - Types and Massing

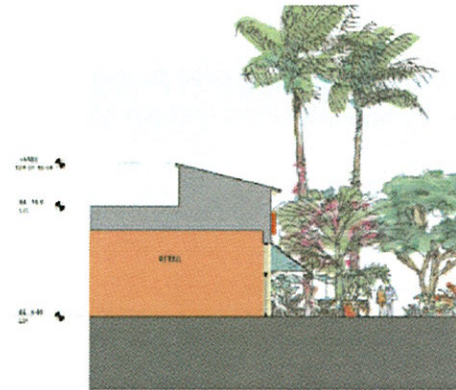
Low pitched and random tile roofs characterize the Mediterranean Revival style. A combination of hip type, low angled roofs and flat parapet rooflines provide visual variety at Coconut Point. Pitched roofs at commercial buildings shall not exceed a 4:12 slope. At commercial areas, roof pitches exceeding 4:12, may be approved at the discretion of the DRA. Pitched roofs at residential buildings shall be between 6:12 and 8:12 for single story elements and 4:12 and 8:12 for two and more story elements. Flat roofs shall include cornices or wall caps at parapets. Rooflines shall be varied with a minimum height change of three feet every 75 linear feet in the building length.

26

PART 2 ARCHITECTURE

In certain locations, and at the discretion of the DRA, mansard type, pitched roofs with tile are acceptable. These roofs are designed to reflect a pitched Mediterranean style at the front of a building or to accentuate a focal point on the façade. Intended to achieve a similar visual effect as a regular hip roof, these roof types must return in plan at a ninety-degree angle and terminate at an architectural element.

Mechanical and roof top equipment shall be fully screened from view on all sides with material consistent with the main façade of the building and located in areas of low visibility. Asphalt shingles on pitched roofs and metal roofs are not permitted. Metal roofs as accents may be allowed at limited areas with DRA approval. Porte cocheres, if provided, shall incorporate a roof design and roof materials that are compatible with the building they serve.



Typical Section at Mansard Type Roof

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Roofs - Clay Tile

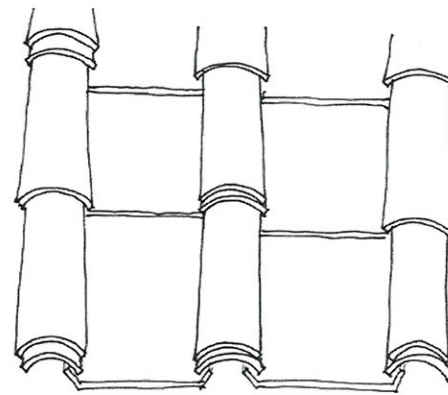
Clay tile roofs offer not only texture and color but also a sense of timelessness. Appropriate varieties for Coconut Point include Roman Pan style and Barrel style. All styles can be laid in an irregular or regular pattern. Roof tile colors shall be of the warm, earth tone color palette. Clay tile roofs may employ "Booster" tiles and/or visible grout to enhance roof dimensionality and create an aged appearance. Flat clay tiles may be interspersed with rounded clay tiles.

Roman Pan Clay Tile

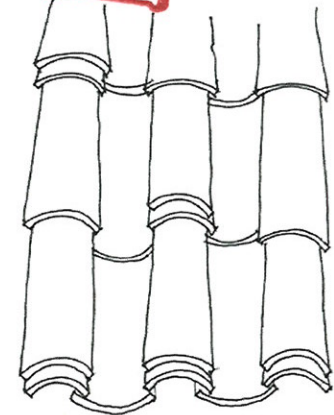
To create visual interest, it is suggested that boosters be used and that a serpentine or random stagger pattern be incorporated into the roof tile pattern.

Clay Barrel Tile

To create visual interest, it is suggested that boosters be used and that a serpentine or random stagger pattern be incorporated into the roof tile pattern.



Roman Pan Clay Tile



Clay Barrel Tile

Storefront/Ground Level Window Frames

Storefront windows and other large glazed areas at the ground level have additional design requirements. Wider expanses of glass for visibility and entry door locations affect the design of these elements. Designers should include provisions for mullion articulation beyond a basic extruded aluminum profile. This can be achieved through applying cap and pan elements to the basic window assembly to add relief and dimension. Doors within the storefront assembly may be articulated in a similar manner or may include further customized elements to enhance the overall design and building identity.

Stucco Texture

Stucco texture may be smooth finish, light dash finish or medium dash finish. Changes in texture at reveals, building profiles, or molding transitions add variety and distinct shadow conditions to building elevations.



Smooth Finish

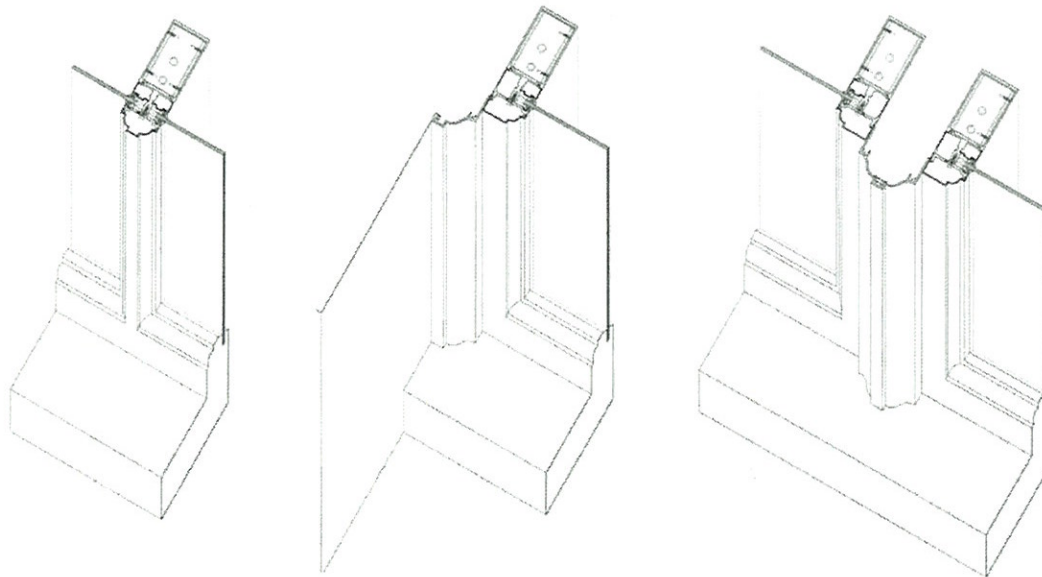


Light Dash Finish



Medium Dash Finish

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Storefront System with Decorative Cap and Frame Molding





Towers

Towers act as focal points for the Coconut Point master plan. Historically symbolic of public spaces, towers help pedestrians orient themselves in the landscape. On a more intimate level, towers can be used to mark stairways, entries, and sometimes display signage. Frequently, towers have more ornament than their corresponding building façade because of their increased visibility. Successful tower design is a result of careful proportioning and use of materials, and can be a memorable landmark to people moving through Coconut Point.



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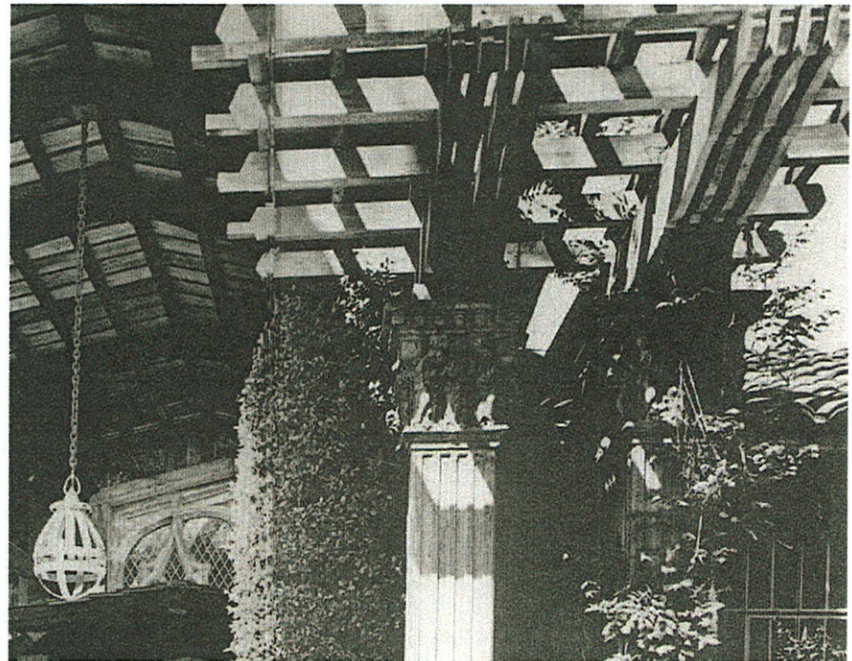
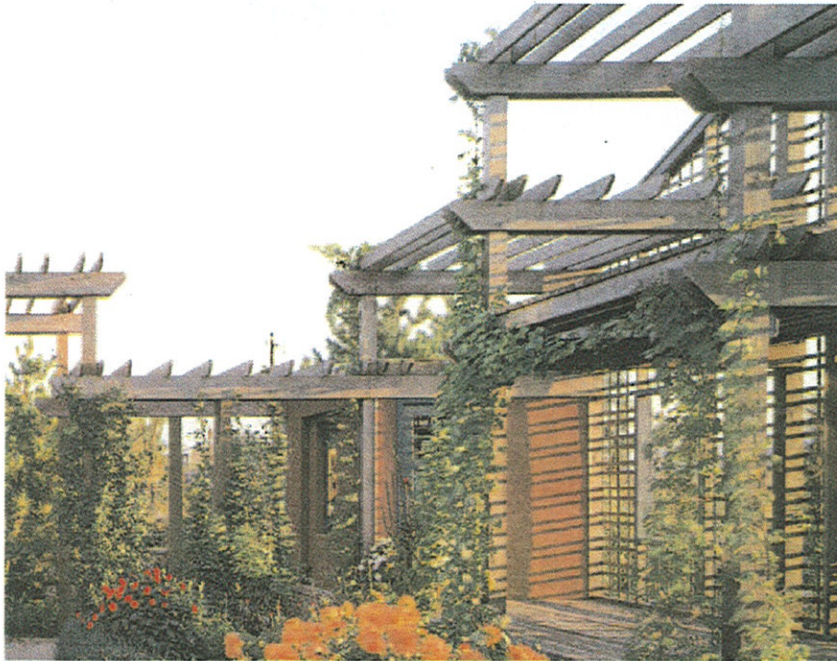
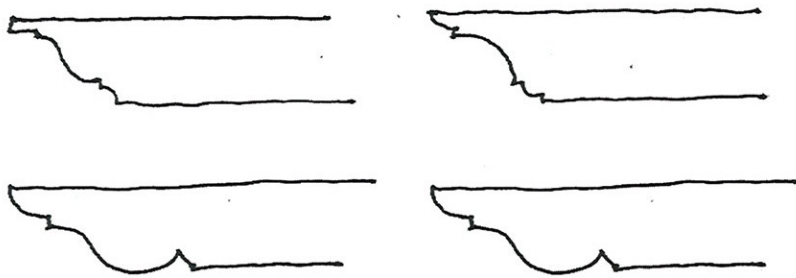
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Trellis

Trellis structures provide both sun control and opportunity for planting. Trellis structures can be constructed in front of a façade as a screen upon which greenery can grow. Trellis structures can also be freestanding over sidewalks providing vine-shaded walkways. Trellis beam-ends may be simple or ornate. A layering of beams adds visual interest to a trellis assembly. Acceptable trellis materials include wood, cast stone, and metal.

30

PART 2
ARCHITECTURE

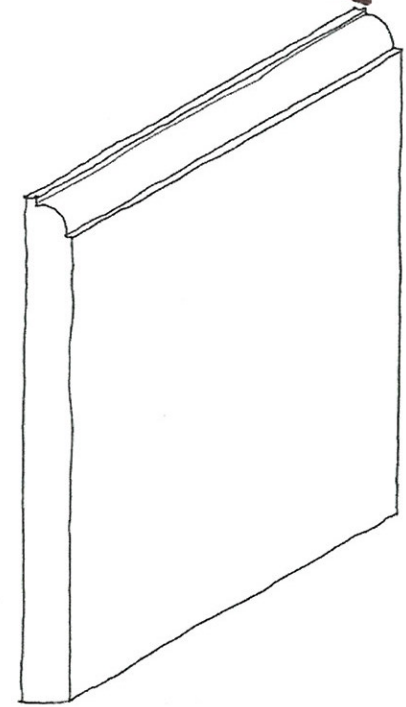
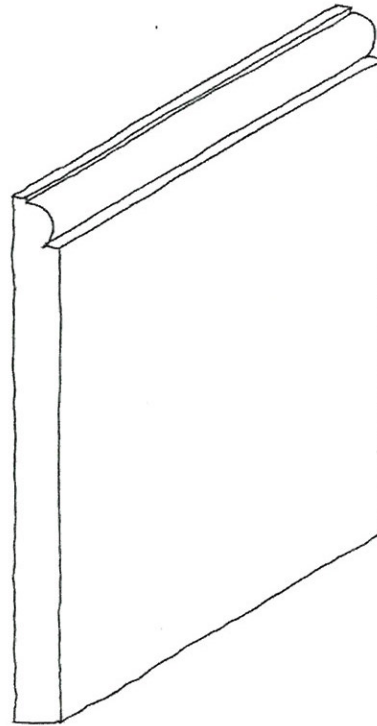
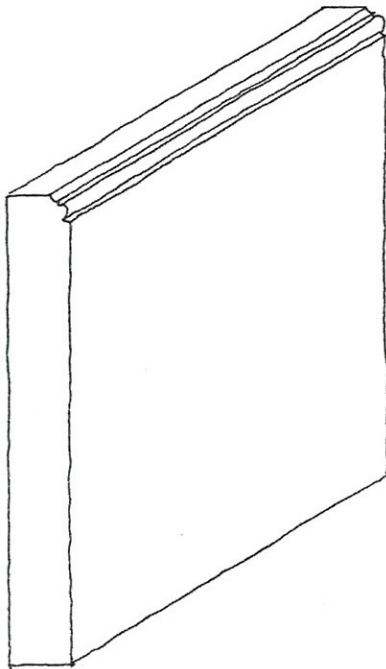


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Wall Base

Wall bases ground the building facade, add horizontal features, and provide a durable transition zone between paved ground surfaces and stucco wall surfaces. In general, wall bases will be manufactured of stone or cast stone. Wall bases may have rounded or articulated corners similar in design to the molding profiles.



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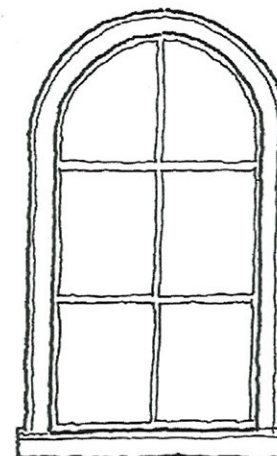
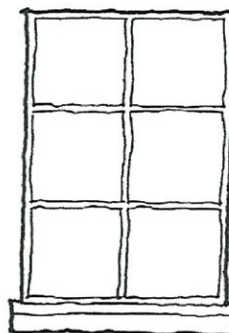
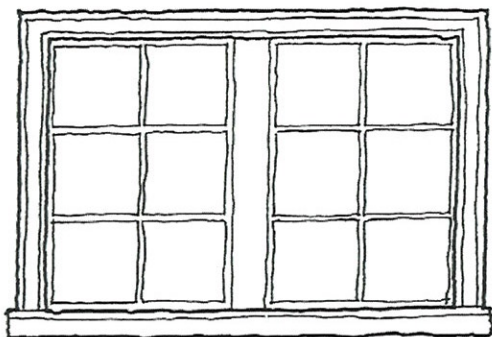
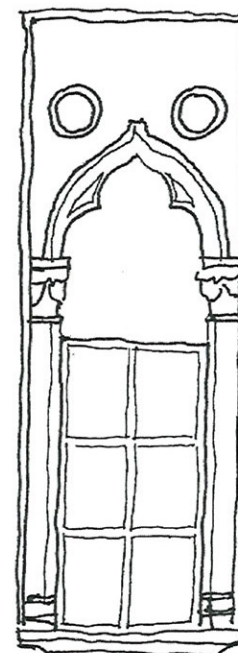
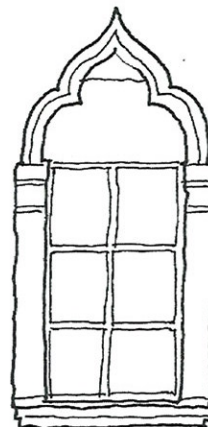
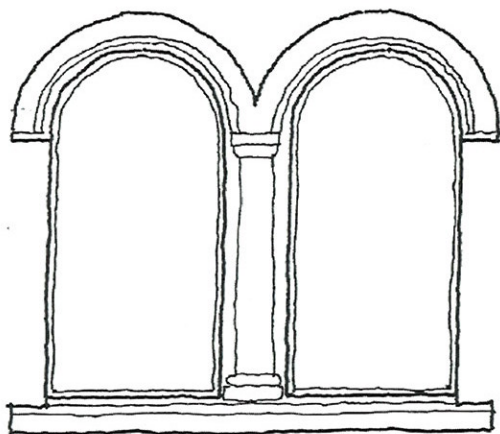
Window Types

Casement windows, single or double by themselves or with flat or arched transoms are typical. Window groupings with simple or ornate cast stone trim are appropriate. Special window types include square, round, and floral. Arched square or Moorish tops having tile inlay are appropriate. Deep returns are encouraged at all window openings to correspond with the Mediterranean Revival theme, add depth, and create an appearance of "thick" walls.

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III. ARCHITECTURE - COMMERCIAL RETAIL

1. Characteristics of Commercial Retail Buildings

A significant portion of the buildings at Coconut Point falls into the category of Commercial Retail. Large scale shopping and commerce are primary activities that animate the Town Center, while the North Village relies on a base of large scale, national retailers mixed with smaller scaled, secondary community oriented retail shops and services.

