

NOTES:

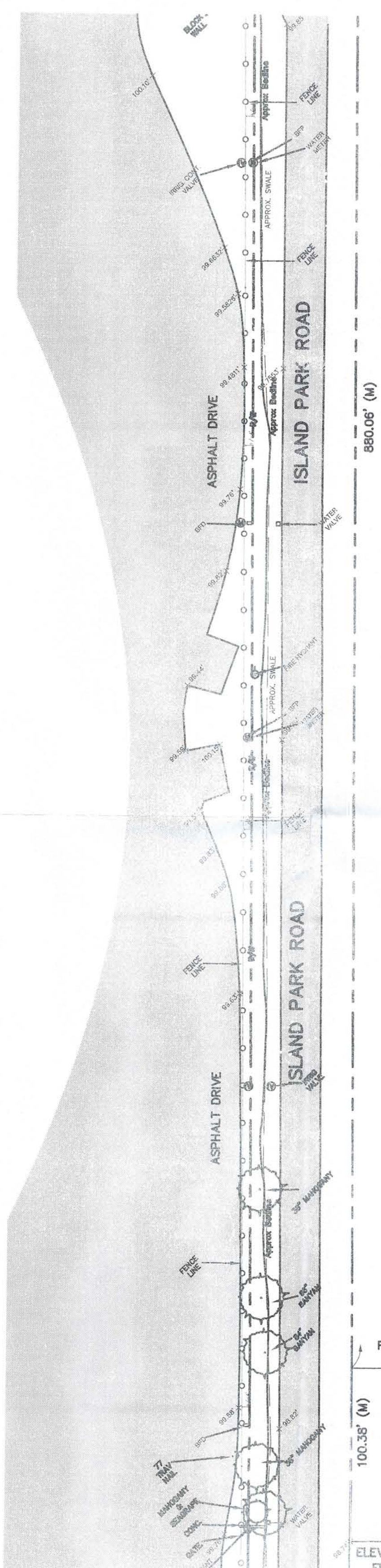
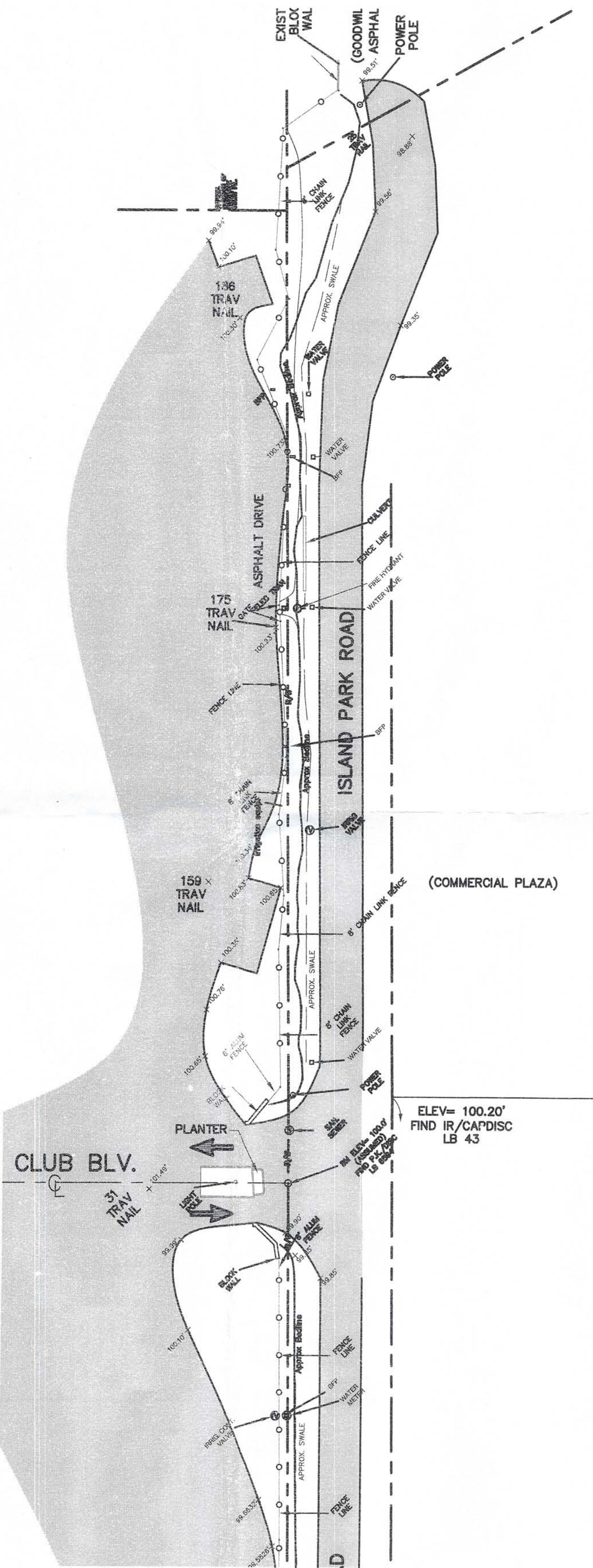
1. THIS SKETCH DOES NOT REFLECT OR DETERMINE OWNERSHIP.
2. THE FEMA FLOOD ZONE INFORMATION INDICATED HEREON IS BASED ON MAPS SUPPLIED BY THE FEDERAL GOVERNMENT.
3. BEARINGS ARE BASED ON PLAT OR DEED.
4. ELEVATIONS AS SHOWN ARE BASED ON N.A.V.D. 1988 DATUM UNLESS OTHERWISE STATED.
5. ENCROACHMENTS ARE BASED ON PLAT OR DEED.
6. THERE MAY BE OTHER EASEMENTS NOT SHOWN HEREON RECORDED IN THE PUBLIC RECORDS OF THE GOVERNING COUNTY.
7. NO DETERMINATION OF HAZARDOUS WASTE MATERIALS HAVE BEEN MADE BY THIS FIRM.
8. LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES NOT SHOWN UNLESS OTHERWISE NOTED.
9. SIGNOR LIMITS LIABILITY ONLY UP TO THE COST OF SURVEY.
10. THIS SURVEY IS PROTECTED BY COPYRIGHT AND ALL RIGHTS ARE RESERVED.
11. SURVEY WAS BASED ON TITLE CERTIFICATION PROVIDED BY CLIENT AND EXISTING MONUMENTATION.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
13. THE FEMA FLOOD ZONE INFORMATION INDICATED HEREON IS BASED ON MAPS SUPPLIED BY THE FEDERAL GOVERNMENT.

LEGEND:

- (A) - ARC LENGTH
- A.C. - AIR CONDITIONER
- (C) - CABLE TV
- (C) - CALCULATED
- C.B. - CATCH BASIN
- CB - CHORD BEARING
- C.M. - CHORD DISTANCE
- (D) - DEED
- B.O.B. - BASIS OF BEARINGS
- D.E. - DRAINAGE EASEMENT
- EL. - ELEVATION
- E.O.P. - EDGE OF PAVEMENT
- F.H. - FIRE HYDRANT
- FND. - FOUND
- G.V. - GATE VALVE
- I.R. - IRON ROD
- G.W. - GUY WIRE
- (M) - MEASURED
- N&T - NAIL & TAB
- N.A.V.D. - NORTH AMERICAN VERTICAL DATUM (1988)
- N.T.S. - NOT TO SCALE
- (NR) - NOT RADIAL
- G.R. - OFFICIAL RECORD
- (P) - PLAT
- P.B. - PLAT BOOK
- P.C. - POINT OF CURVATURE
- P.C.C. - POINT OF COMPOUND CURVATURE
- P.C.P. - PERMANENT CONTROL POINT
- P.I. - POINT OF INTERSECT
- P.I. - POINT OF INTERSECT
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- P.P. - POWER POLE
- P.R.C. - POINT OF REVERSE CURVATURE
- P.R.M. - PERMANENT REFERENCE MONUMENT
- P.T. - POINT OF TANGENCY
- P.U.E. - PUBLIC UTILITY EASEMENT
- R. - RADIUS
- (R) - RADIAL
- RNG. - RANGE
- R/W. - RIGHT OF WAY
- SEC. - SECTION
- SET I.R. - SET 1/2" IRON ROD LB1478 LB2239
- S.W. - SIDEWALK
- T.B. - TELEPHONE BOX
- TWP. - TOWNSHIP
- U.P. - UTILITY PEDESTAL
- W.M. - WATER METER
- Δ - DELTA ANGLE
- - FIRE HYDRANT
- - TEMPORARY BENCHMARK
- - CENTERLINE
- - WIRE FENCE
- - OVERHEAD WIRE
- - CONCRETE PAD
- - EXISTING ELEVATION
- (X) - LOT NUMBER
- MHW - MEAN HIGH WATER
- MLW - MEAN LOW WATER
- SP - SEPTIC TANK
- OE - OVERHEAD ELECTRIC