A. Large Format Retail

Large Format Retail can be defined as large scale retail anchor stores that derive their profits from high sales volumes. They may operate as stand-alone facilities, or more commonly they are grouped together as part of a shopping center.

The design criteria outlined herein is intended to provide a design standard whereby large footprint buildings planned for Coconut Point can be assimilated within the existing context of the community without detracting from the existing scale, connectivity, traffic patterns, walk-ability and image of the area. The following architectural considerations must be taken into account in the design of Large Format Retail buildings:

- Façades should be articulated to reduce any massive scale or impersonal appearances of large retail buildings.
- Buildings should have architectural features and patterns that provide visual interest.
- Variations in rooflines should be used to add interest to and reduce any massive scale buildings.
- Building materials should be aesthetically pleasing and compatible with materials and colors used in Mediterranean Revival style architecture and in harmony with the neighborhood.
- Entryway design elements and variations should give orientation and aesthetically pleasing character to the building.
- Arcades add dimension, reduce building scale, and provide protection from the elements.
- Where feasible, smaller "Liner shops" with separate exterior entries located as part of a large format retail structure animate pedestrian walks between store entries. Liner shops also break down large expanses, reduce walking distance between stores, and contribute to a diverse retail tenant

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33

PART 2 ARCHITECTURE

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B. Secondary and Service Retail

Smaller retail and service-oriented shops enhance the community identity of Coconut Point and provide useful amenities to inhabitants and visitors alike. The presence of these smaller retail stores gives Coconut Point a friendly appearance by creating variety, breaking up large expanses, and expanding the range of the site's activities. Windows and window displays of such stores should be used to contribute to the visual interest of exterior façades. The standards presented in this section are directed toward those situations where additional, smaller stores, with separate, exterior customer entrances are located in the principal buildings and development sites.

The design of secondary and service retail shops should include careful attention to detail at the storefront level, and include the following:

- Appropriately scaled entryway features including windows, doors, portals, arcades, recesses and overhangs/projections.
- Attention to appropriate signage and lighting as outlined in Parts 4 and 5 of this manual.
- Transparency at Storefronts: Tenants should plan for transparency and glazing at 60% of the horizontal area of their façade between 3 and 8 feet above grade. Large expanses of blank walls are unacceptable.
- Glazed windows should be recessed and should include visually prominent sills, shutters, lintels, or other forms of articulated window framing.
- Display windows should be carefully designed and maintained and should include frames and base elements.
- Façade materials should be aesthetically pleasing and compatible with materials and colors used in Mediterranean Revival style architecture and in harmony with the neighborhood.

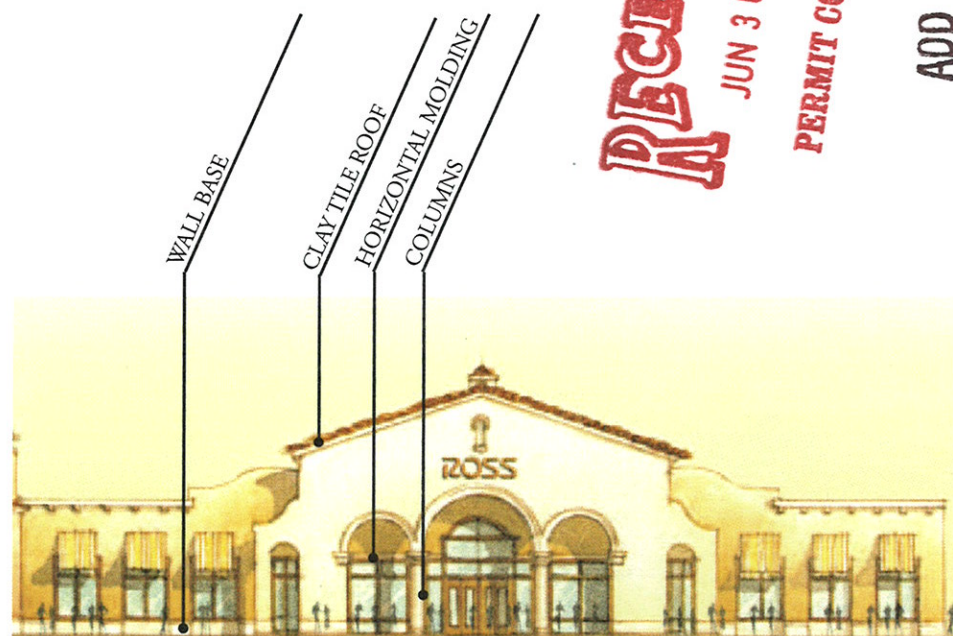
C. Commercial Retail Façade Articulation by type

Three distinct categories of façade type have been established for large-scale commercial retail at Coconut Point. Each type has a varying degree of articulation based on its relative visibility and location within the project. The DRA will make the final determination of façade type designations for buildings at Coconut Point. Guidelines and corresponding diagrams for these types are shown on the following pages.

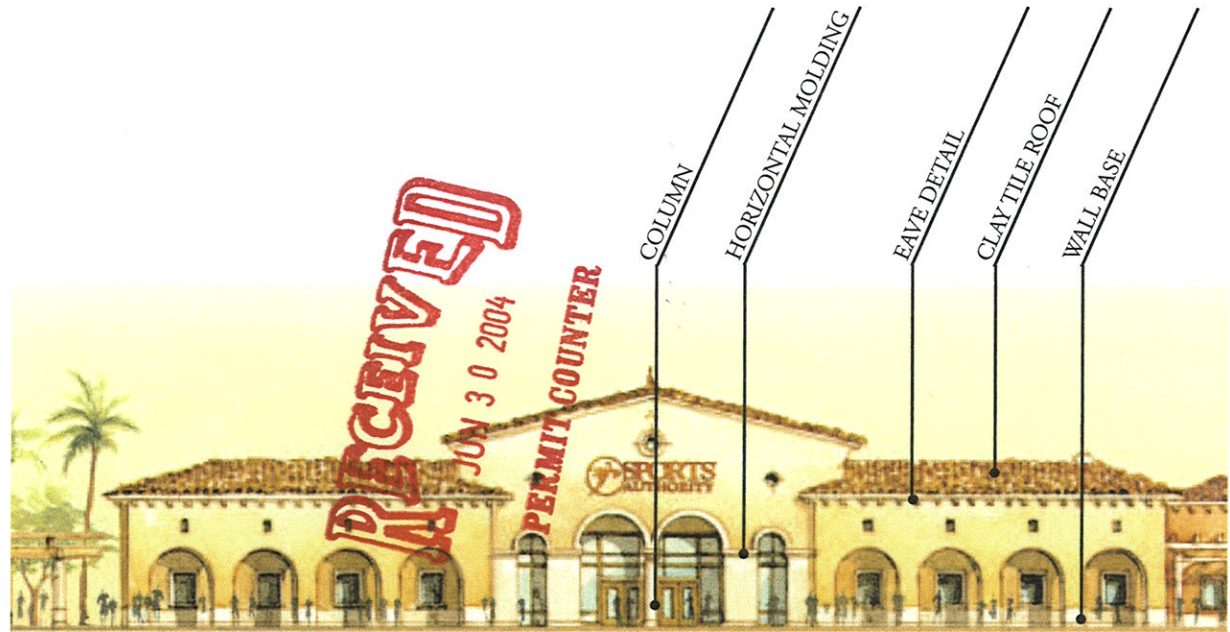
The illustrations are example façades for possible combinations of architectural components and building articulation at each façade type and should not be copied directly. Rather, each building design should be unique within the Mediterranean Revival style and designers may use the following examples as a guide for achieving this result.

a. Façade Type "A"

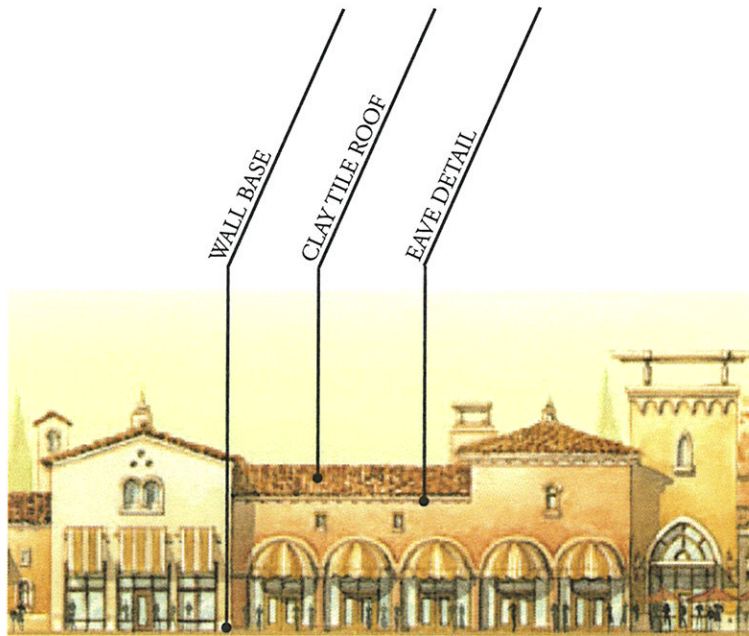
This Façade type is considered the "front" of the building and generally includes a primary entrance and is located facing onto a primary road. This façade type is highly articulated, employing many architectural components. The accompanying diagrams illustrate typical examples for Façade Type "A".



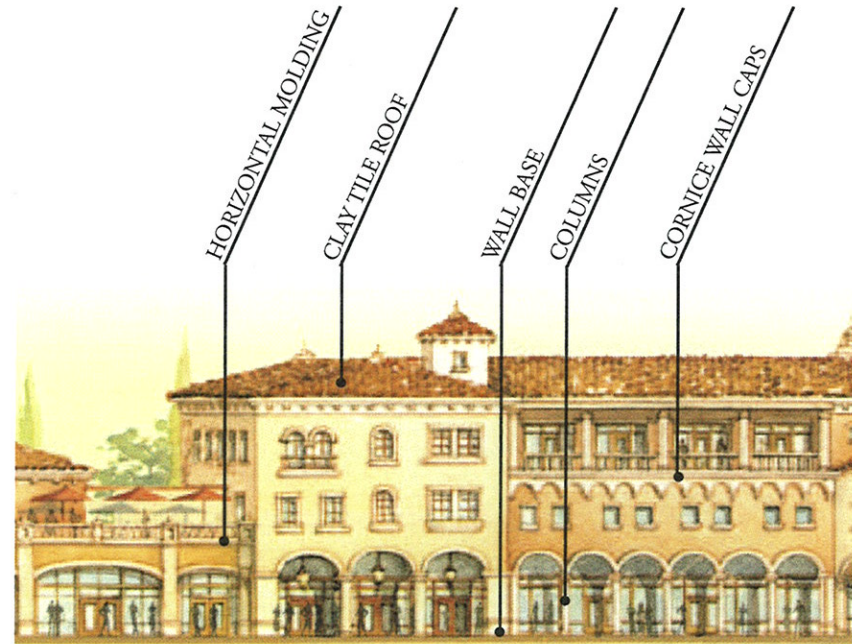
Elevation - Type A1



Elevation - Type A2



Elevation - Type A3

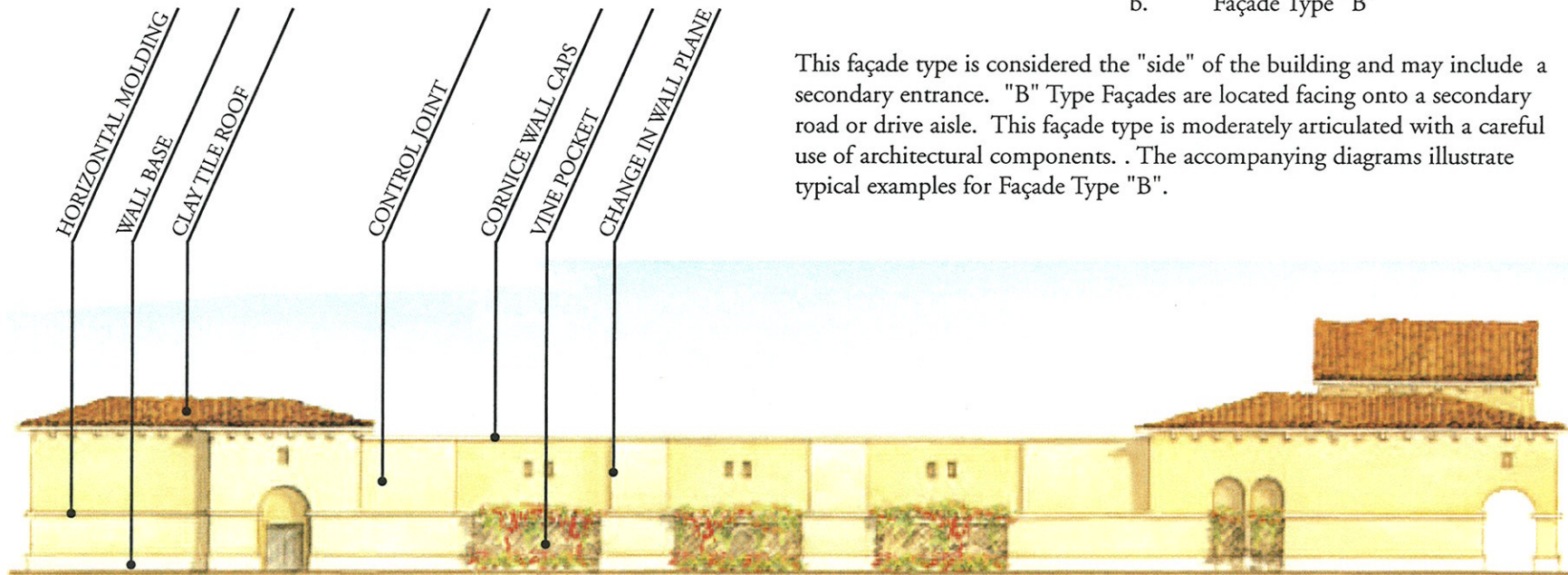


Elevation - Type A4

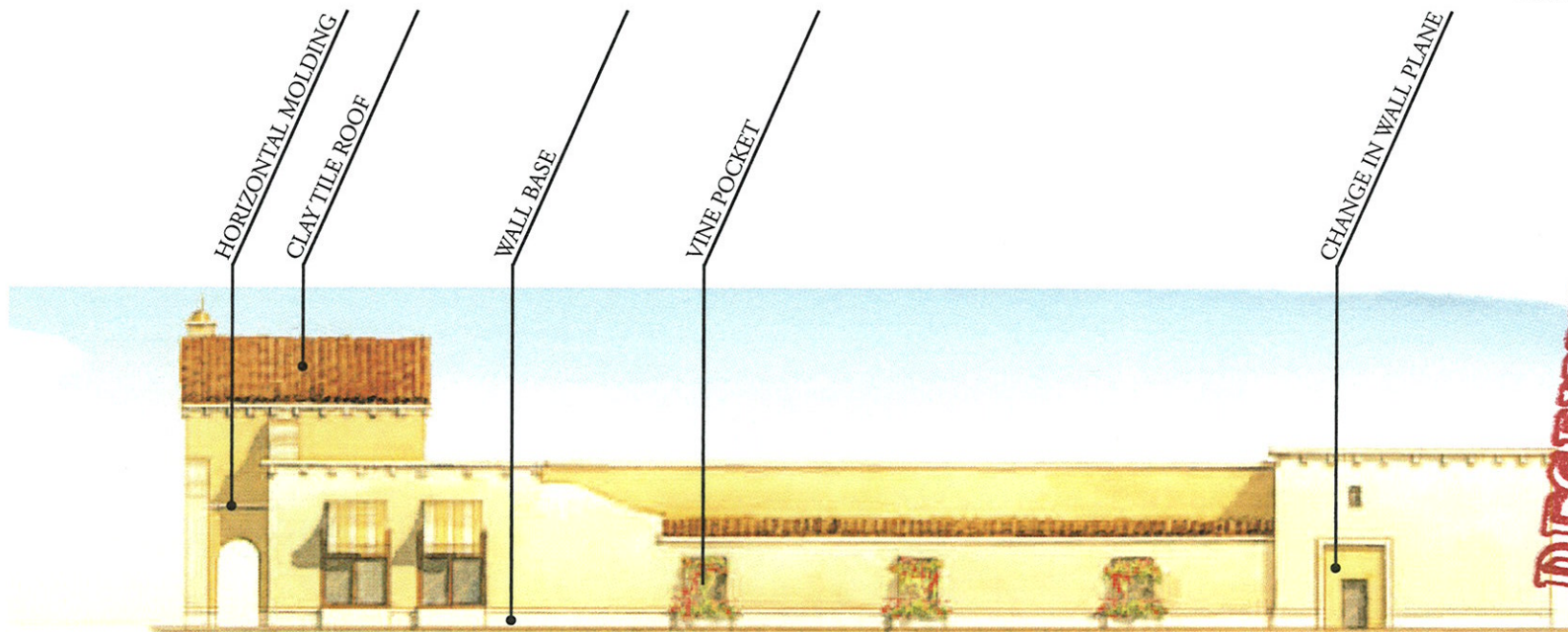
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b. Façade Type "B"

This façade type is considered the "side" of the building and may include a secondary entrance. "B" Type Façades are located facing onto a secondary road or drive aisle. This façade type is moderately articulated with a careful use of architectural components. The accompanying diagrams illustrate typical examples for Façade Type "B".



Elevation - Type B1



Elevation - Type B2

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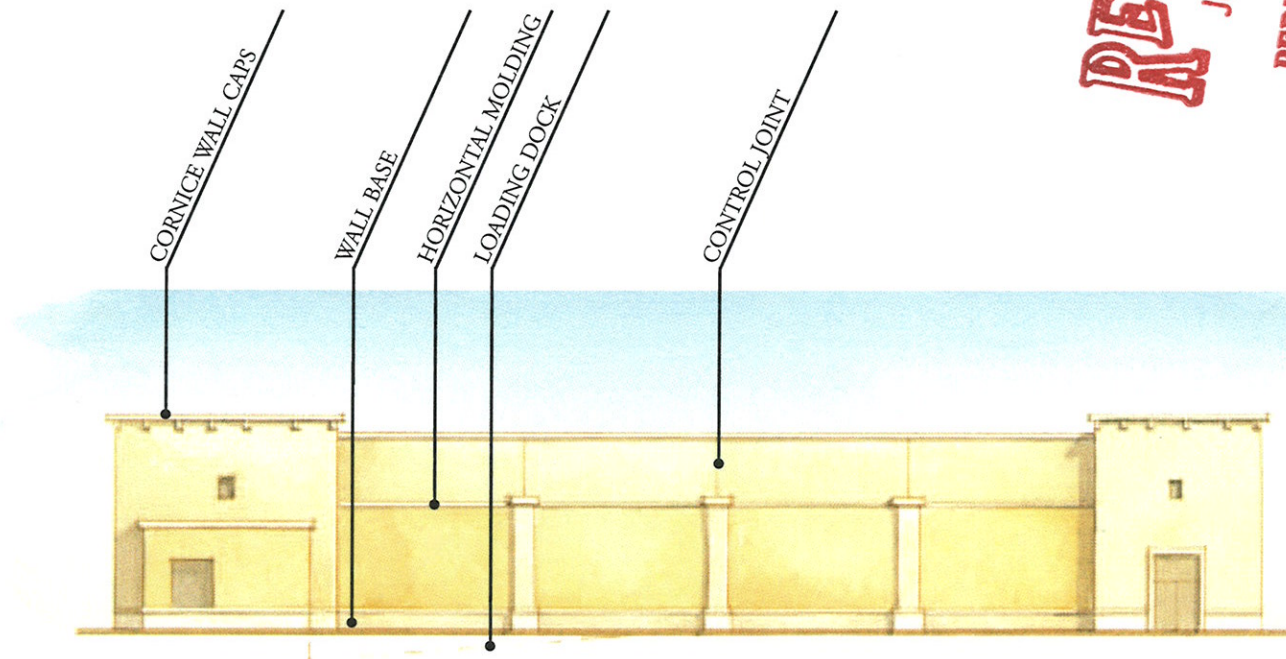
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c. Façade Type "C"

This façade type is considered the "back" of the building and may include a loading area. "C" Type Facades generally face onto service areas and back of house parking fields and other non-public spaces. This façade type is somewhat articulated using the same language of architectural components as the building's corresponding "A" and "B" façades. Additional requirements for commercial retail loading areas are addressed in "Site Planning", Part 3 of this manual. Façade Type "C" shall incorporate landscaping, berms, and other appropriate design features as screening elements when necessary, particularly when facing residential structures on abutting residential sites.



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Elevation - Type C

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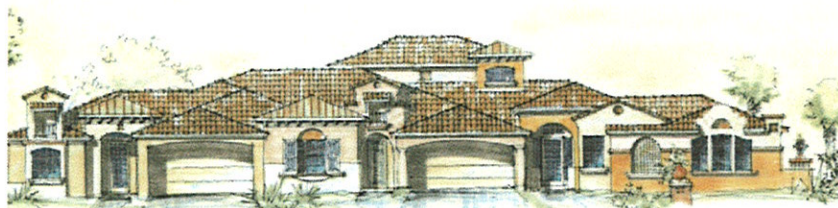
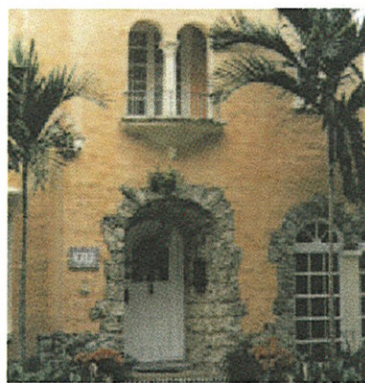
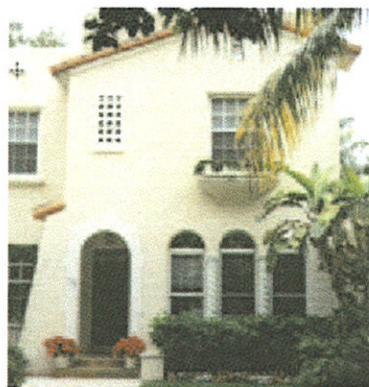
2. Characteristics of Office/Institutional/Hospitality Buildings

Office, Institutional, and Hospitality buildings provide an additional facet of community services to Coconut Point. Inhabitants and visitors can benefit from the proximity of hotels, healthcare facilities, and offices. The highest concentration of these building types lies within the South Village district. Serving the non-mercantile needs of the community, these generally multistory buildings often have particular requirements that distinguish them from Coconut Point's other commercial buildings.

Multistory Office, Institutional, and Hospitality buildings should incorporate the general principles, as well as the specific design details, contained in this manual. Buildings of this type are generally set back from the roadway, tucked into the landscape and accessed through landscaped parking areas. Criteria include the encouraged use of different façade materials, fenestration, and ornamentation to articulate a base, shaft, and cap. Recesses, projections, portals, arcades, and other architectural features are encouraged to express major entries. Frequently, these buildings will require porte cocheres or drop off zones for lobby access which should continue the architectural language of their corresponding primary structures.

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IV. ARCHITECTURE - RESIDENTIAL

1. Characteristics of Residential Architecture

Factors that shape the design of residential architecture at Coconut Point include the following:

- Incorporation of architectural elements such as: hipped and gabled roofs; arched windows and doors; decorative shutters; casement windows with muntins; wrought iron or cast stone railings; cantilevered balconies; verandas, porches and courtyards; the appearance of "thick" walls; chimneys; exposed rafters at eaves; planters; textured "hand trowled" and smooth stucco wall finishes; tile roofs.
- The exteriors of all buildings must be designed to be compatible with the natural site features and landscaping of the residence/building and to be in harmony with their surroundings.
- The landforms, the natural contours, local climate, vegetation, and views should influence the building location, the building form, and the architectural style.
- The DRA may disapprove plans if, in its judgment, the massing, architectural style, roofline, materials, colors or other features of the building do not meet these standards.
- No factory-built modular or mobile home type construction shall be permitted without DRA approval.
- Equal attention to detail and architectural definition must be given to all sides of the structure, including, but not limited to, the foundations, banding, accent materials, roof character, and window treatment.
- Retaining walls, planter walls, and privacy walls should be used to break up the elevation of a building and help relate the structure to the ground.
- All exposed concrete block or poured concrete foundations and site retaining walls must be covered with an appropriate wall-facing material, which must be approved by the DRA.

JUNE 14, 2004

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39
PART 2 ARCHITECTURE
ADD 2004-00060

Exterior Wall Treatments

The following are acceptable exterior wall treatments for vertical surfaces:

1. Painted stucco in natural earth tones.
2. Anodized or paint finish are required on all metal surfaces including windows, flashing, drops, and caps, in colors matching the approved adjacent surface color.
3. Fascias must be a minimum of 10" wide cedar, painted to match the approved trim color. Other fascia materials comparable to cedar may be approved by the Design Review Authority.
4. Soffit material shall be wood or stucco. Aluminum or vinyl may be allowed at the discretion of the Design Review Authority. All other materials are prohibited.
5. Vinyl, wood, metal or lap siding is prohibited.

Exterior Colors

Color selections for all exterior material shall be in warm, light earth tones. No pastels, pure whites, primary or secondary colors may be used except as approved by the DRA. Secondary owners must submit for approval color samples of all exterior surfaces to the DRA for review and approval no later than at time of final approval, including specifications and samples for window and metal finishes, roof material, trim, shutters, chimney caps, medallions and any other exterior surfaces and accents.

Roofing

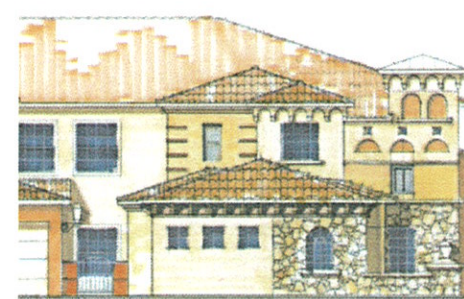
Roof pitches and overhangs shall be designed for compatibility with adjacent roof profiles in front, side and rear elevation, and may vary as dictated by architectural design. A roof pitch between 4:12 and 8:12 is required. A minimum overhang of 12" is required. Asphalt or fiberglass roof shingles and metal roofs are prohibited. Metal roofs as accents elements may be approved on a case by case basis. Roof materials which are acceptable are clay or concrete barrel, flat, and "S" tile. Roof colors shall be warm earth tones: pure white, blue or any bright colors are prohibited. Design Review Authority approval is required for a roof material change.

Roof Accessories and Equipment

Design Review Authority approval is required for all rooftop equipment and accessories, unless specifically excepted in this Section. All rooftop equipment must match roofing colors or be of a color that complements the building and must be placed as inconspicuously as possible. Exposed flashing gutters and downspouts must be painted to match the adjacent surface of the structure. No exposed attachment straps will be allowed.

Windows, Doors and Trim

Windows should be clear glass or a tinted glass of bronze, gray, or smoke colors. No reflective glass, film, or tinting may be used. Aluminum window frames shall be bronze, charcoal, white or other approved color. Screen frame colors shall match window colors. Windows shall be banded on the front and at rear elevations outside the lanai. Side elevations shall have either banding around the windows or banding/molding detail under the eaves. Lanai screen fabric and frames shall be bronze or charcoal color. The Design Review Authority must approve security treatments for doors and windows; however, no "burglar bars," steel or wrought iron bars, or similar fixtures shall be installed on the exterior of any windows or doors of any dwelling.



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Hurricane/Storm Shutters

DRA approval is required for exterior shutters. The shutters must be of a material similar to and of a color and design generally accepted as complementary to the exterior of the house. No hurricane or storm shutters shall be installed unless they have been approved by the DRA.

The most significant concern from an architectural standpoint, relating to shutters, is along the front elevations or other highly visible portions of the buildings. Shutters can and should be softened with landscaping where possible. This can be reviewed on a case by case basis. Storm shutters must blend into the window details or into the window covering requirements such that a patchwork or "checker board" look does not occur. They should be of consistent color, detail and style. Typically, shutters should be the same color as adjacent wall color and must be uniform in style of all openings. The colors of the storm shutters must be compatible and consistent with the architecture of the building.

Screen Doors

Screening is not allowed at the garage doors. Front screen enclosures are not permitted unless pre-approved as a feature of a model or building. The material must match the existing exterior doors and the color should be generally accepted as complementary to that of existing doors on the house or be bronze or black.

Accessory Buildings

Owners shall secure DRA approval prior to construction of any accessory building or permanently installed structure. Accessory buildings shall meet the following criteria:

- a. An accessory building must be of the same color, material and architectural style as the main residence or of color, material and style that is generally recognized as complementary to that of the main residence. An accessory building's roofing materials shall match those of the main residence.
- b. Any utilities servicing accessory buildings shall be installed underground.

- c. Accessory buildings generally shall be located in the rear one third of the yard, shall not unreasonably obstruct any adjacent neighbor's view of the lakes or open areas, and must be screened by a fence or vegetation.
- d. Free standing metal utility sheds or storage sheds are not permitted.

Air Conditioning Equipment

DRA approval is required for the installation of air conditioning equipment or evaporative coolers. No window air conditioning units shall be allowed. Wall units may be installed with DRA approval. All air conditioning equipment must be screened by using a partial block wall with landscaping or a combination thereof.

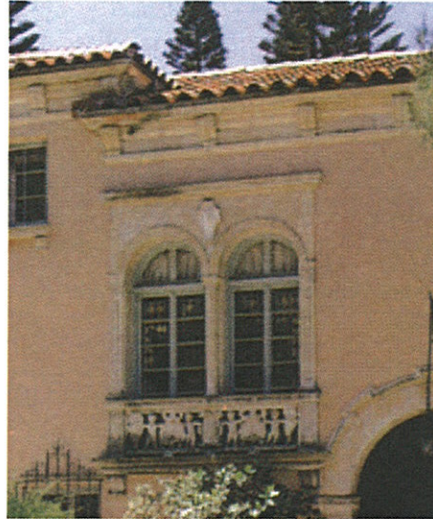
Satellite Dishes

One small and inconspicuous satellite dish antenna having a diameter of 18" or less, which is installed upon or adjacent to any residence, is not visible from adjacent properties or the street, and is integrated with the residential structure and surrounding landscape, does not require DRA approval. Such equipment shall be located only in side or rear yards and placed as inconspicuously as possible. Other satellite dishes with a diameter of more than 18", and all other microwave dish antennae, satellite dish antennae, exterior radio antennae, or other electronic signal-receiving or transmitting equipment to be located on the exterior of the home must be reviewed and approved by the DRA. Notwithstanding the above, all residences are required to be pre-wired for cable television and telecommunications.



Awnings and Canopies

The installation of awnings or canopies require Design Review Authority approval. The awning or canopy color must be the same as or generally recognized as complementary to the exterior of the residence. Metal awnings are prohibited.



Decks and Balconies

Owners shall secure Design Review Authority's approval before installing decks or balconies. Decks and balconies must be constructed of durable materials and be compatible in color and style with the architecture of the building. Decks and balconies must be installed as an integral part of the residence or patio area. Any such decks or balconies must be located so as not to obstruct or diminish the view of or create an unreasonable level of noise for adjacent property owners.

Flagpoles

Yard-mounted flagpoles are not permitted on any portion of the properties, except that a Developer may erect such flagpoles on a temporary basis at any model homes maintained on the properties by such Developer. Owners may periodically attach American flags for special occasions, that are a reasonable size, to their house or garage without the approval of the Design Review Authority. No other flags are allowed.

Garages

Enclosed garages are required. Garages must be approved at the time of architectural review for the main residence/building. Such garages shall be compatible with and complementary to the building design in architectural style, material, color and location, including but not limited to the same roof tile and stucco walls/posts. The garage and specifically the garage door(s) should not be the main focus of the front facade.

Driveways/Walkways

Driveways shall be of pavers, or "decorative" type concrete. Other materials may be approved at the discretion of the Design Review Authority. Gravel, asphalt, plain concrete or shell driveways are prohibited. Brick, flagstone, stepping stones and pre-cast patterned or exposed aggregate concrete pavers may be approved for walks or patio areas.



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Hot Tubs and Saunas

DRA approval is required for the installation of any hot tub, Jacuzzi, sauna or spa. Any hot tub, Jacuzzi or spa shall be an integral part of the deck or patio area and/or the rear yard landscaping. A hot tub, Jacuzzi or spa shall be located in the rear or side yard, shall be buffered in such a way that it is not immediately visible to adjacent property owners, and shall not create an unreasonable level of noise for adjacent property owners. All mechanical equipment necessary for the operation of any hot tub or sauna must be located in the rear of side yard and screened from the street and neighboring units by a fence, wall or landscaping; such screening to be in accordance with these Design Guidelines and approved by the DRA.

Pools

DRA approval is required for the construction or installation of pools. Pools, if approved, must be located in the rear yard and must be an integral part of the residence. Courtyard type homes may provide pools within the courtyard area of the residence, provided that they are properly screened and buffered from front and side yards. Landscaping shall be provided around the foundation of the pool and must be an integral part of the overall landscape plan. All mechanical equipment necessary for the operation of any pool must be located in the rear or side yard and shall be screened from the street and neighboring residences/ buildings by a fence, wall or landscaping, such screening to be in accordance with these Design Guidelines and approved by the DRA. Above-ground pools are prohibited.

Recreational Equipment

Recreational equipment shall not be installed in the front yard of residences/buildings or attached to houses or garages. Recreational equipment in side or rear yard must be reviewed and approved by the DRA. Said review shall be based upon, but not limited to, the following considerations: proximity of equipment to property lines and proximity of equipment to neighbor's living areas, lakes and common areas. Additional landscape buffer: may be required.



Technology

All builders must pre-wire dwelling units with category 5 wire (or other defined community standards) for telecommunication purposes.

Trash Containers

Trash containers shall be stored inside the unit, or in side yards behind the front building line and shall be screened from the street by a fence, wall or landscaping.

Miscellaneous Items

The DRA shall review all Miscellaneous Items not covered in these Guidelines.

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PART 2 ARCHITECTURE
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2. Characteristics Specific to Mixed-use Residential Architecture

Mixed-used residential architecture is generally grouped together in clusters, as in town homes, or included as part of a multistory structure, often with a retail component on the ground level. These types of residential architecture at Coconut Point should adhere to the established Mediterranean Revival style while simultaneously providing a sense of comfort and "address" for inhabitants. Factors that shape the design of multi-family and mixed-used residential architecture at Coconut Point include the following:

- Variations in exterior massing break down building scale and add variety to repetitive elements.
- Balconies and terraces provide opportunity for architectural expression and outdoor living.
- Multistory buildings are encouraged to use different façade materials, fenestration, and ornamentation to articulate a base, shaft, and cap and to articulate horizontally.
- Clear expression of lobbies and entrances is encouraged through the use of recesses, projections, portals, arcades, patios, and other architectural features.
- Drawing on a language similar to that found in single-family residential buildings creates a feeling of "home" for all dwellings at Coconut Point.



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PART 3
SITE PLANNING AND LANDSCAPE DESIGN

I. INTRODUCTION - SITE PLANNING AND LANDSCAPE DESIGN

Site Planning and Landscape Design play an integral role in creating the new Mediterranean mixed-use lifestyle community of Coconut Point. A semiformal nature reminiscent of the historical estate landscape of late 19th and early 20th century Florida is articulated through grand features such as rhythmically spaced skyline palms, colorful shade canopy trees and elegant boulevards. The verdant Southwest Florida environment and its charming, casual legacy of gardens, courts, verandas, vistas and waterways, is further accentuated through rich ground planting and lovely site amenities.

The Landscape design of the Coconut Point project will be cohesive throughout the overall site development; it will respond to the existing area environment, the architecture, and the community. These standards are designed to provide a coordinated landscape program with an emphasis on visual continuity throughout the entire project, while avoiding adding unrelated elements to the site. The landscape should enhance the pedestrian environment, serve as a functional part of the development in terms of identity and increase development marketability and identity.