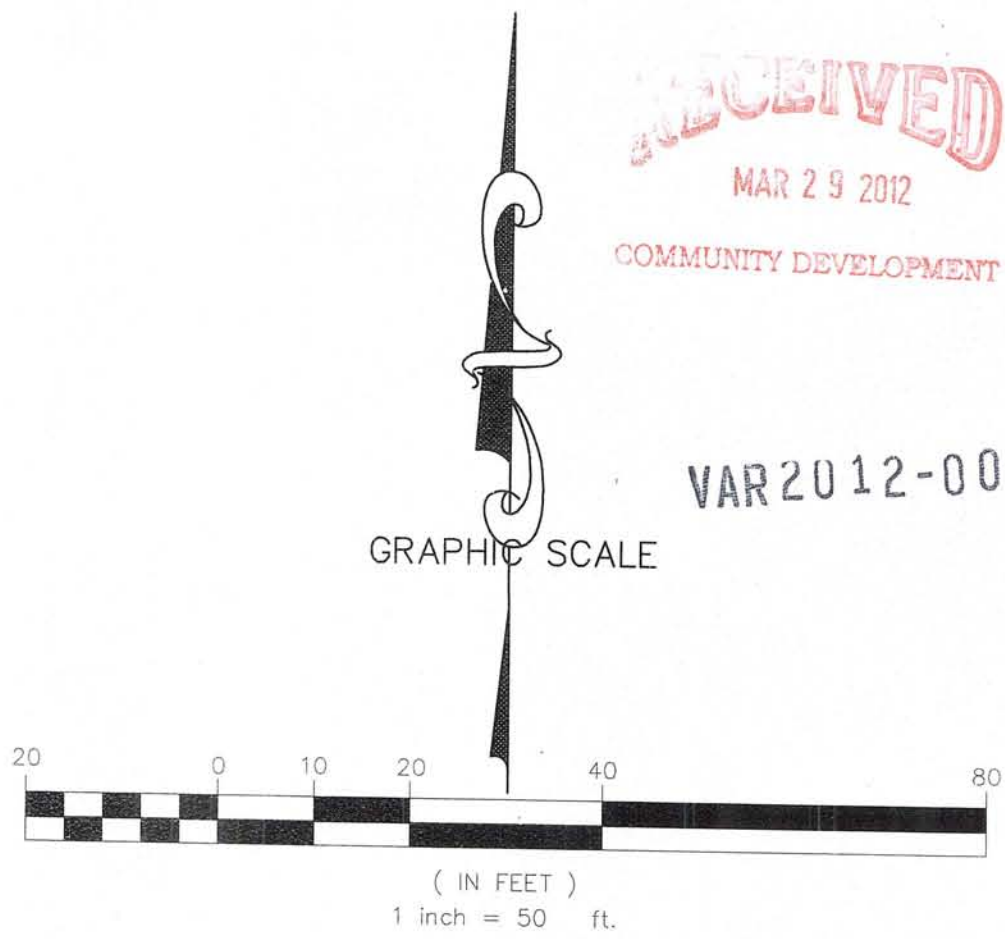
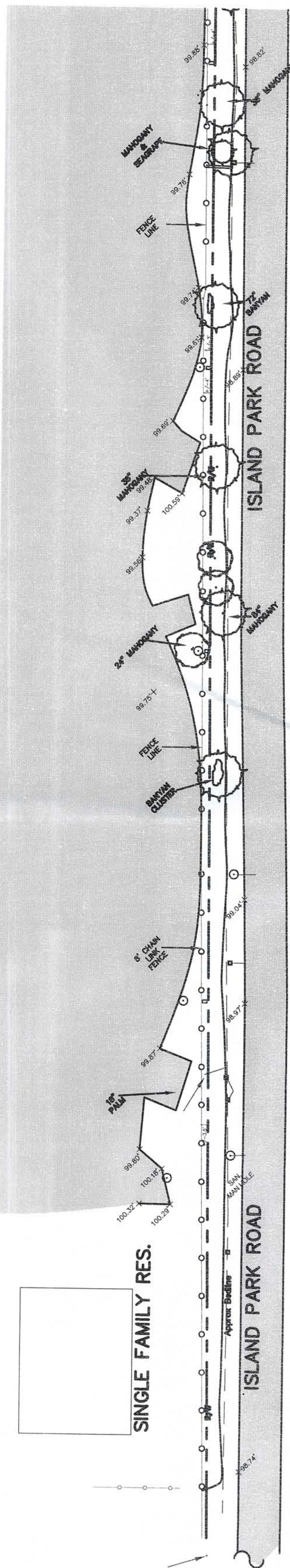
COMMUNITY / MAP NUMBER: 125124 / 1207160576F DATE OF MAP: 08-28-08 FLOOD ZONE: AE ELEVATION: 10

CERTIFIED TO:
FOREST PROPERTY OWNERS ASSOCIATION



FIND 3"x3" C.M.
ELEV= 98.74'
FIND 5/8"

880.06' (M)



TREE LEGEND

- EXISTING PALM
- EXISTING TREES
- EXISTING LIVE OAKS
- EXISTING SHRUBS
- EXISTING BANYAN

SITE DEVELOPMENT SURVEY

1-13-12

CREW CHIEF C. CORDISCO

DRAWN BY H. CRESPO

SCALE 1" = 50'

LIS JOB NO 20057

SHEET: 1 OF 1

DATE: 2/23/12

LIS Land Surveying, LLC
d.b.a. S & H Land Survey Co.