The project site has significant exposure to US 41 to the West, Sandy Lane to the East, and Williams Road to the North. It is intended to provide landscape screening of site improvements as seen from the roadway, while maximizing visibility to the tenants. To this extent, a 30' informal landscape buffer will be provided adjoining the US 41 right-of-way for the full extent of the site. Condition 6 of Resolution Z-02-009 sets the required standard for the buffer along US 41. A series of "Green" windows enhance the view to many different site features such as lakes, open space parkways, and naturally landscaped pre-treatment areas.

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II. SITE PLANNING

1. General Characteristics of Site Planning at Coconut Point

Site Planning at Coconut Point requires careful consideration of both the built environment and the natural landscape. Designers should bear in mind the following objectives:

The landscape design concept must respond to the specific site, as well as the Mediterranean Revival character of Coconut Point. It should bring all elements together in a cohesive landscape design; serving both aesthetic and practical needs.

The landscape should reinforce the design objectives of the architecture and signage so that the overall concept unites the various elements, emphasizes the main entries to the districts and special site areas, and creates focal points using plant materials.

The designer must be conscious of the scale at which design elements and plant material will be seen and experienced.

Undesirable and unsightly objects shall be suitably screened from view.



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Specific requirements and guidelines for particular site features have been developed. The following categories represent the primary site elements that, through their careful design, may affect visitors' perceptions and reinforce Coconut Point's contemporary Mediterranean identity of casual elegance and efficient accessibility.

A. Pedestrian Circulation, Sidewalks, and Paving

The master development will, in terms of the DRI, provide pedestrian sidewalks from public right of ways to and along all internal connector streets. All development parcels are to provide pedestrian access to the master pedestrian sidewalks provided. All developments are to provide a sidewalk on at least one side of all main entry drives and internal roads serving the project.

All commercial developments are to provide, at a minimum, one coordinated pedestrian sidewalk system, interior to the development connecting the fronts of all buildings with the development and connected to the master development sidewalks. All parking fields within these developments are to be provided with reasonable pedestrian access paths to their related buildings.

Multi-family developments are to provide pedestrian access from all units to the pedestrian circulation system.

Sidewalk locations and sizes must meet all county and other relevant codes.

In terms of these guidelines, sidewalks along all roads and drive lanes must be a minimum of 5'-0" wide and are to be located a minimum of 4'-0" (a larger dimension is preferable – especially on major traffic roads) from the driveway side.

Required walkways shall be designed with a minimum of five feet width that is clear of any vehicle overhang with the exception of sidewalks through parking lots which shall be a minimum width of 4'-0". The design of these walkways is to take into account the tree requirements within the parking fields. If a 10-foot minimum area is not provided for canopy trees that reach a mature height of 20 feet or more, smaller trees must be planted.

Reasonable pedestrian access shall be defined as one parking lot pedestrian access per 300 parking spots as a planning rule. The DRA will review submission on a case by case basis to ensure efficient and meaningful access has been provided.

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47

PART 3 SITE PLANNING AND LANDSCAPE DESIGN

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B. Vehicular Circulation

View corridors, as seen from automobiles, into the landscape are to be highlighted and preserved.

Desired views in the landscape design shall take into account the distance from the vehicle and the speed at which it will be best viewed.

Roadway widths shall be based on hierarchy of primary, secondary and tertiary streets. Landscape and site features shall relate in scale to the corresponding roadway types.

Entrance drives shall be identified by entry markers, landscape and signage.

Vehicle roundabouts are an opportunity to utilize special paving and other site and landscape features.

Internal vehicular circulation benefits from connections between adjacent properties. This circulation is encouraged to improve accessibility and to reduce congestion on main streets.

C. Site Furnishings and Amenities

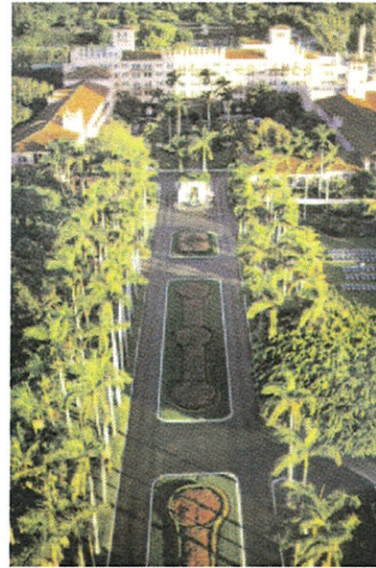
Comfortable and attractive street furniture shall be provided in public spaces for public enjoyment, comfort and convenience. These may include seats and benches, trash receptacles, information kiosks or directories, and public telephones.

Other encouraged site furnishing amenities can include planters and bollards, decorative fountains, tree grates, benches, public art, decorative street name indicators, boulders / rocks, and sculptures.

A concept shall be developed for integrating furnishings with the design of planting, irrigation, and pedestrian systems.

The design of all site furnishings shall reflect the overall Mediterranean identity of Coconut Point and correspond to other design features within the project.

Providing places to park bicycles encourages their use. Bike racks shall be installed at appropriate locations.



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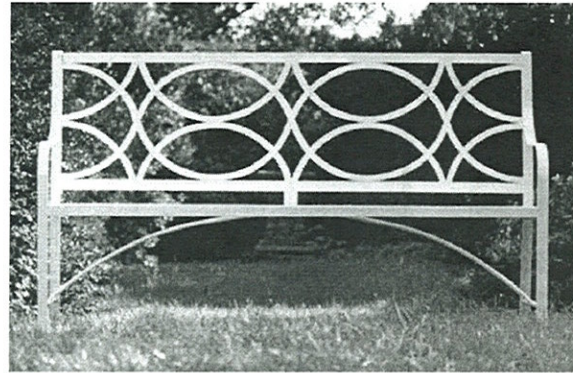
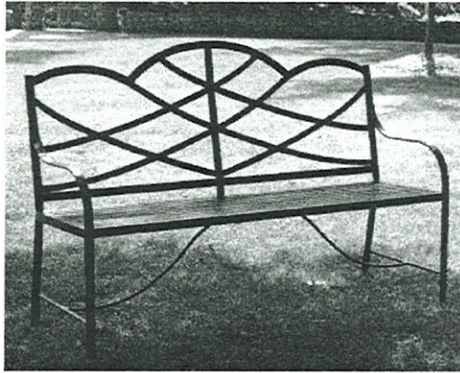
1. Benches

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49

PART 3 SITE PLANNING AND LANDSCAPE DESIGN



Main Street / Town Center / Residential



Garden Courtyard



Special Accent Bench



Garden Courtyard - Residential

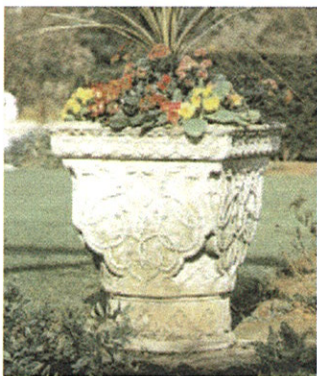
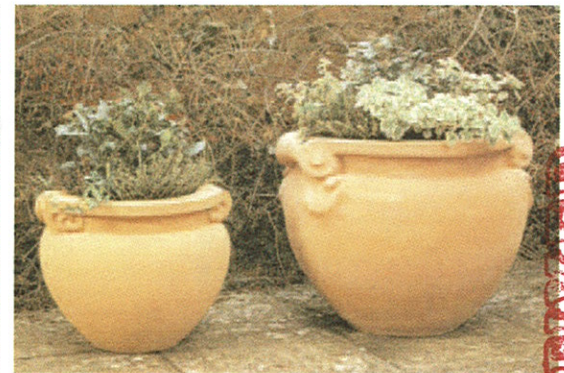
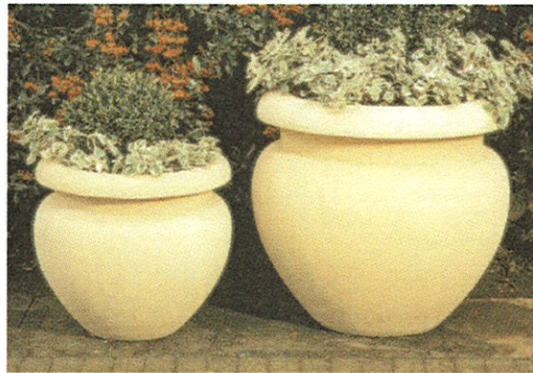


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2. Planters

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PART 3 SITE PLANNING AND LANDSCAPE DESIGN



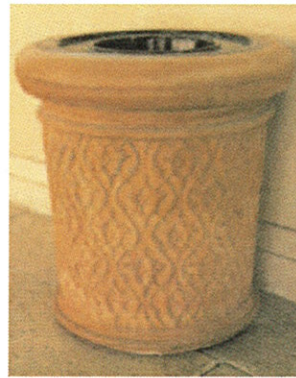
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3. Ash Urns



4. Trash Receptacles



5. Railings/Balustrades



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D. Parking

Landscaped parking islands are to be provided in accordance with the pertinent codes and as a minimum should be provided at the ends of all bays of parking to separate the parking from driveways. Continuous landscaped medians between parking aisles should be placed no further apart than three (3) aisles of parking and must be such as to provide for minimum distances from parking stalls to shade trees. Where any parking aisle is less than ten (10) cars in length, alternative means of complying with the land Development Code will be acceptable. Where medians are used they may be increased in size by 2'0" against the parking stalls to allow for "car overhang". In such case the parking stall is reduced by 2'0".

Islands and medians are to be sized according to code but need to be a minimum of 10'0" x 18'0" in order to meet open space requirements. They are to be planted with shade and other trees, shrubs, groundcover and turf. The two-foot overhang may be paved with pervious or non-pervious material or planted with groundcover, turf or low growing plantings.

All parking areas are to be screened and buffered with aesthetic landscape planting, creating a desirable environment without unduly impacting the visibility or creating obstructions.

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E. Screening Devices

At a minimum, screening shall be either by shrub and/or evergreen trees or by solid wall. These shall be designed to express the appropriate character and be coordinated with the building architecture. Trees and/or shrubs used to fulfill this requirement must be located in a suitable planting strip.

In commercial developments, walls are required to screen service areas in view of adjacent roadways and developments. All walls and columns must be compatible with the development's particular architectural style. Articulated wall cap use is encouraged. When used for decorative purposes, tile and or stone appliques are encouraged.

Where expanses of solid building wall area are without architectural detail, landscape treatment is required.

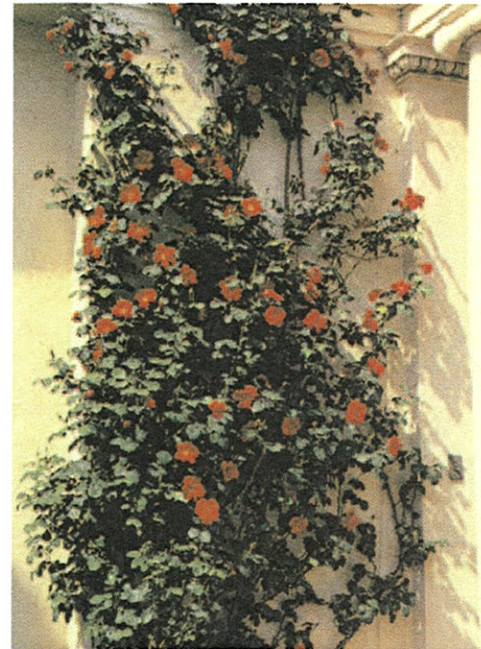
Screen walls must be properly landscaped with vines or high shrubs of a size and spacing appropriate to the plant material. Type, size and spacing of planting at screen walls shall meet any local authority requirements. Screen walls do not take the place of any required landscaping.

Aluminum gates and railings must compliment the intended "Mediterranean" style of architecture.

Chain link fences are not permitted.

All fence, walls and railings are subject to the approval of local building

authorities and the Coconut Point DRA and must be compatible with the architectural style of the buildings. They must be properly maintained in accordance with the overall aesthetic standards of Coconut Point.



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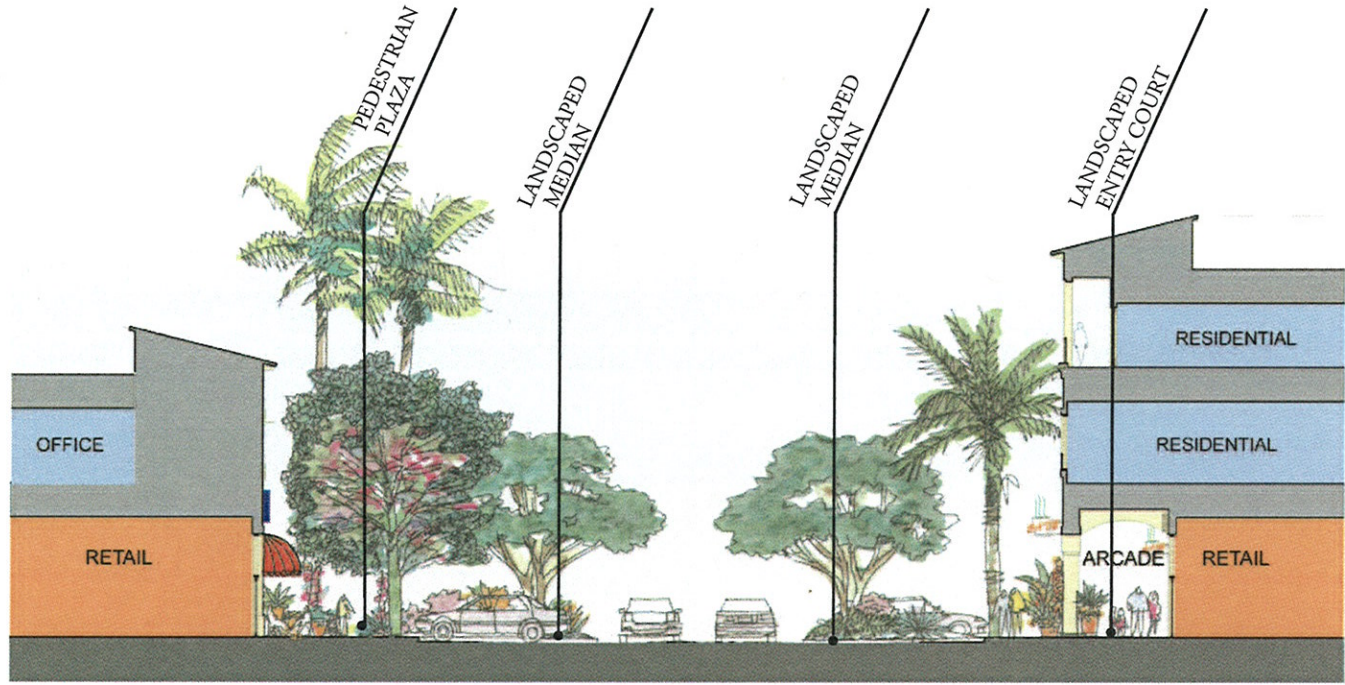
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PART 3 SITE PLANNING AND LANDSCAPE DESIGN

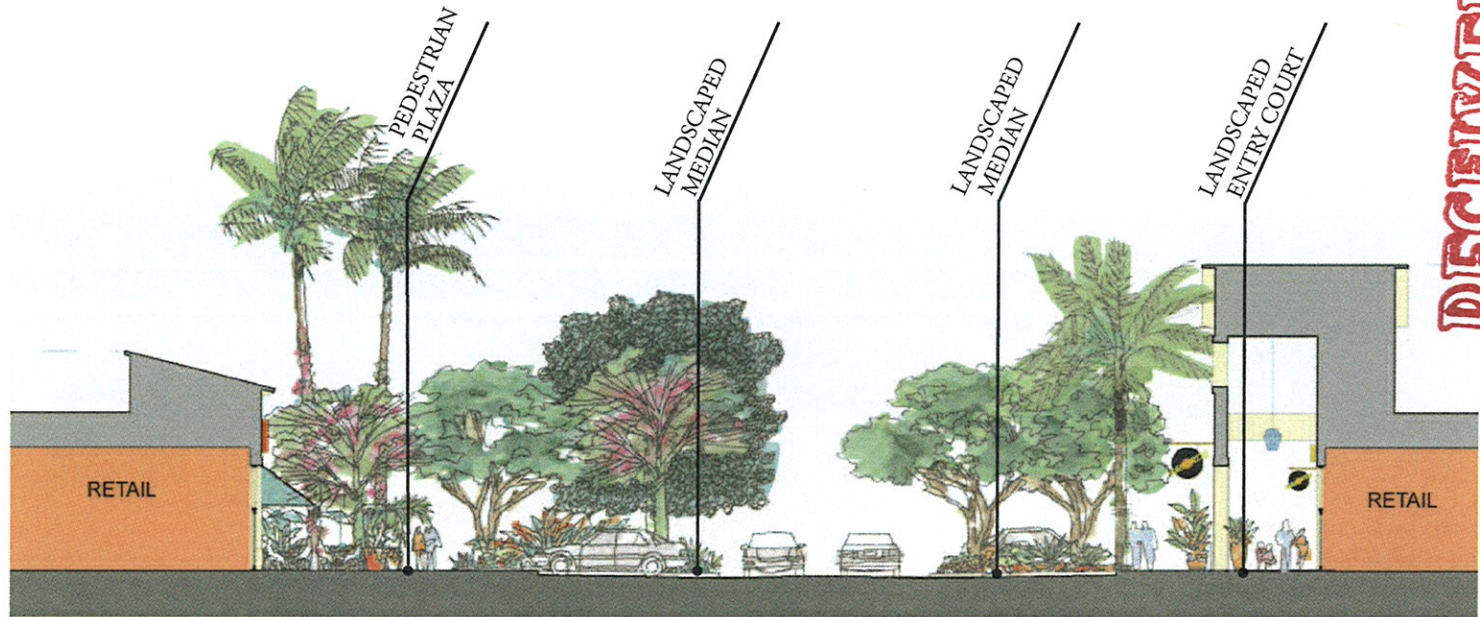
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Section Through Double Loaded Street at Multi-Level Buildings



Section Through Double Loaded Street at Single Level Buildings

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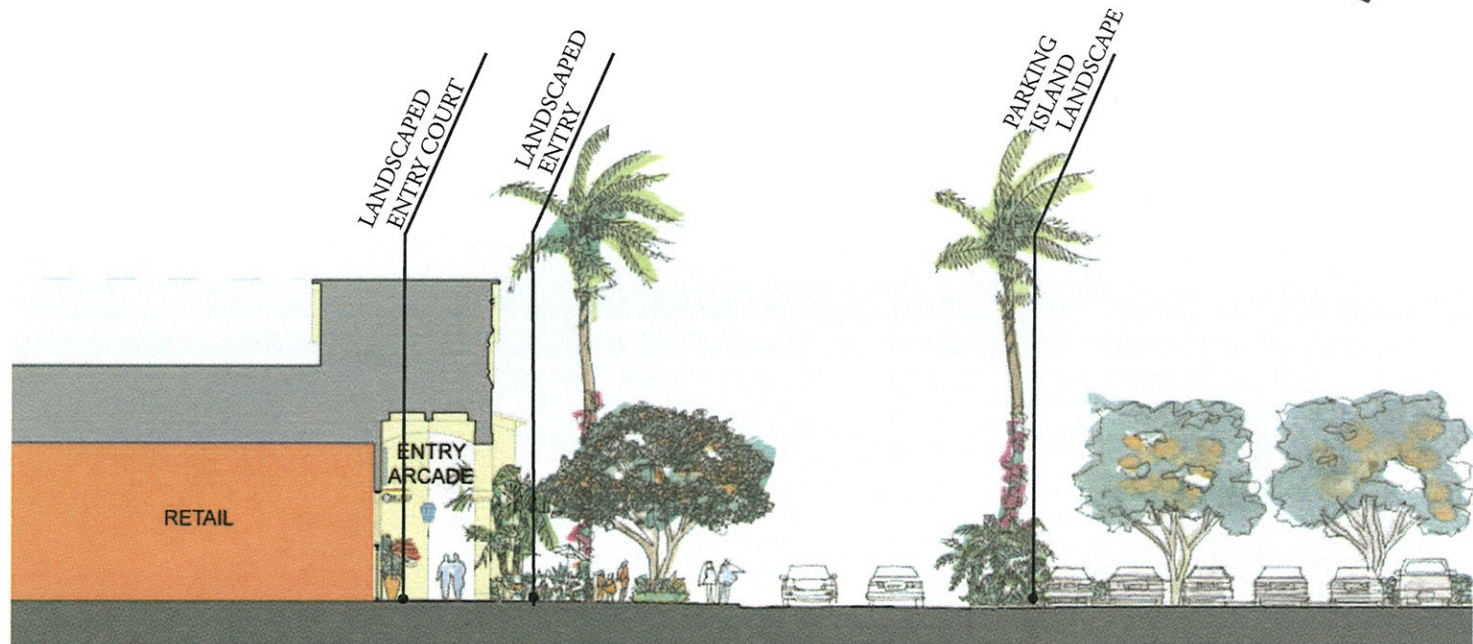
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2. Characteristics of Site Planning
specific to Commercial Retail Zones

A series of images and site sections have been established to convey the character of site planning specific to Commercial Retail Zones at Coconut Point.



Section Through Buildings Adjacent to a Parking Field

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3. Characteristics of Site Planning specific to Residential Zones

A series of images and a site section have been established to convey the character of site planning specific to Residential Zones at Coconut Point.

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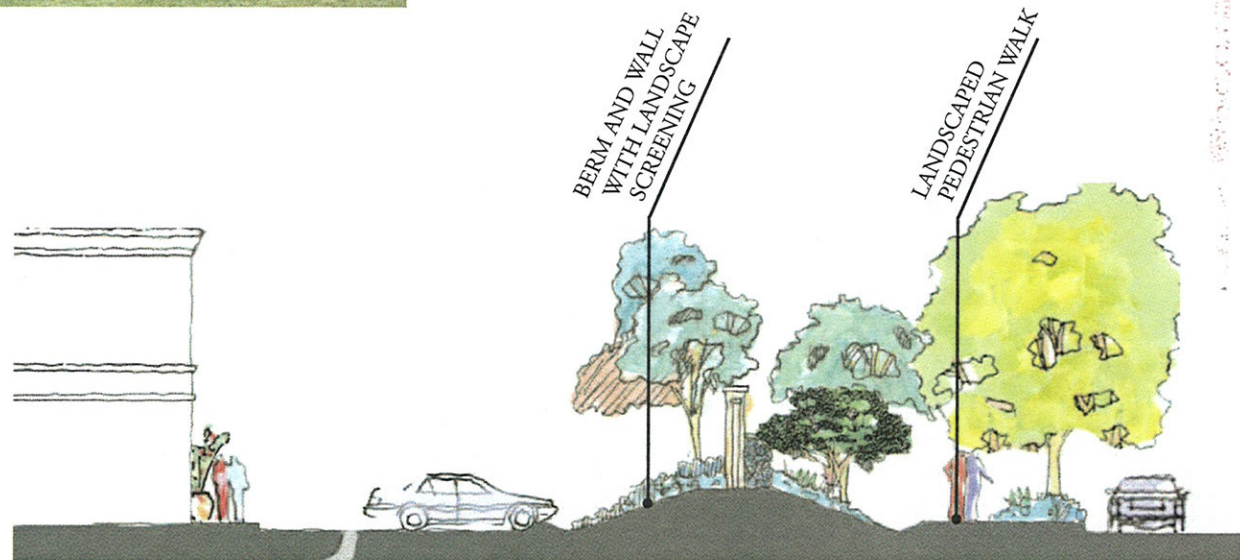


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Multi-family residential parking shall require a secured area of parking from the public. These secured parking areas must provide the required amount of integrated site lighting for safety for the residences.

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Residential Buffer

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III. LANDSCAPE DESIGN

1. General Characteristics of Landscape Design at Coconut Point

The placement, location, and scale of plant materials at Coconut Point is an important aspect to the Landscape Design. Landscape up-keep and irrigation issues are equally important functional aspects to all landscape design at Coconut Point.

The following guidelines address planting points, irrigation, landscaped entries, and general landscape care. In addition, a comprehensive Approved and Recommended plant list is included for designer reference.

All landscape plans are to be prepared and sealed by a Landscape Architect licensed in the state of Florida. All plans must be submitted to the DRA for review and approval, in conjunction with site plans and architectural plans.

The landscape plans must show: all proposed site improvements, including: buildings, parking, sidewalks, lakes, fences, amenities, etc.; all tree, shrub and sod locations, sizes and quantities.



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A. Planting Points

Landscaping, buffering and native plant requirements must be in accordance with local codes and regulations. In addition, they must be in compliance with the standards developed within the Coconut Point Guidelines.

Trees, shrubs and vines used as screening devices shall be designed to compliment and should provide 75% screen coverage within a two (2) year period.

The interior dimensions of any planting area or planting median must be sufficient to protect the landscape materials planted within and to ensure proper growth and maintenance.

Landscape standards will require the utilization of plantings from the established plant material palette.

Planting materials should provide a variety of visual effects in color, texture, seasonal interest and character; including seasonal flowering ornamental foliage, evergreen character, flowers, bark texture and color and physical form. Perennials, annuals, shrubs, trees, and groundcovers used in combination(s) are encouraged.

While the naturalistic style of landscaping is preferred, formal landscaping is also encouraged when used to compliment certain architectural styles.

The use of larger, mature tree and palm species is strongly urged to accentuate main entries, boulevards and in buffers where visibility to retail frontages is considered beneficial to the merchandising of their goods.

The layering of plants with varying textures and growth habits is also encouraged. Clustering of similar plant types is preferred, but care should be taken to give each variety the proper amount of space to grow to an easily maintained maximum growth habit.

Planting at project entry signs: appropriate planting is encouraged to augment project character at these sign types. Selected plant materials shall be of appropriate scale as to not prohibit visibility of signage content. Plant materials shall be chosen to enhance the overall landscape and the aesthetic and functional purposes of project entry signs. Refer to "Landscaped Entries" for a more detailed description.

Tree sizes and quantities shall meet or exceed Lee County code requirements. The use of larger, mature tree and palm species is strongly urged in residential and commercial developments. In commercial areas, larger trees are recommended to accentuate main entries and boulevards and in buffers where visibility to retail frontages is considered beneficial to the merchandising of their goods. Large growing palms such as Royals and Dates should be planted in rows or in bosques, while naturally clustering palms such as Sabals should be planted in odd number groupings with a minimum of three (3) palms in any cluster, of varying heights. When larger trees are used, the Lee County code allows for a reduction of tree quantities under the General Tree Requirement. Please refer to the Lee County code for details.

Shrubs shall be a minimum of 24" height, 3-gallon container, at time of installation.

Shrubs and groundcovers shall be of an appropriate size so that, at the prescribed spacing, appropriate coverage can be obtained after one growing season.

Vines shall be a minimum 3 gallon container and have a minimum of 30" trailers at time of installation.

Lawns shall be planted with a St. Augustine (Floritam, Seville, and Palmetto species) or Bermuda sod that will thrive under the growing conditions it will be subject to. Bahia sod may be preferable for naturally landscaped pre-treatment areas.

Lawn planting shall provide an immediate cover, within 30 days from installation. Sod planting is encouraged at entrances, building façades and lawn areas of small dimensions.

Sod shall be clean and reasonably free of noxious pests or diseases. Preferred species and variety to be determined.

No artificial plant of any type, size or color will be allowed as an exterior landscape material.

A minimum 8' clear trunk must be provided in pedestrian areas and where sight lines are necessary for safety reasons.

JUNE 14, 2004

59
PART 3 SITE PLANNING AND LANDSCAPE DESIGN
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Berms shall be provided as required by the Lee County Land Development Code (LDC).

Buffers should consist of a combination of: Large growing trees and palms; mid-height small trees and palms; large and small shrubs designed to grow together within a one (1) year time period.

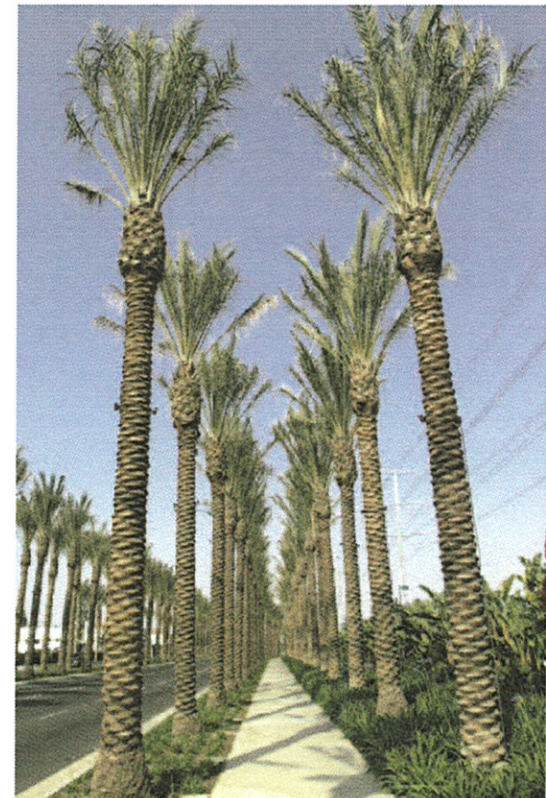
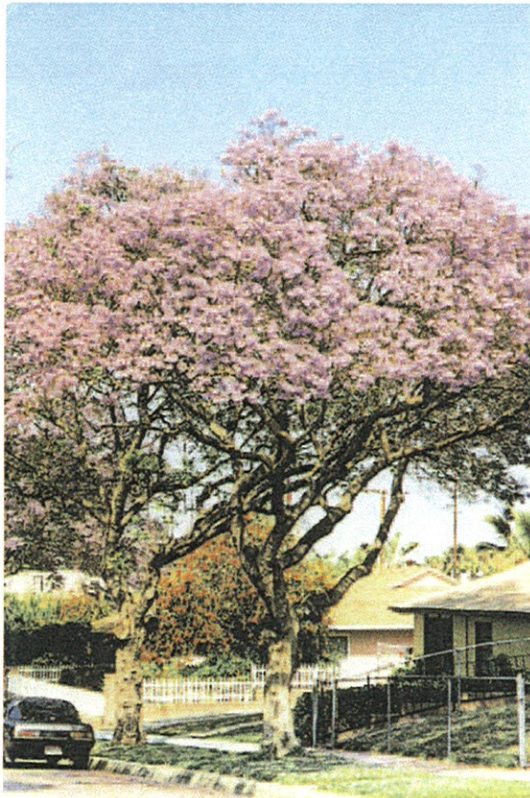
All beds should be mulched with pine straw or eucalyptus mulch at a minimum of three (3") thick (except seasonal flowerbeds, which must have a suitable planting soil). The use of Cypress mulch is prohibited.

Pine straw and/or mulch is not permitted as the primary groundcover. Mulch shall be used in planting beds and around trees, rather than solely as a design element.

All plantings must be Florida Number 1 or better in accordance with Grades and Standards for Nursery Plants, and be planted in accordance with sound nursery practices. Large trees and palms must be properly guyed with aesthetically pleasing, adjustable stays. No supports should be nailed into the trunks. Wood supports for Sabal Palms must be stained with a weathering gray, semi-transparent stain.

Good Xeric principles should be employed and plant groupings should have similar water requirements, creating "hydro zones", and be in context with their immediate environment.

Planting plans that employ improper plant spacing that require excessive maintenance will be rejected.



JUNE 14, 2004

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B. General Landscape Care

LDC standards for pruning are as follows: "Vegetation required by this code may only be pruned to promote healthy, uniform, natural growth of the vegetation (except where necessary to promote health, safety and welfare) and be in accordance with 'Pruning Standards (Revised 1988)' of the National Arborist Association. Trees must not be severely pruned to permanently maintain growth at a reduced height or spread. Pruning must not interfere with the design intent of the original installation. Severely pruned trees must be replaced by the property owner. A plant's growth habit must be considered in advance of conflicts which might arise (i.e. views, signage, overhead power lines, lighting, circulation, sidewalks, buildings and similar conflicts.)"

All areas must be cleaned up at the end of each workday, and all unplanted excavated holes must be properly barricaded.

Maintenance of the landscaping and irrigation shall be the responsibility of the owner, tenant or agent, jointly and severally. They must be maintained in perpetuity in good condition so as to present a healthy, neat and orderly appearance. All landscaped and hard surface areas must be kept free of weeds, refuse and debris. If at any time after a "Certificate of Occupancy" or other form of approval, the maintenance is found to be non-compliant, the administrative official shall issue notice to the owner that action is required to comply with this section and shall describe what action is required to comply. The owner, tenant or agent shall have 30 days to restore the site to the proper level of maintenance. If the landowner fails to comply within the allotted period, a crew will be brought in bringing the project up to the required standards and the owner will be billed for costs incurred.

C. Irrigation

All irrigation systems must be of an underground automatic type, with pumps and time clocks screened from view. Time clocks must be able to accommodate South Florida Water Management District Conservation Rules, and a rain shut-off sensor switch is required to prevent watering when rainfall is sufficient for landscaping needs. "Popup" spray heads are encouraged, and where exposed pipe extensions are necessary, they must be painted a dark green or black. Where spray heads may be undesirable, the use of drip emitters is encouraged.

Irrigation systems must be designed by a Landscape Architect, Irrigation Designer, or Certified Irrigation Design and Installation Company. Care should be taken to provide 100% coverage and to minimize overspray onto adjacent buildings or hard surface areas.

The maintenance of the irrigation system is as important as the maintenance of the landscaping. Maintenance agreements should provide for routine inspections.

The practice of Sustainable Irrigation should be incorporated whenever possible, such as the use of drip emitters system. The Sustainable Irrigation system should follow approved City and County practices.

All lawn and landscaped areas which adjoin the public right-of-way, entry drives, sidewalks, corridors and building perimeter planting areas must be irrigated with a fully automatic irrigation system.

All internal parking lot islands must be irrigated.



D. Landscape Entries

Landscape entries serve as functional, and aesthetic gateways into the project. Entries to all districts of Coconut Point are marked with landscaped treatments, varying in scale and detail according to their specific locations.

In commercial areas, each free-standing sign shall be accompanied by landscaping at the sign totaling no less than three-quarters ($3/4$) square foot of landscaped area for each one (1) square foot of sign area. In residential areas, each free-standing sign shall be accompanied by landscaping at the sign totaling no less than 1.5 square feet of landscaped area for each one (1) square foot of sign area. Landscaping shall provide a minimum of fifty percent (50%) coverage of the landscape area at installation. Turf grass shall be limited to a maximum of ten percent (10%) of the total landscape area.

Landscape entries are broken down into three categories: Feature Entries, Large / Medium Scale Entries, Landscaped Sign/Wall Entries.

Feature Entries:

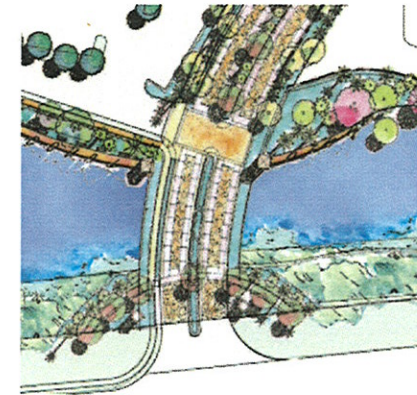
The landscape character for the Feature Entries creates a strong presence to demark its special importance. The landscaped Feature Entries correspond in location to the Feature Entry Tower. The following landscape elements define this entry category:

- Foreground Planting - A mixture of large, flowering canopy trees planted with a backdrop of palm species and a mixture of textural shrubs and flowering groundcover.

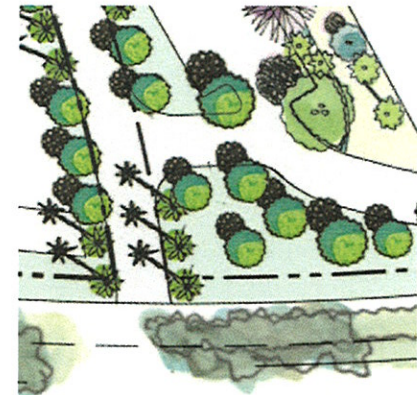
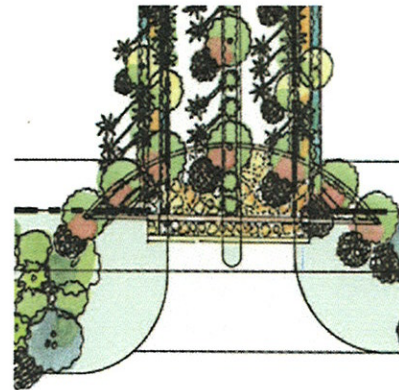
- Middle Ground - Signature lake water feature incorporating the project identity signage with a vertical water wall.