21430 Palm Beach Blvd.
Ava, FL 33920
239-693-9244 239-693-9828 (Fax)
LB1057

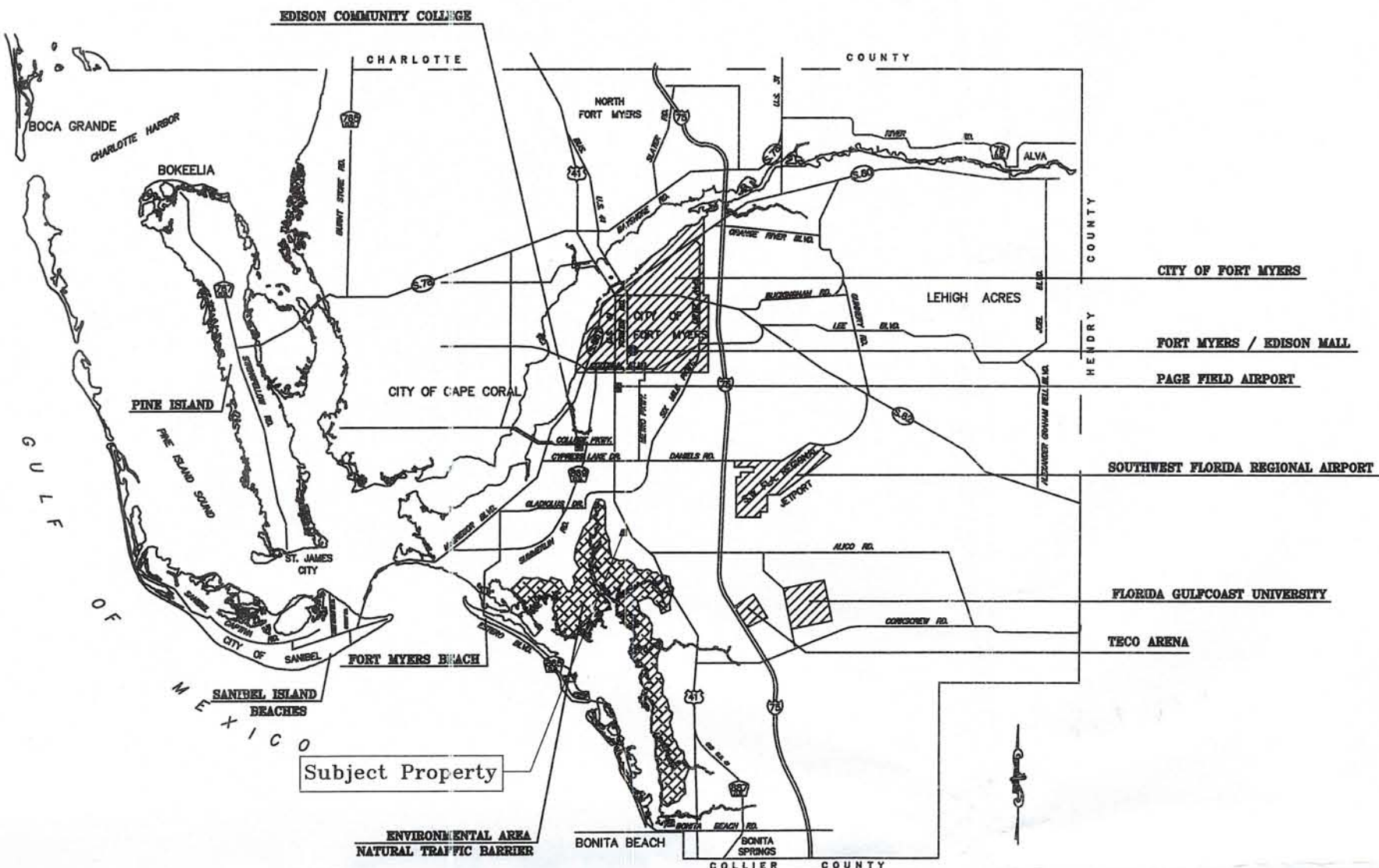
APPROVED
R.L. SCHUMANN, RLS
REGISTERED LAND SURVEYOR NO. 2239
STATE OF FLORIDA
VALID ONLY WITH EMBOSSED SEAL

THE FOREST PROPERTY OWNERS ASSOCIATION

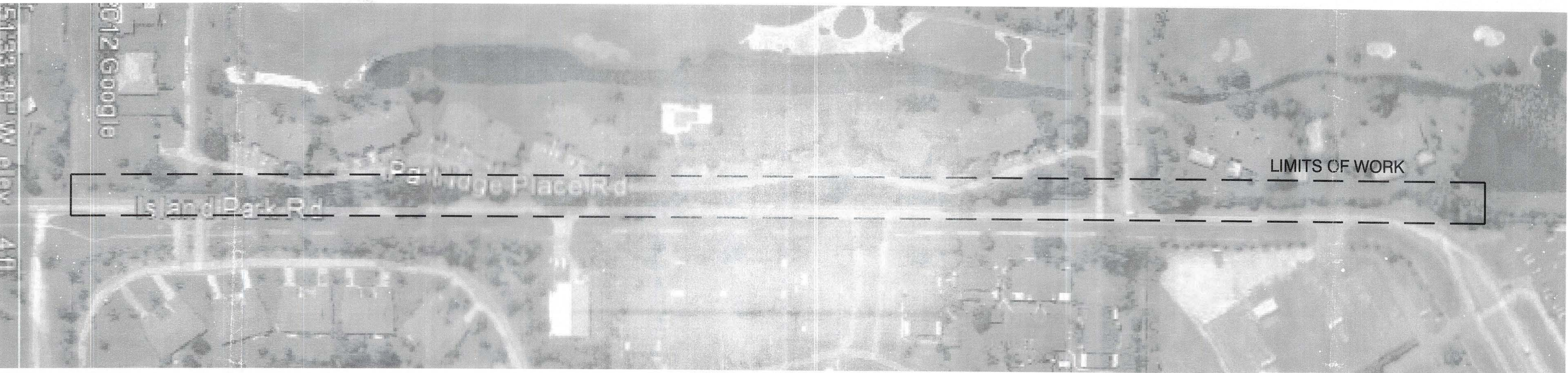
ISLAND PARK ROAD FENCE/WALL VARIANCE APPLICATION AND LANDSCAPE IMPROVEMENT PLAN

PREPARED FOR:
THE FOREST PROPERTY OWNERS ASSOCIATION, INC.

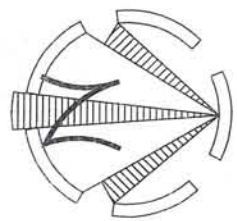
5990 Forest Boulevard, Fort
Myers, Florida 33908



LOCATION MAP



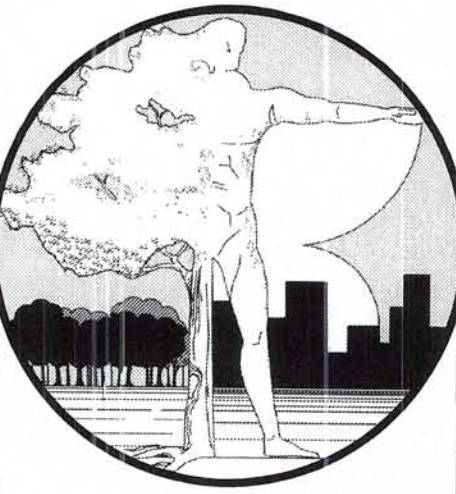
AERIAL PHOTO



SCALE 1" = 100'

SHEET INDEX

COVER 1	COVER SPECIFIC PURPOSE SURVEY
L1	EXISTING CONDITIONS PLAN
L2	EXISTING CONDITIONS PLAN
L3 -L4	FENCE REPLACEMENT AND LANDSCAPE DEMOLITION
L5-L6	LANDSCAPE PLAN
L-7	LANDSCAPE SECTIONS, DETAILS AND NOTES



DMJA

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AND PLANNERS

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2705 Tamiami Trail Unit 415
Punta Gorda, Florida 33950
PHONE: (941) 639-2450
FAX (941) 639-2438
L.A. LICENSE: LC 0000063

PROJECT INFORMATION:
THE FOREST PROPERTY OWNERS ASSOCIATION
ISLAND PARK ROAD WALL VARIANCE
LOCATED ALONG THE ISLAND PARK ROAD FRONTAGE

PREPARED FOR:
THE FOREST PROPERTY OWNERS ASSOCIATION, INC.
5990 Forest Boulevard, Fort
Myers, Florida 33908

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
RLA NO. 840 DATE:
STATE OF FLORIDA

PROJECT NO. 211110
PROJECT MGR: Greg Diserio, RLA
FILE NAME: Forest Wall Variance
DESIGNER: Greg Diserio, RLA
CAD TECH: Greg Diserio, RLA
CHECKED BY: Greg Diserio, RLA
ISSUED FOR:
VARIANCE APPLICATION

ISSUED DATE:
REVISIONS: MARCH 28, 2012

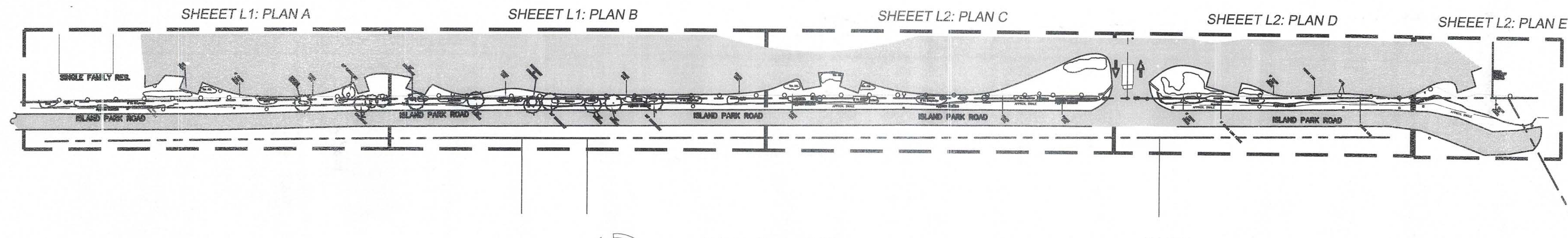
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COVER SHEET