- Background Planting - A mixture of large canopy trees and accent flowering trees with informal groupings of palms, creating a sculptural lake edge.

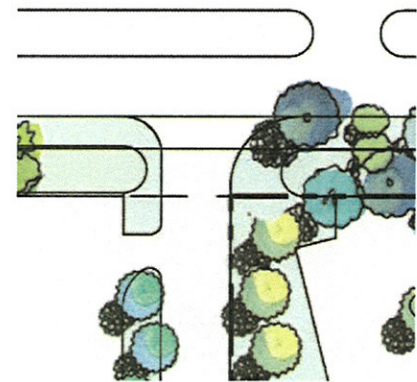
- Decorative textural paving at entry with enhanced pavement banding.



Feature Entries



Large/Medium Scale Entries



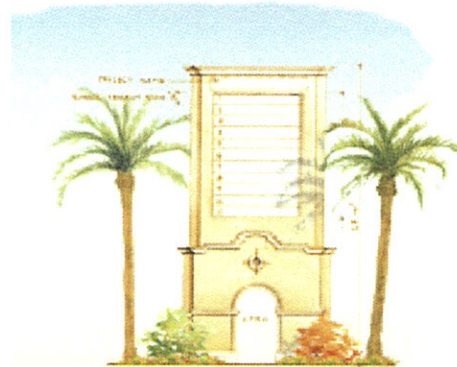
Landscape Sign Wall Entries

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Feature Entries



Large/Medium Scale Entries



Landscape Sign Wall Entries

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Large / Medium Scale Entries:

These entries are major statements and are provided within each district. The Large / Medium Scale Entries correspond in location to the Large Scale / Medium Scale Monument Signs, respectively. The landscape at these entries incorporates the following landscape elements:

- A ring of flowering canopy trees planted with a mixture of textural shrubs and flowering groundcover. Sculptural grading will be integrated with this landscape treatment.
- Informal groupings of canopy trees and shrubs incorporating sculptural grading with groundcover plantings.
- Decorative entry banding in crosswalks.
- Architectural pylons or walls, integrated into sculptural grading, planted with flowering groundcover.

Landscape Sign Wall Entries:

These entries help to offer wayfinding throughout the project, as well as enhance the immediate area within that district. The landscaped Sign Wall Entries correspond in location to the entry sign walls. The landscape at these entries incorporates the following landscape elements:

- Small scale layering of planting materials utilizing groundcovers / vines, shrubs, ornamental canopy trees, and flowering canopy trees.
- Integration with the architectural materials of the sign wall using framing plants and accent plants.

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D. Plant Material Lists

Recommended plant species from the suggested Plant Material Lists shall be used. Plant materials are also designated either "Approved and Recommended" or "Optional". A minimum of 60% of total plant materials shall be from the "Approved and Recommended" section of the list. Plant materials shall be submitted to the DRA for review and approval prior to final implementation.

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Canopy Trees	<i>Acer rubrum</i>	Red Maple		✓	
	<i>Bucida buceras</i> 'Shady Lady	'Shady Lady' Black Olive	✓		
	<i>Bursera simaruba</i>	Gumbo Limbo Tree *		✓	
	<i>Coccoloba uvifera</i>	Seagrape		✓	
	<i>Gordonia lasianthus</i>	Loblolly Bay			✓
	<i>Ilex cassine</i>	Dahoon Holly			✓
	<i>Ilex x attenuata</i>	East Palatka' Holly			✓
	<i>Juniperus silicicola</i>	Southern Red Cedar			✓
	<i>Magnolia grandiflora</i>	Southern Magnolia	✓		
	<i>Pinus elliottii</i> var. 'Densa'	South Florida Slash Pine	✓		✓
	<i>Platanus occidentalis</i>	Sycamore			✓
	<i>Quercus laurifolia</i>	Laurel Oak			✓
	<i>Quercus virginiana</i>	Southern Live Oak	✓		
	<i>Swietenia mahagoni</i>	Mahogany	✓		
	<i>Taxodium distichum</i>	Bald Cypress			✓
	<i>Terminalia catappa</i>	Tropical Almond			✓
Flowering Trees	<i>Bauhinia blakeana</i>	Hong Kong Orchid	✓		
	<i>Callistemon</i>	Bottlebrush	✓		
	<i>Cassia surrattensis</i>	Bush Cassia			✓
	<i>Chorisia speciosa</i>	Silk Floss Tree			✓

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Flowering Trees continued	Coccoloba diversifolia	Pigeon Plum	✓		
	Cordia sebestena	Geiger Tree			✓
	Delonix regia	Royal Poinciana	✓		
	Eryobotrya japonica	Loquat			✓
	Eugenia rhombea	Red Stopper			✓
	Jacaranda mimosifolia	Jacaranda			✓
	Koelreuteria spp.	Golden Rain Tree	✓		
	Lagerstroemia indica "varieties"	Crape Myrtle	✓		
	Lagerstroemia speciosa	Queen Crape Myrtle	✓		
	Magnolia grandiflora	Southern Magnolia	✓		
	Magnolia virginiana	Sweet Bay	✓		
	Psidium littorale	Strawberry Guava			✓
	Spathodea campanulata	African Tulip			✓
	Tabebuia caraiba	Silver Trumpet Tree	✓		
	Tabebuia chrsotricha	Gold Trumpet Tree	✓		
	Tabebuia heterophylla	Pink Trumpet Tree	✓		
	Tabebuia impetiginosa	Purple Trumpet Tree	✓		
Small Trees	Clerodendron quadriloculare	Starburst	✓		
	Clusia guttifera	Small Leaf Clusia	✓		
	Conocarpus erectus	Green Buttonwood	✓		
	Conocarpus erectus 'sericeus'	Silver Buttonwood	✓		
	Cupressus spp.	Cypress		✓	
	Filicium decipiens	Japanese Fern Tree	✓		
	Ilex cassine	Dahoon Holly			✓

JUNE 14, 2004

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Small Trees continued	Ilex vomitoria 'Pendula'	Weeping Yaupon Holly	✓		
	Ligustrum japonicum	Wax/Japanese Privet	✓		
	Magnolia	'Bracken's Brown Beauty' Magnolia	✓		
	Magnolia	'Little Gem' Magnolia	✓		
	Magnolia virginiana	Sweet Bay	✓		
	Myrcianthes fragrans 'simpsonii'	Simpson's Stopper	✓		
	Myrica cerifera	Wax Myrtle	✓		
	Persea borbonia	Red Bay	✓		
	Piscidia piscipula	Jamaica Dogwood	✓		
	Quercus laurifolia	Southern Laurel Oak	✓		
	Viburnum odoratissimum	Sweet Viburnum	✓		
	Viburnum odoratissimum 'Awabuki'	Awabuki' Viburnum	✓		
Palm Trees	Cocos nucifera 'Maypan'	'Maypan' Coconut Palm			✓
	Cyrtostachys ferida	Sealing Wax Palm			✓
	Livistona chinensis	Chinese Fan Palm	✓		
	Phoenix canariensis	Canary Island Date Palm			✓
	Phoenix dactylifera 'Medjool'	'Medjool' Date Palm	✓		
	Phoenix dactylifera 'Sylvestris'	'Sylvestris' Date Palm	✓		
	Phoenix dactylifera 'Zahidi'	'Zahidi' Date Palm	✓		
	Phoenix reclinata	Senegal Date Palm			✓
	Phoenix reclinata x roebelenii	Hybrid Clumping Date Palm			✓
	Phoenix roebelenii	Pygmy Date Palm		✓	
	Phoenix spp.	Date Palm	✓		
	Raphis excelsa	Lady Palm		✓	

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Palm Trees continued	Ravenala Madagascariensis	Travelers Palm			✓
	Rhapidopyllum hystrix	Needle Palm		✓	
	Roystonea elata	Florida Royal Palm	✓		
	Sabal palmetto	Sabal Palm	✓		
	Serenoa repens	Saw Palmetto	✓		
	Serenoa repens 'cinerea'	Silver Saw Palmetto	✓		
	Syagrus romanzoffiana	Queen Palm		✓	
	Thrinax parviflora	Florida Thatch Palm			✓
	Thrinax spp.	Thatch Palm		✓	
	Trachycarpus fortunei	Windmill Palm			✓
	Washingtonia robusta	Washington Palm		✓	
	Wodyetia bifurcata	Foxtail Palm		✓	
Shrubs/Groundcover/Vines	Acalypha wilkesiana	Copperleaf			✓
	Acalypha hispida	Chenille Plant			✓
	Acrostichum daneifolium	Leather Fern		✓	
	Agave attenuata	Spineless Century Plant			✓
	Alpinia spp.	Ginger			✓
	Bougainvillea spp.	Bougainvillea	✓		✓
	Calliandra haematocephala	Powder Puff			✓
	Callicarpa americana	Beauty Bush			✓
	Capparis cynophallophora	Jamaica Caper	✓		
	Carissa macrocarpa	Natal Plum	✓		✓
	Cassia alata	Candle Bush			✓

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Shrubs/Groundcover/ Vines continued	Chrysobalanus icaco	Cocoplum	✓		
	Clerodendron quadriloculare	Starburst	✓		
	Coccoloba uvifera	Seagrape		✓	
	Conocarpus erectus	Green Buttonwood	✓		
	Conocarpus erectus 'sericeus'	Silver Buttonwood	✓		
	Crinum spp.	Crinum Lily	✓		
	Cycas revoluta	King Sago		✓	
	Dodonaea viscosa	Varnish Leaf			✓
	Dracaena arborea	Dracaena		✓	
	Duranta erecta 'Sapphire Shower'	Purple Dewdrop	✓		
	Duranta repens	Golden Dewdrop			✓
	Eleagnus pungens	Silverthorn	✓		
	Eugenia rhombea	Red Stopper			✓
	Eugenia uniflora	Surinam Cherry			✓
	Euphorbia milii "Rosy"	Dwarf Crown of Thorns	✓		
	Evolvulus glomeratus	Blue Daze			✓
	Fatsia japonica	Fatsia			✓
	Feijoa sellowiana	Pineapple Guava			✓
	Forestiera segregata	Florida Privet	✓		
	Galphimia gracilis	Thryallis	✓		
	Gamolepis chrysanthemoides	African Daisy Bush			✓
	Gardenia spp.	Gardenia			✓
	Hamelia patens	Firebush	✓		
	Helianthus debilis	Beach Sunflower			✓

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	Hemerocallis spp.	Day Lily	✓		
	Hibiscus rosa-sinensis	Chinese Hibiscus	✓		✓
	Hymenocallis latifolia	Spider Lily	✓		
	Ilex spp.	Holly	✓		
	Ilex vomitoria	Dwarf Yaupon Holly			✓
	Irish hexagona savannarum	Blue Flag Iris		✓	
	Ixora coccinea	Red Ixora			✓
	Ixora spp.	Hybrid Ixora	✓		
	Jasminum multiflora	Downy Jasmine			✓
	Jasminum spp.	Jasmine	✓		
	Juncus spp.	Rush	✓		
	Juniperus chinensis 'Parsonii'	Parson's Juniper			✓
	Juniperus spp.	Juniper	✓		
	Kosteletzkya virginica	Salt Marsh Mallow			✓
	Lantana camara	Lantana			✓
	Lantana montevidensis	Trailing Lantana			✓
	Ligustrum spp.	Privet	✓		
	Liriope muscari 'Evergreen Giant'	'Evergreen Giant' Liriope			✓
	Liriope spp.	Lily Turf	✓		
	Lonicera sempervirens	Coral Honeysuckle			✓
	Muhlenbergia capillaris	Muhly Grass	✓		
	Murraya paniculata 'Lakeview'	Orange Jasmine	✓		
	Myrcianthes fragrans 'simpsonii'	Simpson's Stopper	✓		
	Myrica cerifera	Wax Myrtle	✓		

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	Nandina compacta	Heavenly Bamboo			✓
	Nephrolepis Falcata	Macho Fern		✓	
	Nephrolepis biserrata	Fishtail Fern		✓	
	Nephrolepis spp.	Fern	✓		
	Nerium oleander	Common Oleander	✓		
	Nerium oleander 'Ice Pink'	Dwarf Oleander			✓
	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander			✓
	Pennisetum setaceum	Green Fountain Grass	✓	✓	
	Pentas	Egyptian Star Cluster	✓		
	Philodendron selloum	Split Leaf Philodendron			✓
	Philodendron spp.	'Xanadu' Philodendron	✓		
	Pittosporum tobira	Japanese Pittosporum	✓		
	Pittosporum tobira 'variegata'	Variegated Pittosporum	✓		
	Plumbago 'Imperial Blue'	Blue Leadwort	✓		
	Podocarpus macrophyllus	Podocarpus	✓		
	Polypodium spp.	Polypodium	✓		
	Pontederia cordata	Pickrel Weed	✓		
	Psychotria nervosa	Wild Coffee	✓		
	Rapanea punctata	Myrsine	✓		
	Raphiolepis indica	Indian Hawthorn	✓		
	Russelia equisetiformis	Firecracker	✓		
	Schefflera arboricola	Dwarf Schefflera	✓		
	Scirpus spp.	Bullrush	✓		
	Senna polyphylla	Desert Cassia	✓		

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Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	<i>Serenoa repens</i>	Saw Palmetto	✓		
	<i>Serenoa repens</i> 'cinerea'	Silver Saw Palmetto	✓		
	<i>Sophora tomentosa</i>	Necklace Pod			✓
	<i>Spartina</i> spp.	Cordgrass	✓		
	<i>Stachytarpheta jamaicensis</i>	Blue Porterweed			✓
	<i>Strelitzia Reginae</i>	Bird of Paradise		✓	
	<i>Syzygium paniculatum</i> spp.	Brush Cherry	✓		
	<i>Tabernaemontana</i>	Florida Gardenia	✓		
	<i>Tabernaemontana divaricata</i>	Crape Jasmine			✓
	<i>Thunbergia</i> spp.	Thunbergia		✓	
	<i>Tibouchina</i> spp.	Glory Bush	✓		
	<i>Tripsacum</i> spp.	Fakahatchee Grass	✓		
	<i>Viburnum</i> spp.	Viburnum	✓		
	<i>Zamia floridana</i>	Coontie	✓		
	<i>Zamia Furfuracea</i>	Cardboard Palm		✓	
Aquatics	<i>Canna flaccida</i>	Yellow Canna			✓
	<i>Crinum americanum</i>	String Lily			✓
	<i>Juncus effusus</i>	Soft Rush			✓
	<i>Nymphaea</i> spp.	Waterlily			✓
	<i>Sagittaria</i> spp.	Arrowhead			✓
	<i>Thalia geniculata</i>	Arrowroot			✓
	<i>Hymenocallis latifolia</i>	Spider Lily	✓		
	<i>Pontederia cordata</i>	Pickereel Weed	✓		
	<i>Scirpus</i> spp.	Bullrush	✓		

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Plant Requirement Notes:

Shrubs:

Planting plans that employ improper plant spacing that require excessive maintenance will be rejected.

Sod/Groundcover:

St. Augustine species of Floratam, Seville and Palmetto are required for lawns. Other lawn grasses such as Paspalum, Bahia, and Zoysia varieties may be approved by DRA on a case by case basis.

Acceptable Sod Varieties

Latin Name

Common Name

Paspalum vaginatum 'Sea Isle'
St. Augustine 'Floritam' & 'Seville'
Zoysia 'Empire'

Seashore Paspalum
St. Augustine Grass
'Empire' Zoysia Grass

Vegetation Not Permitted

The following list identifies plants which are not permitted in the Coconut Point project.

Latin Name

Common Name

Acacia auriculiformis
Araucaria heterophylla
Casuarina spp.
Cupaniopsis anacardiopsis
Melaleuca spp.
Rhodomyrtus tomentosa
Schinus terebinthifolius
Solanum viarum

Earleaf Acacia
Norfolk Island Pine
Australian Pine
Carrotwood
Cajuput Tree
Downy Rose Myrtle
Brazilian Pepper
Tropical Soda Apple

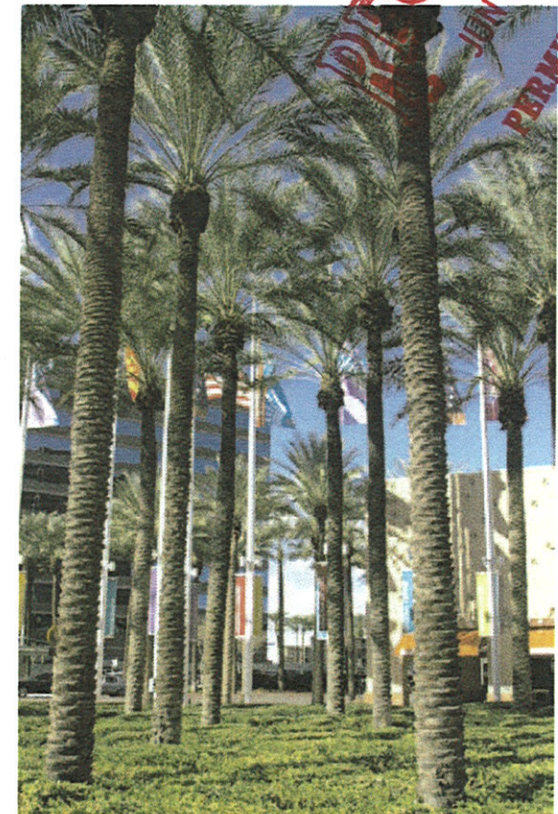
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2. Characteristics of Landscape Design specific to Commercial Retail Zones

Commercial Retail Zones at Coconut Point also incorporate the following specific design techniques and elements. These features accentuate the public nature of these areas, reinforce other corresponding site features such as roadways, water features and open space, and capture the Mediterranean Revival Identity of Coconut Point for the broadest audience of inhabitants and visitors. These Landscape Design techniques propose:

1. The use of a signature Coconut Palm as a skyline iconographic tree in rhythm with flowering canopy trees.

2. Creating a secondary or pedestrian scale landscape with Royal, Date, and Canary Island Palms and an informal mixture of large canopy trees, both evergreen and deciduous.
3. The use of Sabal Palms as a buffer tree informally placed with groupings of other trees, both evergreen and deciduous.
4. Accent planting can be achieved by planting King and Queen Palms with a mixture of informal, small-scaled tropical palms such as Travelers, Sealing Wax and Windmill as accent planting.