SHEET NUMBER:
COVER

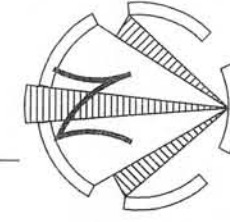
RECEIVED
MAR 29 2012

COMMUNITY DEVELOPMENT

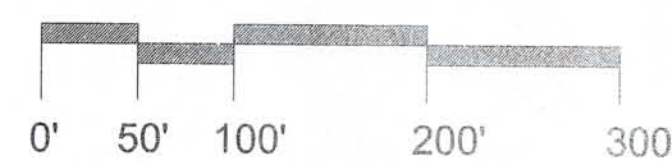
VAR 2012-00007



KEY MAP- EXISTING CONDITIONS

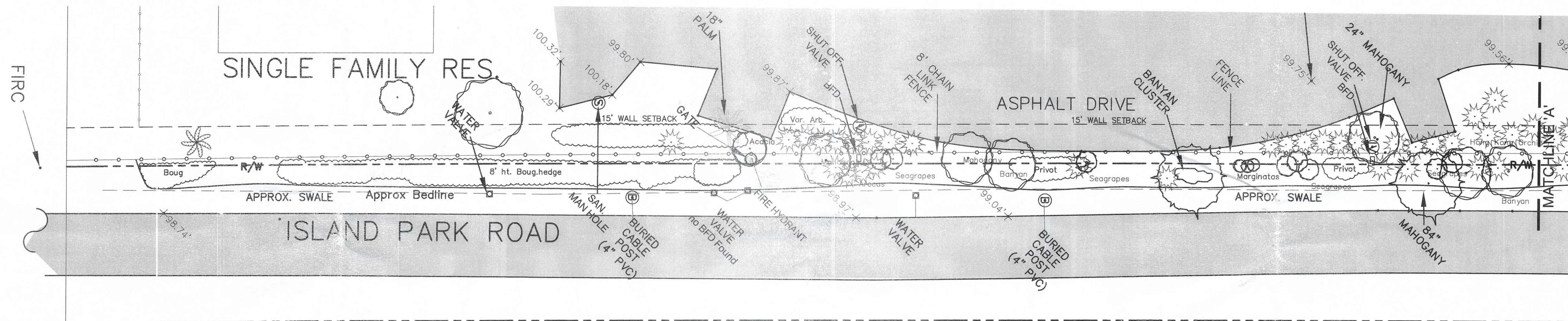


SCALE 1" = 100'

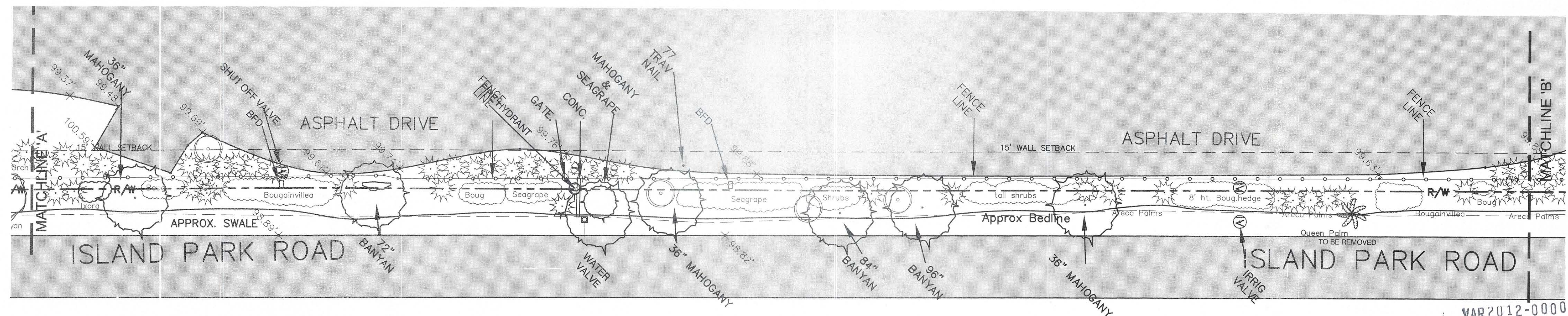


NOTES:

1. PLAN PREPARED FROM SPECIFIC PURPOSE SURVEY PREPARED FOR VARIANCE APPLICATION.
2. TREES AND SHRUBS WERE BASED ON FIELD MEASUREMENTS AND NOT FROM THE SPECIFIC PURPOSE SURVEY. (MARCH 2012)
3. CONTRACTOR TO FIELD VERIFY ALL UTILITY AND TREE PLACEMENTS DURING FIELD LAYOUT OF PROPOSED REPLACEMENT FENCE/WALL.
4. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT EXISTING VEGETATION SCHEDULED TO REMAIN.
5. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN LEE COUNTY RIGHT OF WAYS.
6. MODIFICATIONS TO THE EXISTING DRAINAGE PATTERNS ARE NOT PROPOSED. EXISTING DRAINAGE PATTERNS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.

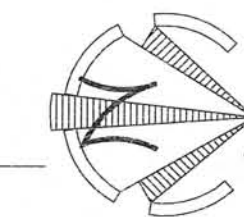


PLAN -A

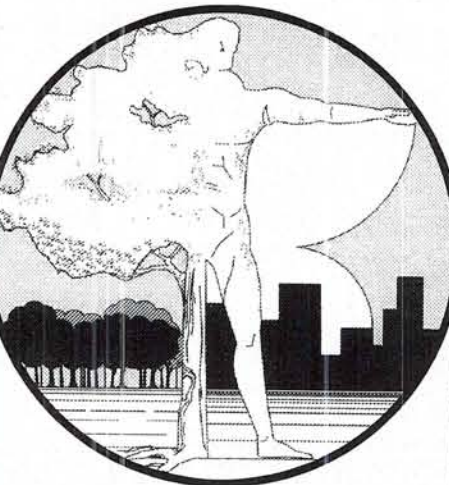
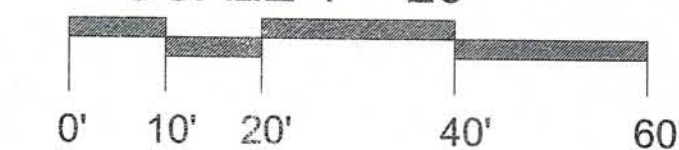


PLAN -B

EXISTING CONDITIONS



SCALE 1" = 20'



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Punta Gorda, Florida 33950
PHONE: (941) 639-2450
FAX: (941) 639-2438
L.A. LICENSE: LC 000063

PROJECT INFORMATION:

**THE FOREST
PROPERTY
OWNERS
ASSOCIATION**
ISLAND PARK ROAD
WALL VARIANCE
LOCATED ALONG THE
ISLAND PARK ROAD
FRONTAGE

PREPARED FOR:

**THE FOREST
PROPERTY OWNERS
ASSOCIATION, INC.**
5990 Forest Boulevard, Fort
Myers, Florida 33908

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
RLA NO. 840 DATE:
STATE OF FLORIDA

PROJECT NO. 211110
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FILE NAME: Forest Wall Variance
DESIGNER: Greg Diserio, RLA
CAD TECH: Greg Diserio, RLA
CHECKED BY: Greg Diserio, RLA
ISSUED FOR:

VARIANCE APPLICATION

ISSUED DATE:
REVISIONS: MARCH 28, 2012

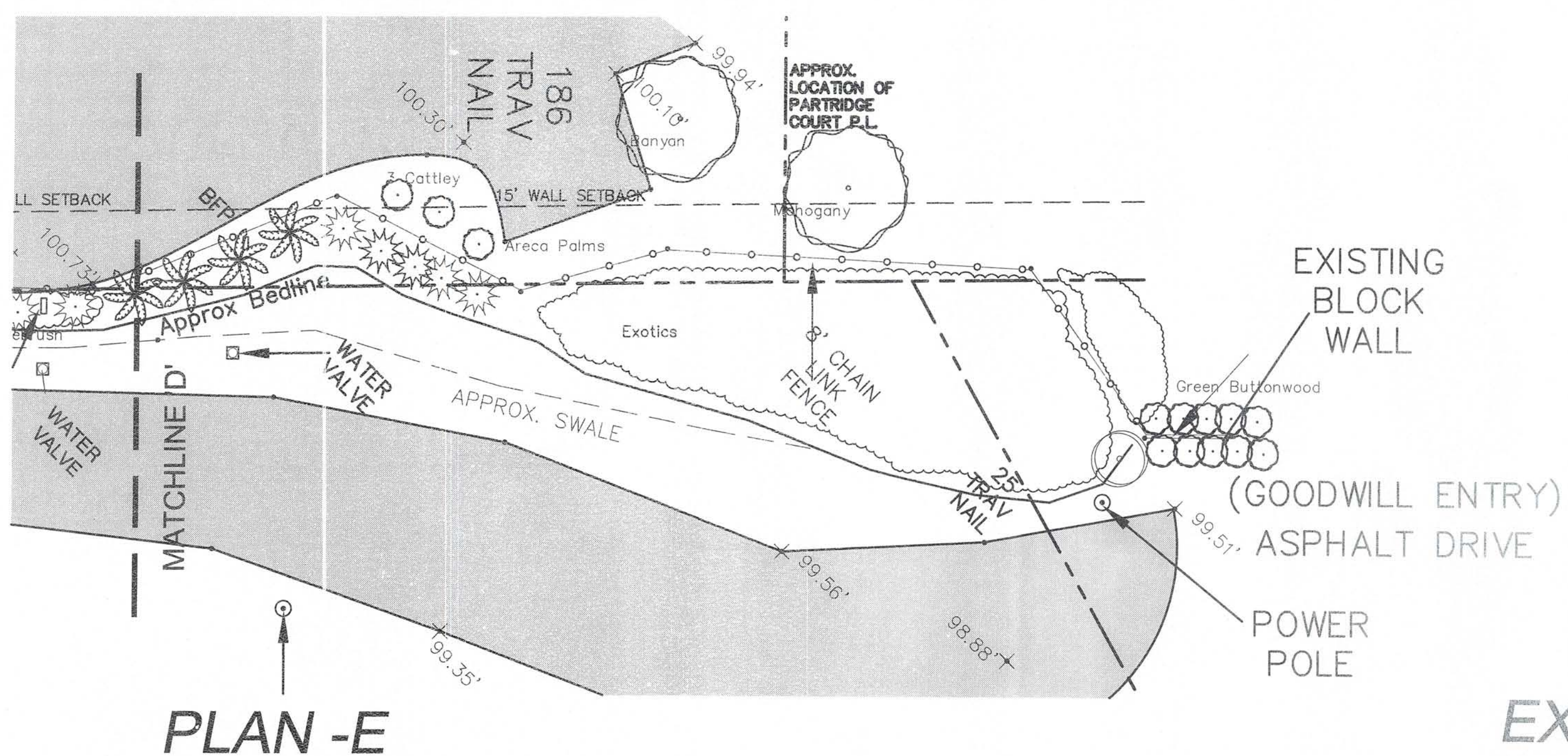
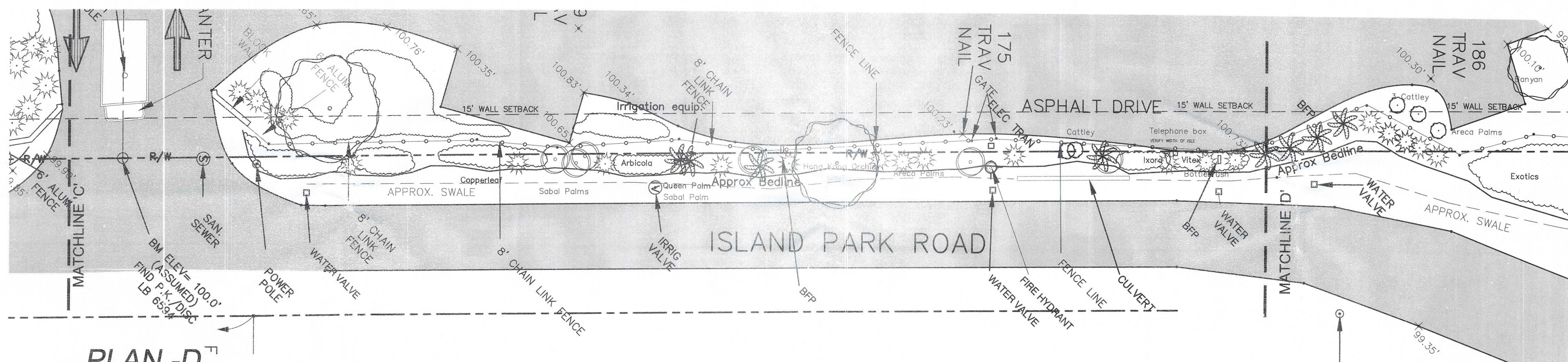
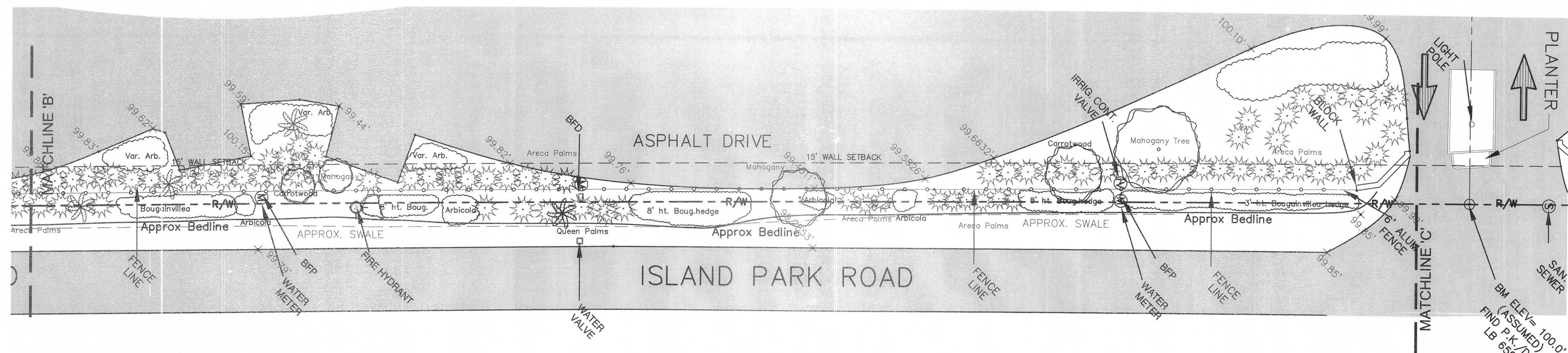
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CONDITIONS PLAN**

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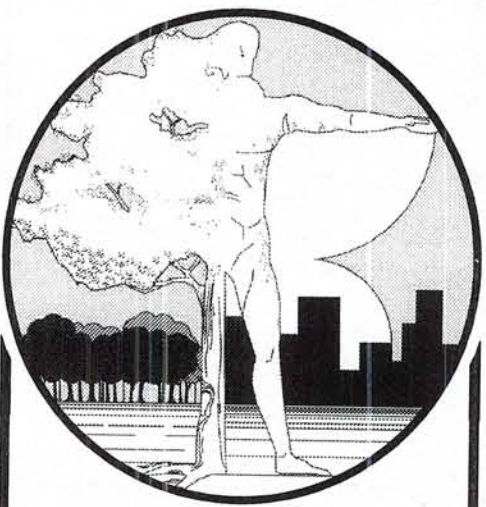
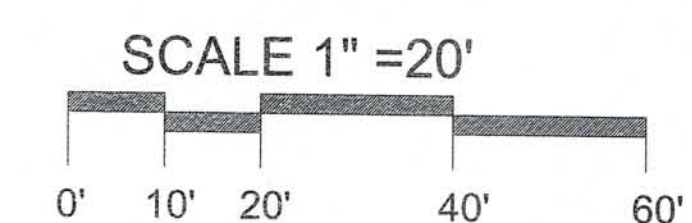
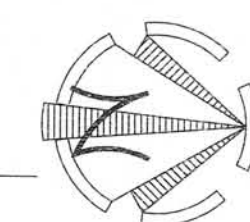
L - 1

VAR2012-00007

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EXISTING CONDITIONS



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L.A. LICENSE: LC C000063

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WALL VARIANCE
LOCATED ALONG THE
ISLAND PARK ROAD
FRONTAGE

PREPARED FOR:

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5990 Forest Boulevard, Fort
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AD TECH:	Greg Diserio, RLA
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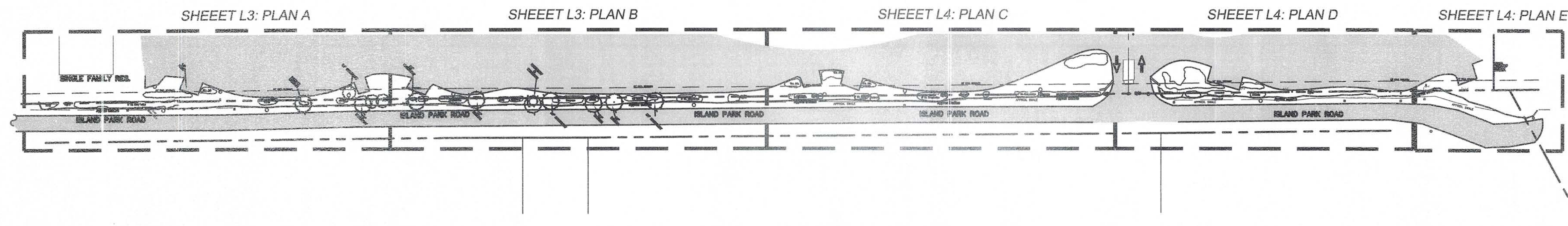
ISSUED DATE: MARCH 28, 2012

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COMMUNITY DEVELOPMENT

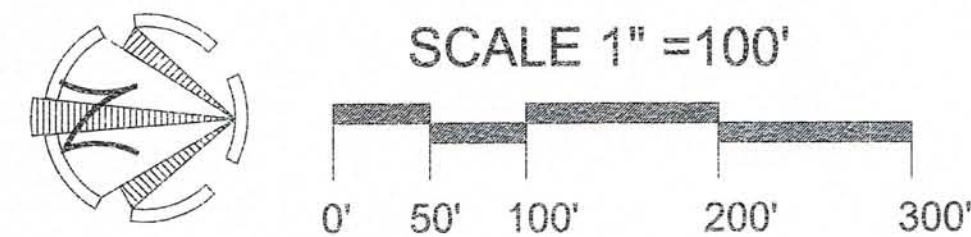
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SHEET TITLE:
**EXISTING
CONDITIONS PLAN**

SHEET NUMBER:
L - 2



DEMO & WALL LOCATION KEY MAP

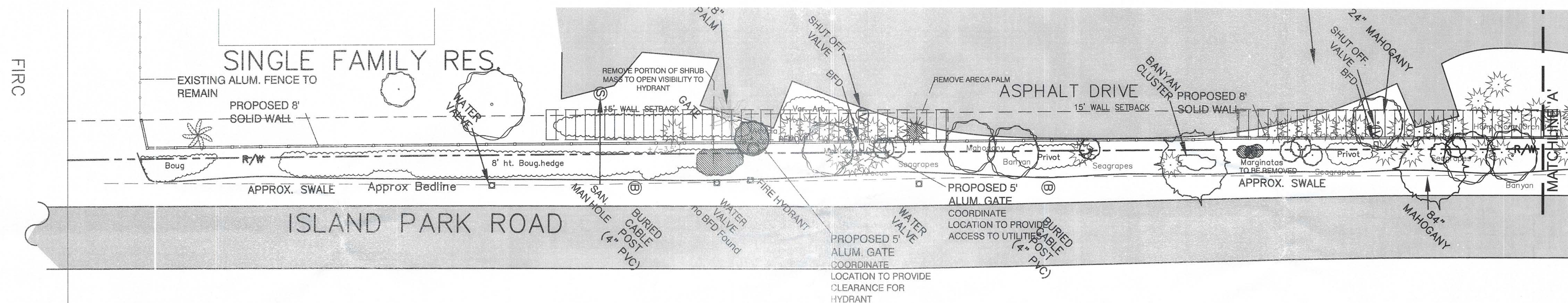


WALL CONSTRUCTION NOTES:

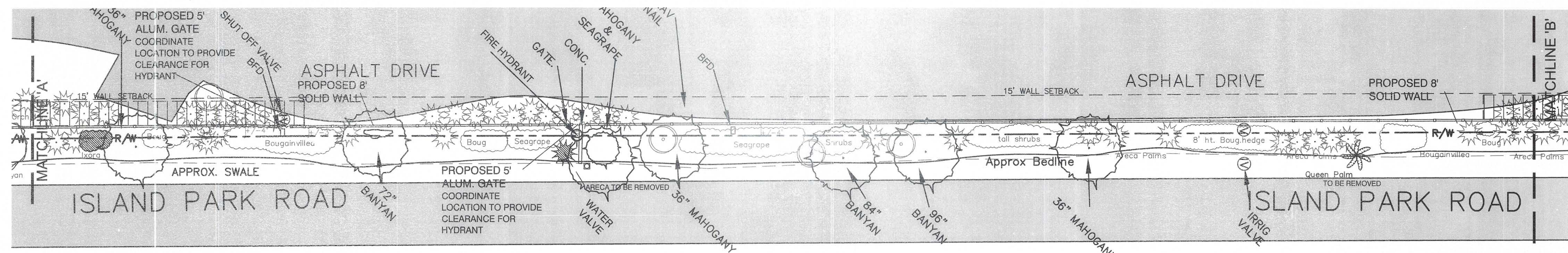
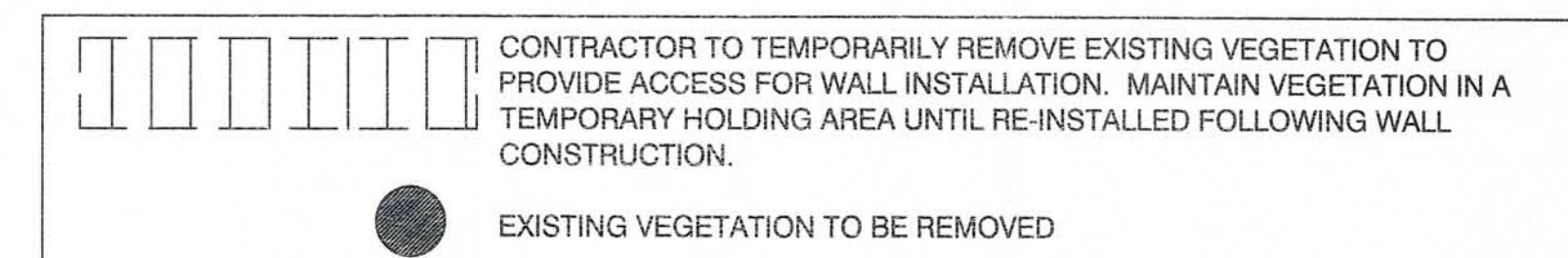
1. PROPOSED WALL SHALL BE A PRE-FABRICATED STUCCO FINISHED WALL SYSTEM WITH COLUMNS AT 10' OC OR AS PROVIDED BY THE MANUFACTURER.
2. WALL SHALL BE PERMITTED THROUGH LEE COUNTY.
3. FINISH SHALL BE PAINTED STUCCO FINISH OR OWNER APPROVED EQUAL.
4. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF INSTALLATION.
5. PROVIDE ENGINEERED SHOP DRAWINGS FOR WALL.
6. COORDINATE EXACT LOCATIONS OF OPEN PICKET FENCING AROUND UTILITIES.
7. CONTRACTOR TO TEMPORARILY REMOVE VEGETATION BEHIND WALL AS REQUIRED FOR INSTALLATION. VEGETATION TO BE RESTORED FOLLOWING CONSTRUCTION.
8. TREES SHALL BE PRUNED BY A CERTIFIED ARBORIST IN ACCORDANCE WITH ANSI 300 TO PERMIT INSTALLATION OF WALL.
9. CONTRACTOR SHALL FULLY INSPECT THE SITE PRIOR TO BIDDING.