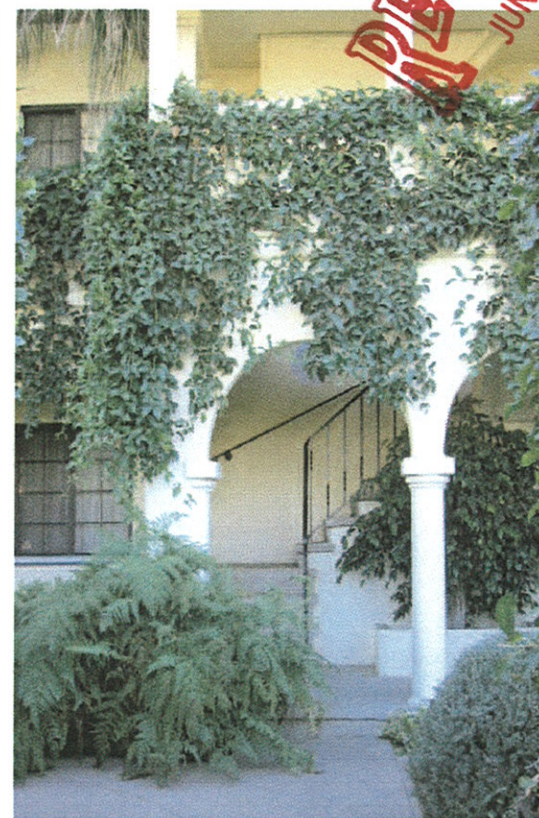
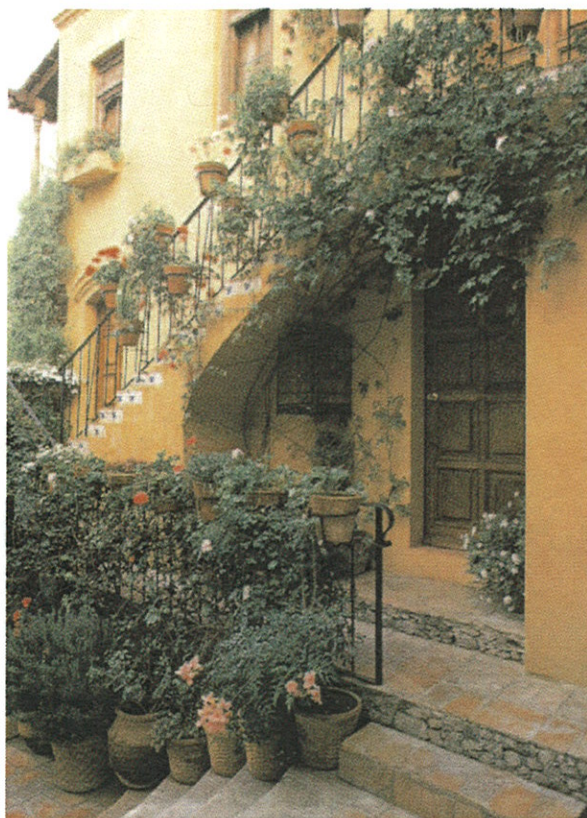
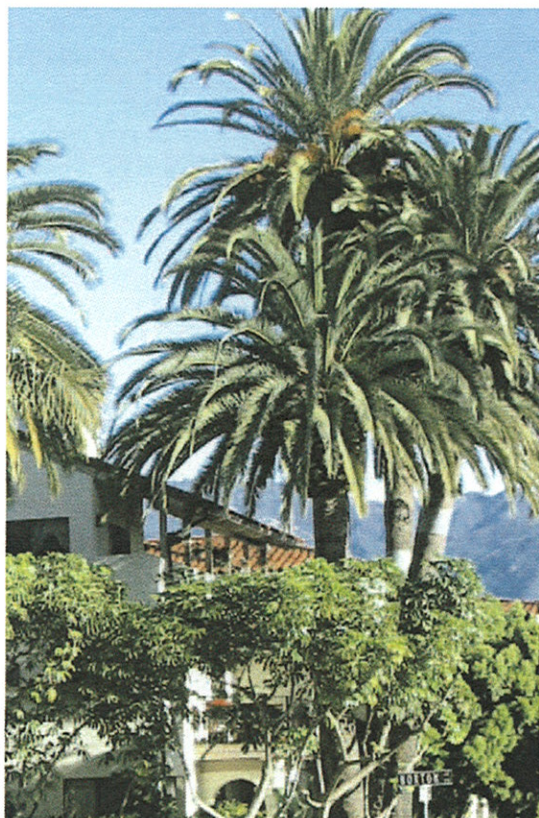
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73
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3. Characteristics of Landscape Design specific to Residential Zones

Residential Zones at Coconut Point should reflect the more intimate and personal nature of home and dwelling in their landscape as in other design aspects. Rows of trees may still define streets and avenues but will not need to respond to large, multistory commercial building elements. Planting at residential amenities such as bike paths and pedestrian walkways should also reflect a smaller scale design. In general, planting at building edges will be of a smaller scale. Individual residences may incorporate landscape elements appropriate in scale to the corresponding structure, and may also consider the effects of potted plants, low planter walls with groups of various height planting, and groundcover types and locations.



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PART 4 SIGNAGE

I. GENERAL

Signage provides project identity, assists in way finding, marks neighborhoods, and locates businesses. Identity, way finding and residential signage at Coconut Point shall incorporate a common theme in keeping with the Mediterranean Revival style of the project. Particular, cohesive designs have been established for project identity signage. In addition, a program of way finding sign types and environmental graphics will be incorporated into the project. Signage criteria for the individual storefronts of commercial tenants allow more flexibility for expression through business logos and variation of sign type and construction.

These guidelines are intended to provide an appropriate level of sign control without limiting creative sign design by tenants and businesses. All signage must meet these criteria and receive approval by the DRA. In addition, all signs at Coconut Point must conform to local sign ordinances and will not exceed any local size restrictions for signs.

75

PART 4
SIGNAGE

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II. GENERAL CHARACTERISTICS OF SIGNAGE AT COCONUT POINT

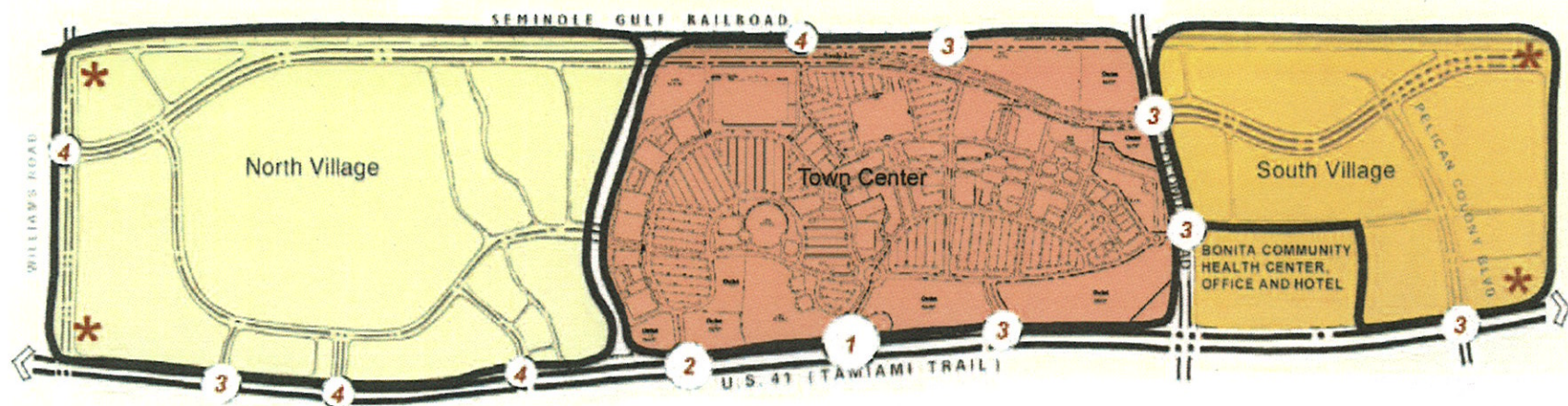
1. Project Identity Signage

- Project Identity Towers - Project Identity Sign Type 1
- Large Scale Monument Signs - Project Identity Sign Type 2
- Medium Scale Monument Signs - Project Identity Sign Type 3
- Entry Sign Walls - Project Identity Sign Type 4
- Project Identity Sign (shown on keyplan as *)

76

PART 4 SIGNAGE

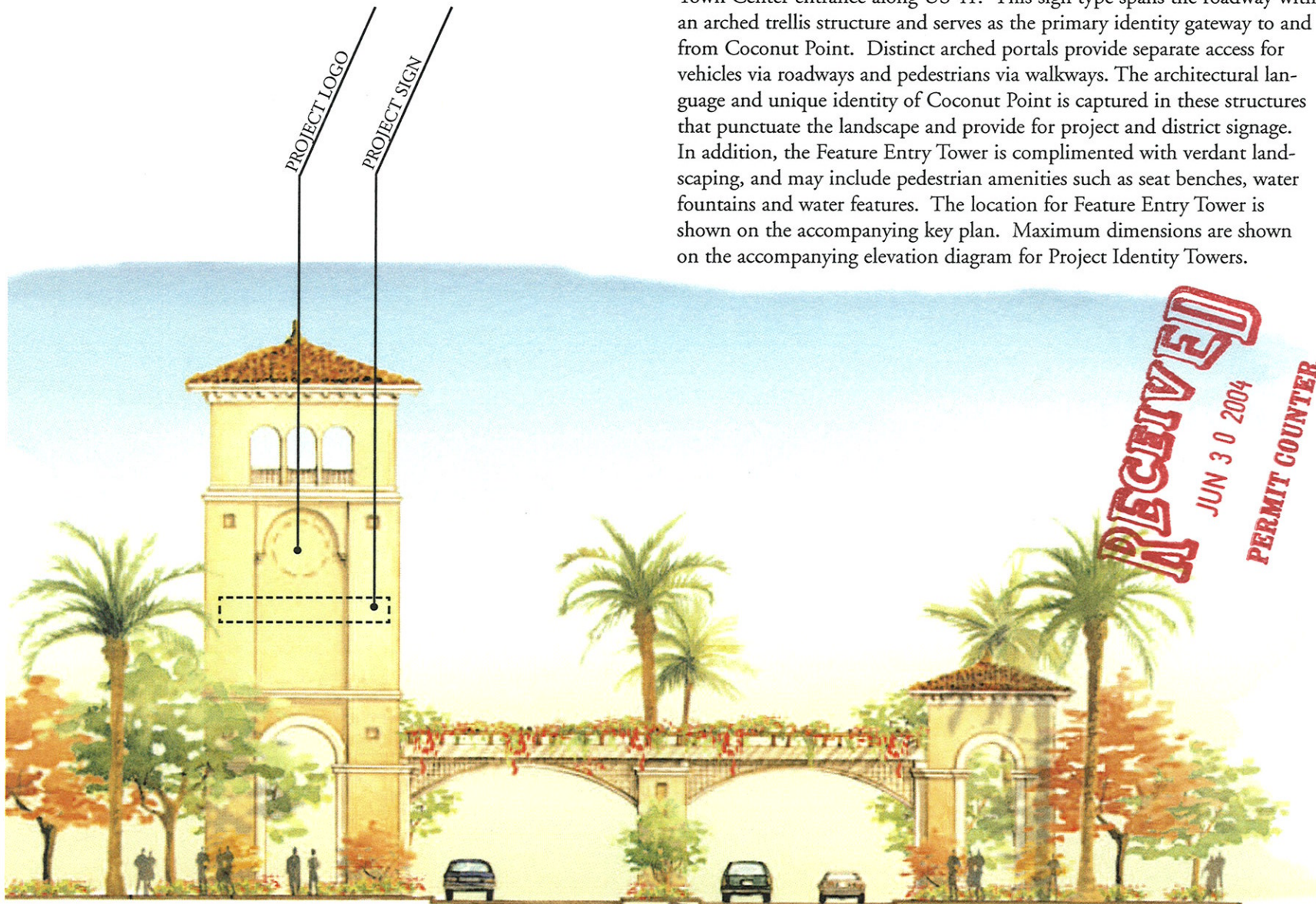
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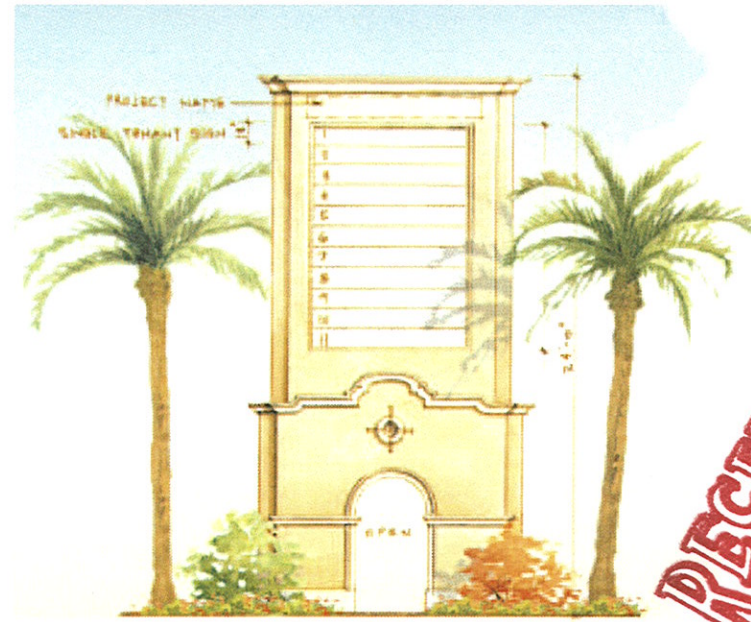
A. Feature Entry Tower - Entry Sign Type 1

A major architectural statement, the Feature Entry Tower is located at the Town Center entrance along US 41. This sign type spans the roadway with an arched trellis structure and serves as the primary identity gateway to and from Coconut Point. Distinct arched portals provide separate access for vehicles via roadways and pedestrians via walkways. The architectural language and unique identity of Coconut Point is captured in these structures that punctuate the landscape and provide for project and district signage. In addition, the Feature Entry Tower is complimented with verdant landscaping, and may include pedestrian amenities such as seat benches, water fountains and water features. The location for Feature Entry Tower is shown on the accompanying key plan. Maximum dimensions are shown on the accompanying elevation diagram for Project Identity Towers.



B. Large Scale Monument Signs - Project Identity Sign Type 2

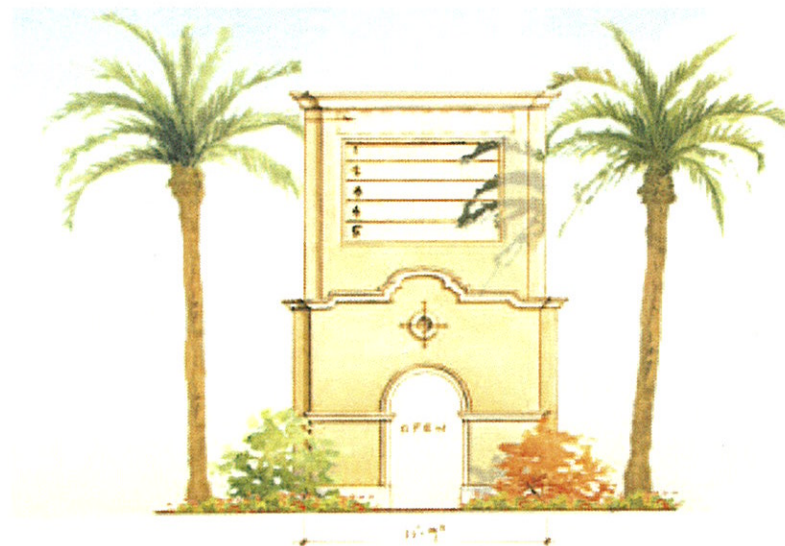
Large Scale Monument signs allow for streetside announcement of multiple large-scale commercial Tenants at Coconut Point. Locations for Large Scale Monument signs are shown on the accompanying key plan. Maximum dimensions for Large Scale Monument signs are shown on the accompanying elevation diagram.



Large Scale Monument Signs - Project Identity Sign Type 2

C. Medium Scale Monument Signs - Project Identity Sign Type 3

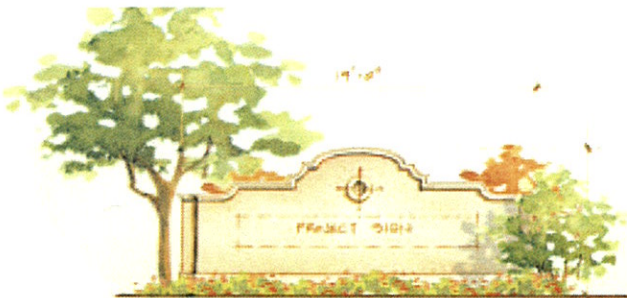
Similar to Large Scale Monument Signs but on a smaller scale, Medium Scale Monument Signs may be provided at the main entries into each district. These will be well landscaped with architectural feature walls providing opportunity for multiple message signage. These signs reflect the district identity signage as well as community identity and may incorporate user names. Locations for Medium Scale Monument are shown on the accompanying key plan.



Medium Scale Monument Signs - Project Identity Sign Type 3

D. Entry Sign Walls - Entry Sign Type 4

Entry Sign Walls are smaller statements at secondary entries into the districts. They will be smaller in scale and detail than other project entry signs, with landscaping and architectural articulation. Locations for Entry Sign Walls are shown on the accompanying key plan. Maximum dimensions are shown on the accompanying elevation diagram for Entry Sign Walls.