DEMOLITION NOTES:

1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO DEMOLITION.
2. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM LCDOT.
3. PROVIDE TRAFFIC CONTROL PLANS TO BE APPROVED BY LCDOT.
4. PROTECT UTILITIES THROUGHOUT CONSTRUCTION.
5. REMOVE EXISTING VEGETATION TO BE REMOVED AS NOTED.
6. LEGALLY DISPOSE OF ALL MATERIAL.
7. PRUNE EXISTING VEGETATION TO PERMIT INSTALLATION OF PROPOSED WALL. PRUNING SHALL BE IN ACCORDANCE WITH HORTICULTURAL STANDARDS. TREES SHALL BE PRUNED BY CERTIFIED ARBORIST IN ACCORDANCE WITH ANSI 300.
8. SHOULD ANY EXISTING VEGETATION THAT IS SCHEDULED TO REMAIN BE REMOVED OR FOUND TO BE IN POOR CONDITION, IT SHALL BE REPLACED WITH SPECIES IN ACCORDANCE WITH LANDSCAPE PLANTING PLAN.

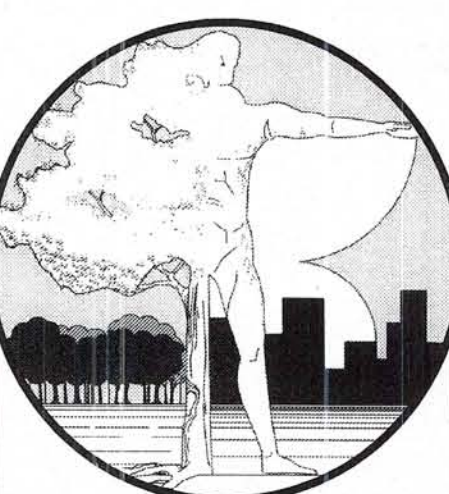
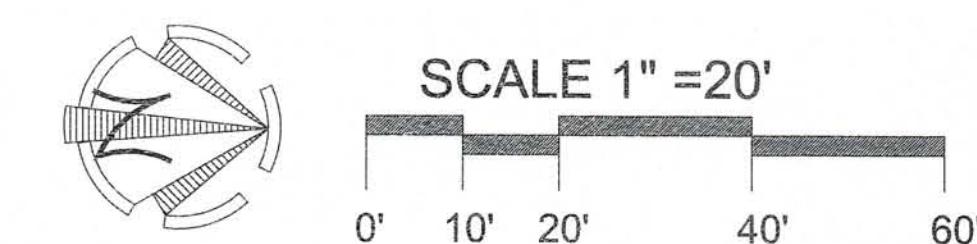


PLAN -A: WALL LOCATION AND LANDSCAPE DEMO PLAN



PLAN -B: WALL LOCATION AND LANDSCAPE DEMO PLAN

FENCE REPLACEMENT AND LANDSCAPE DEMO



DMJA

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ISLAND PARK ROAD
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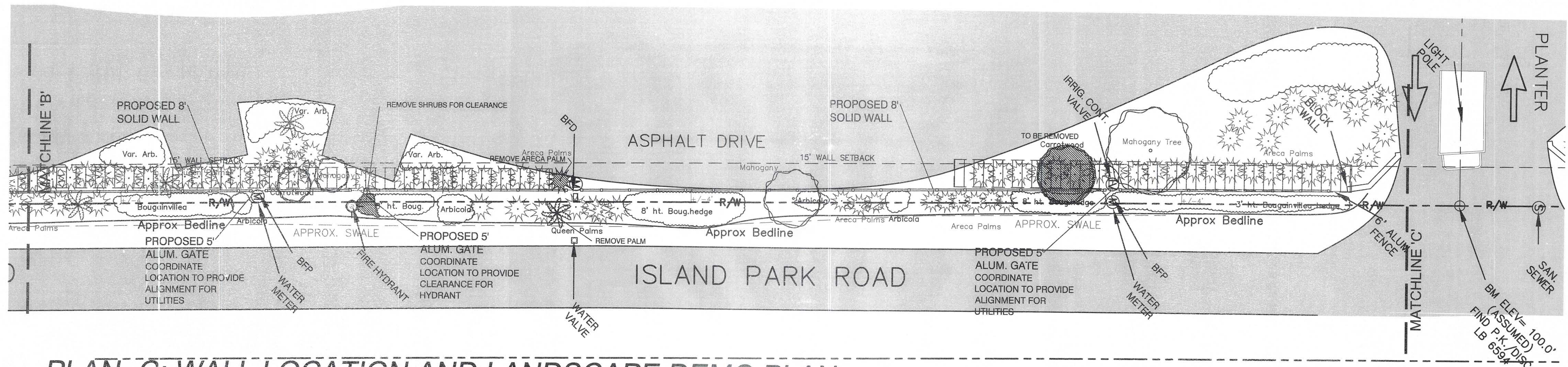
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VAR2012-00007

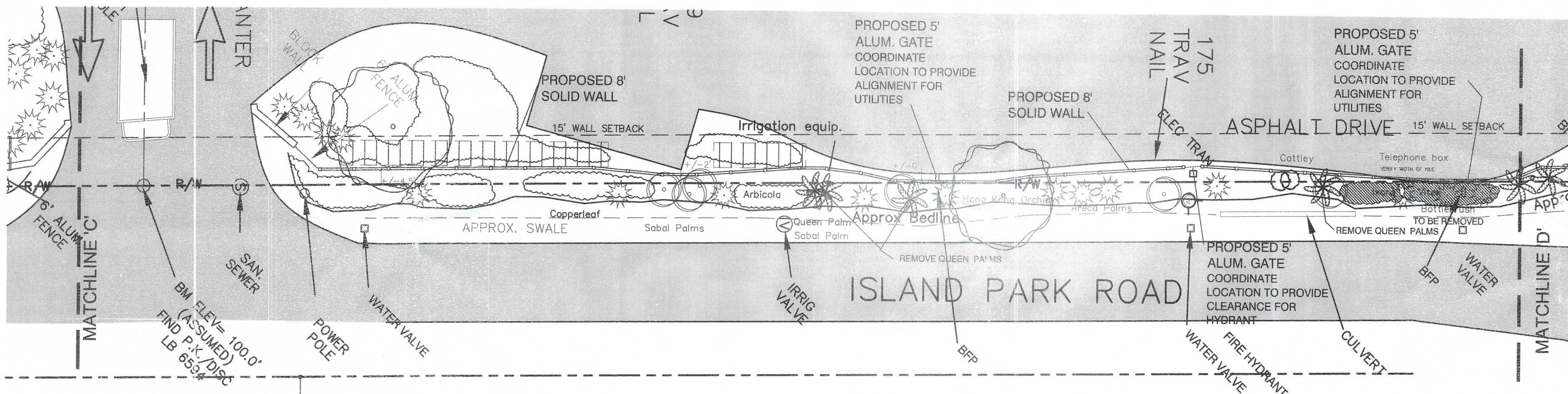
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**FENCE REPLACEMENT
& LANDSCAPE DEMO
PLAN**