Entry Sign Walls - Entry Sign Type 4

E. Project Identity Signs (shown on key plan as *)

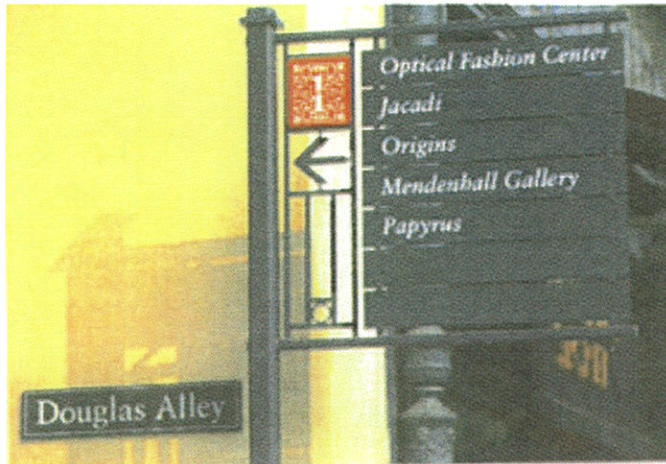
These signs mark the four corners of the Coconut Point boundaries and are similar in design to Entry Sign Type 1. Between 18 to 24 feet high, they reinforce the identity of the overall project. Their design shall be in keeping with the Coconut Point Mediterranean Revival aesthetic.

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2. Way finding Sign Types

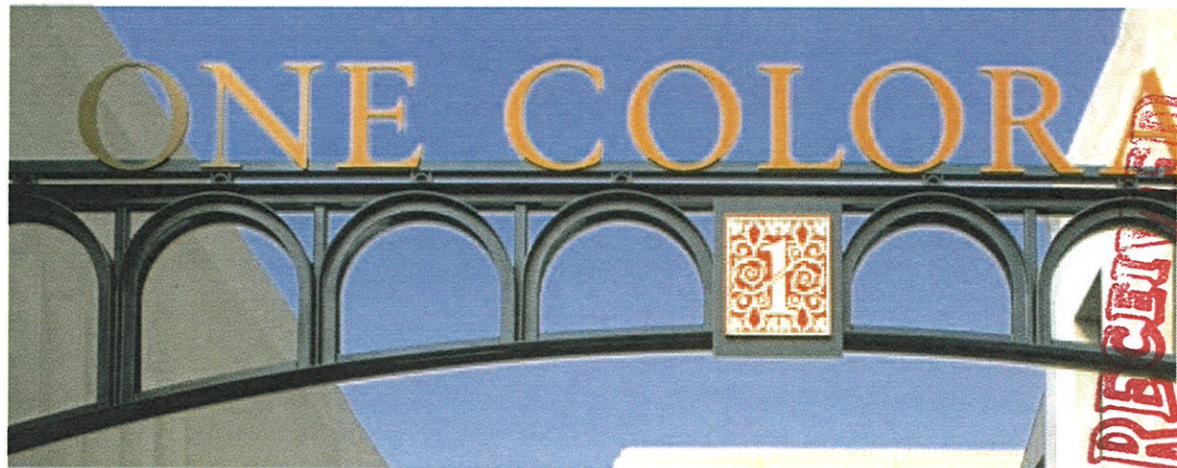
Primarily located in Commercial Areas, Way finding directories will be provided at key decision making locations throughout the project. These will be suitably sized and located to provide easily readable information for all visitors, including pedestrians, bicyclists, and drivers of motor vehicles. All signs within a district will have a consistent design theme and will be suitably sized and placed. In general, signs will provide directions to major destinations or to the larger tenants within Coconut Point.



A. Pedestrian signs are generally similar in style to monument signs on a smaller scale and provide information on tenant locations within the project, frequently including a project key plan.

B. Vehicle signs may be either pole mounted or similar in style to monument signs and may include district names and directional arrows and other project information. Care should be taken to provide adequate clearances above grade for any projecting elements yet maintain visibility and legibility when designing pole mounted way finding signs.

C. Bicycle signs are generally centrally mounted on poles at the eye level of cyclists. Information is provided on orientation, primary destinations and districts.



JUNE 14, 2004

III. CHARACTERISTICS OF SIGNAGE SPECIFIC TO COMMERCIAL RETAIL ZONES

A specific set of design criteria has been established governing the individual buildings and storefronts of commercial tenants at Coconut Point. The types and construction of building signage are outlined on the following pages.

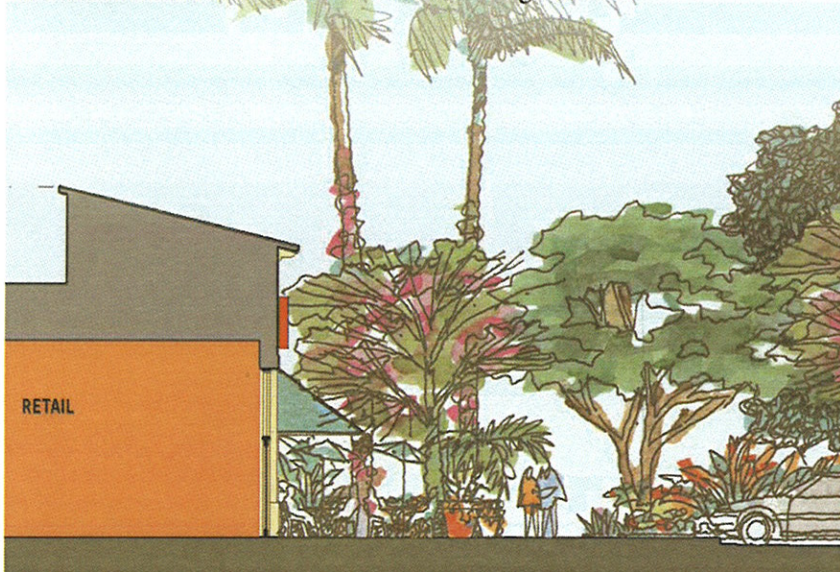
1. Commercial Building Sign Types and Criteria

All tenant signs are to comply with Lee County and Estero signage codes. However, signs on any one sign face of a tenant building shall not exceed 300 SF. This area is to be determined by the sum of all reasonable rectangles that enclose the sign parts.

Building face is defined as the area of wall fronting on leased or owned space of the tenant or owner measured from the roof eave or top of parapet to finished floor.

A. Wall Mounted Fascia Signs.

- Wall mounted signs and fascia signs provide key tenant identification above storefronts and on building facades.



Section at Wall Mounted Sign

- Wall mounted signs and fascia signs of construction types outlined in item 2 of this section are permitted.

B. Awning Signs.

- Awning signage is permitted at awning valances.

C. Projecting Signs

- The use of Projecting signs are encouraged as they provide visual excitement and accentuate the pedestrian character of certain districts at Coconut Point.
- Projecting signs located at a building corner may use the larger of the two building faces adjoining that corner for determination of sign size.
- Minimum clear distance from the bottom of a projecting sign to a pedestrian walking or vehicular driving surface is 9'-6".

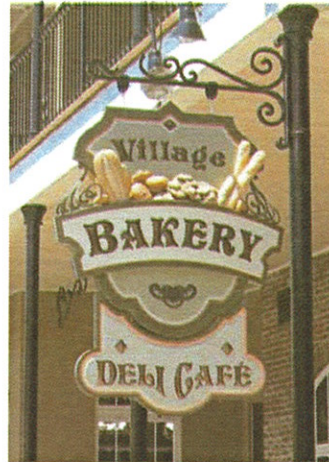


Section at Projecting Sign

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81

PART 4

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Elevation at Wall Mounted and Awning Signs

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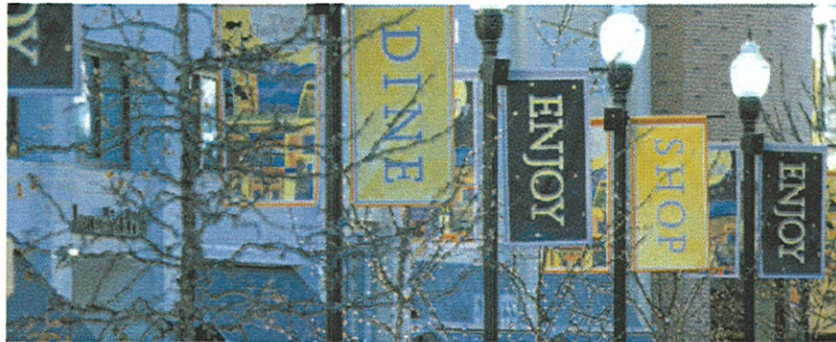
Elevation at Projecting Sign

D. Banners

- Banners announce community events and animate streetscapes and pedestrian areas by adding color, texture and rhythm.
- Seasonal theme banners are permitted in commercial zones.
- Banners may not advertise discounts or other sale-type events.
- Banners must be fastened to: arms attached to poles erected for that purpose; lamp posts; or wall brackets on buildings. Arms and brackets must be permanently fastened and integral to the design of the post or façade they are attached to.

82

PART 4 SIGNAGE



2. Construction of Commercial Building Sign Types and Criteria

The following types of sign construction are permitted for Commercial Retail Signs at Coconut Point. For all sign construction types, all transformers, wiring, ballasts, connectors and labels must be concealed from view.

- Internally illuminated, reverse channel letter signs:
Individual channel letters are mounted off the wall either by mounting clips or pins with internal illumination projecting out and around the letter backs.



- Double illuminated channel letter signs:
Individual channel letters are mounted off the wall either by mounting clips or pins with internal illumination projecting out and around the letter backs, as well as through the letter faces.



- Internally illuminated channel letter signs:
Individual channel letters are surface mounted to the wall usually with clip angles with internal illumination projecting through translucent letter faces but not through opaque letter sides or backs.



- Edge illuminated channel letter signs:
Individual channel letters are surface mounted to the wall usually with clip angles with internal illumination projecting through translucent letter edges but not through opaque letter faces or backs.



- Dimensional cut or cast letter signs:
Dimensional cut or cast letters are mounted off the wall either by mounting clips or pins, with concealed illumination projecting out and around the letters.



- Sign cut from an opaque panel:
Individual letters are cut from an opaque panel, with concealed illumination projecting through the letters and possibly out and around the panel as well.



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PART 5 LIGHTING

I. INTRODUCTION

Lighting sets the tone for all of Coconut Point and serves to enhance the nocturnal atmosphere by creating delightful spaces with soft pools of light and sparkling reflections. Proper lighting not only creates enchanting, inviting spaces and experiences but also functions as an integral element of way finding systems by creating a sense of safety and well being. Outdoor lighting techniques at Coconut Point should accent architecture, entries, hardscape and plant features in the landscape. Just as the architectural design and landscape architecture will reflect a definite style and quality, the outdoor lighting effects will likewise express the distinct Mediterranean Revival character of this community. The outdoor lighting system for the project shall be well designed and coordinated. The thoughtful application of lighting techniques at Coconut Point will add value to property from a safety and security standpoint as well as provide beautiful, luminescent visual and functional effects.

83

PART 5
LIGHTING

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JUNE 14, 2004

II. GENERAL CHARACTERISTICS OF LIGHTING AT COCONUT POINT

Designers should acknowledge and adhere to the following general lighting principles affecting all outdoor lighting at Coconut Point:

- Accent lighting of building facades, signage and entry drives is encouraged. Accent lighting will be indirect in character.
- Site and accent lighting shall be coordinated with the landscape design.
- Building mounted floodlights will not be permitted except for internally protected service court areas or emergency lighting.
- No lighting design or fixture shall be directed at the public right of way that would be a nuisance to abutting properties.

1. Site Lighting - Overall

Site lighting at Coconut Point sets the ambience for nighttime outdoor activities, accentuates paths and roadways, and creates overall safe conditions. The following items are important components to successful site lighting at Coconut Point:

A. Parking Lots

- All parking lots shall be lighted utilizing a shoebox type fixture on a high pole. Fixture shall be metal halide.
- Parking lot fixtures shall be spaced so as to provide light evenly distributed throughout the lot.
- Parking lot light fixture design shall be consistent within each district.

B. Pathways and Pedestrian Lighting

- A street and pedestrian lighting program has been established for all public rights-of-way as an integral part of the Coconut Point streetscape.
- Pedestrian pole lights are to be furnished, installed, maintained and powered by an association and individual property owners.
- Pedestrian lighting shall be mounted at a height of 12 feet to the bottom of the fixture. Fixtures may be mounted on either freestanding poles or brackets on building facades.
- Appropriate lighting shall be provided to ensure that pathways are safe at night.

- Encouraged pathway light fixture types include: step lights, bollard lights, garden lights, and concealed lights at rails.



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2. Landscape Lighting

Landscape lighting plays a critical role in enhancing Coconut Point's lush greenery. The following lighting techniques are encouraged at landscaped areas, including plant groupings and special landscape features: bullet lighting on trees, canopy down lights, garden lights, decorative lanterns at tree canopies, concealed up lights, and ambient landscape lighting.

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 PART 5 LIGHTING

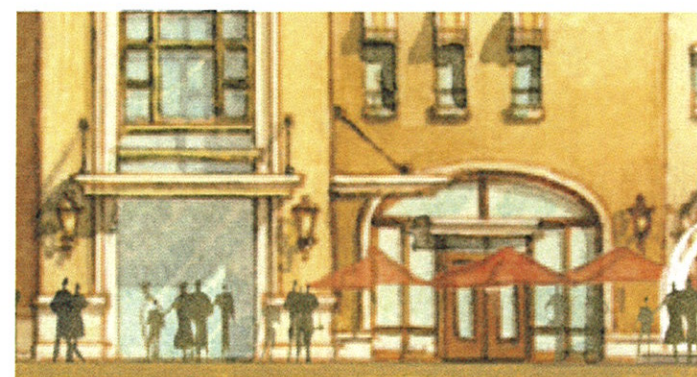
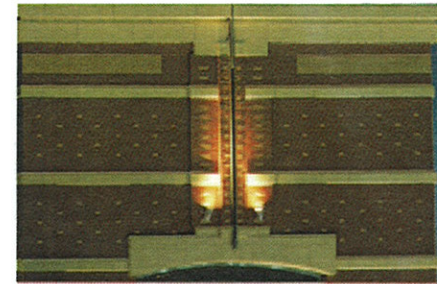


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III. CHARACTERISTICS OF COMMERCIAL RETAIL LIGHTING AT COCONUT POINT

A studied application of lighting in commercial retail areas sets a tone for all of Coconut Point and serves to enliven entire districts and zones. The following items are important components to successful commercial retail lighting at Coconut Point:

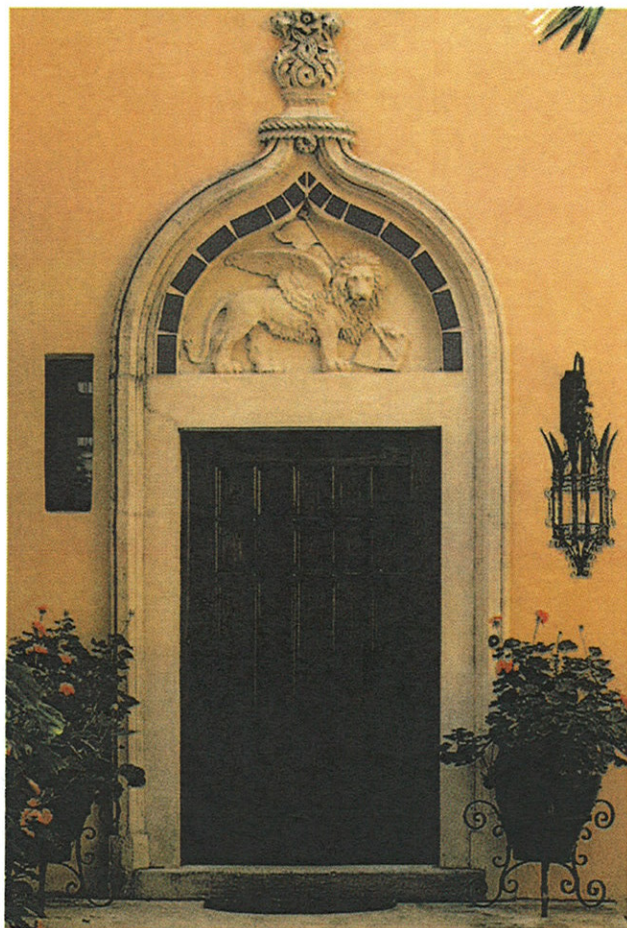
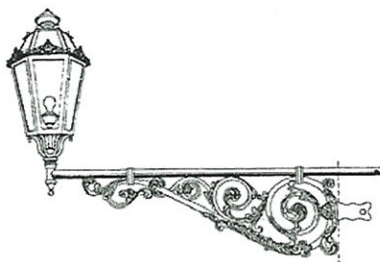
- Building lighting in the form of sconces, up lights, cove lights and ornamental fixtures can define and enhance building massing and color.
- A cohesive design language reflecting the Mediterranean Revival architectural identity of Coconut Point shall be reflected in the design of all visible building lighting elements.
- Concealed accent lights at building façades emphasize accent features and focal points such as towers and portals.
- Freestanding pole lights adjacent to building exteriors further reinforce the project design intent.
- Encouraged materials for visible building light fixtures include: wrought iron and glass, painted metal and aged metals.



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IV. CHARACTERISTICS OF RESIDENTIAL LIGHTING AT COCONUT POINT

Residential lighting creates safe neighborhoods and homes and can emphasize architectural features. DRA approval is not required for exterior residential lighting if lighting is installed in accordance with the following guidelines:

- Exterior lights shall be conservative in design and as small in size as is reasonable practical.
- Exterior lighting shall be directed toward the house and be of low wattage to minimize glare sources to neighbors and adjacent structures.
- Lighting for walkways generally must be directed toward the ground. Lighting fixtures shall be dark colored so as to be less obtrusive.
- Low voltage (12 volts) lighting is preferable to conventional house-voltage systems because of its safety advantages.
- Colored lights are prohibited, except as temporary holiday decor.