SHEET NUMBER:

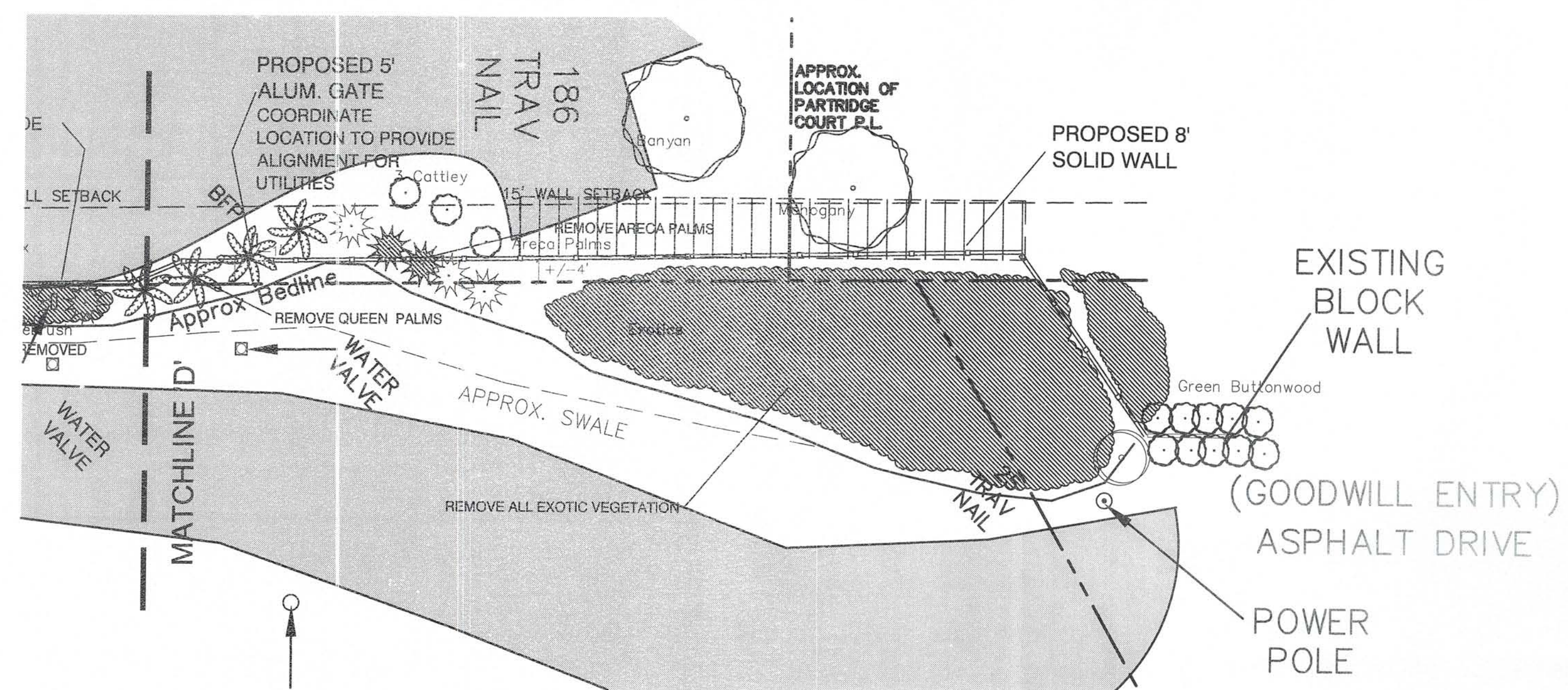
L - 3



PLAN -C: WALL LOCATION AND LANDSCAPE DEMO PLAN



PLAN -D: WALL LOCATION AND LANDSCAPE DEMO PLAN

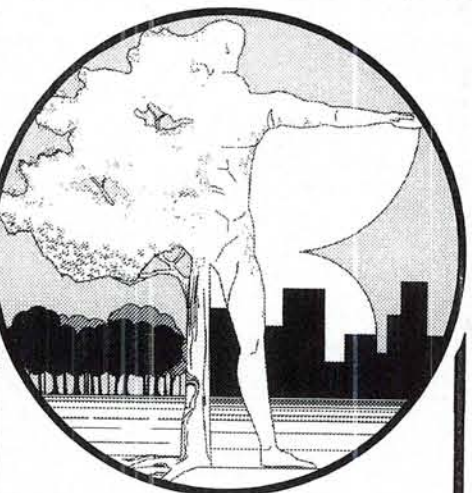
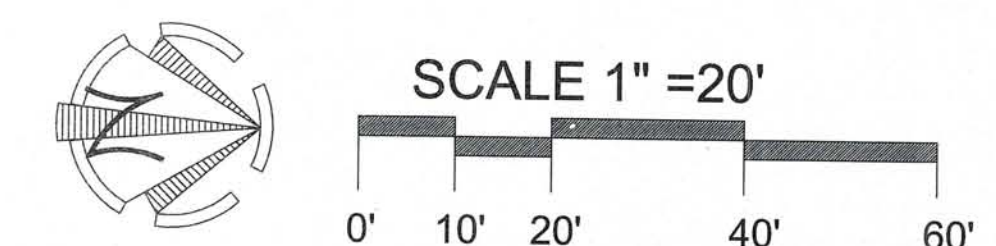


PLAN -E: WALL LOCATION AND LANDSCAPE DEMO PLAN

CONTRACTOR TO TEMPORARILY REMOVE EXISTING VEGETATION TO PROVIDE ACCESS FOR WALL INSTALLATION. MAINTAIN VEGETATION IN A TEMPORARY HOLDING AREA UNTIL RE-INSTALLED FOLLOWING WALL CONSTRUCTION.

EXISTING VEGETATION TO BE REMOVED

FENCE REPLACEMENT AND LANDSCAPE DEMO



DMJA

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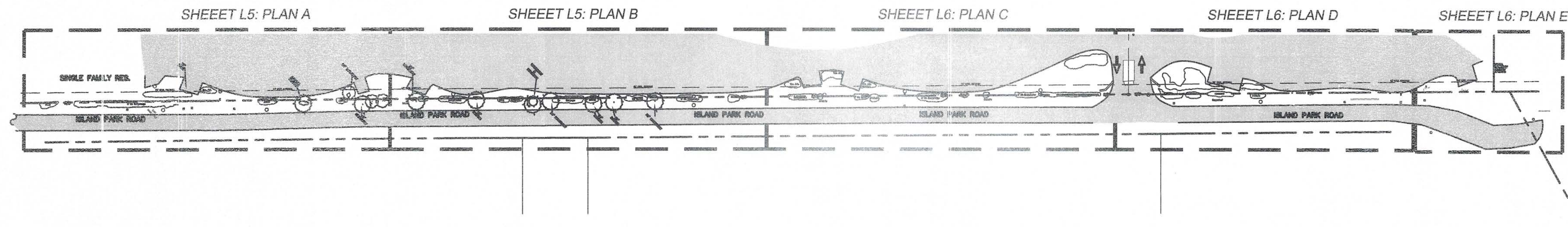
ISSUED DATE:
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PLAN**

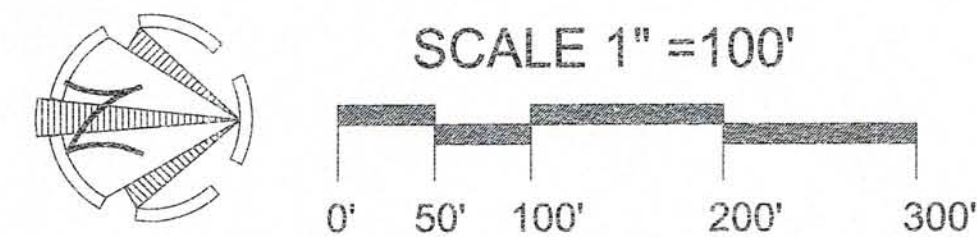
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L - 4

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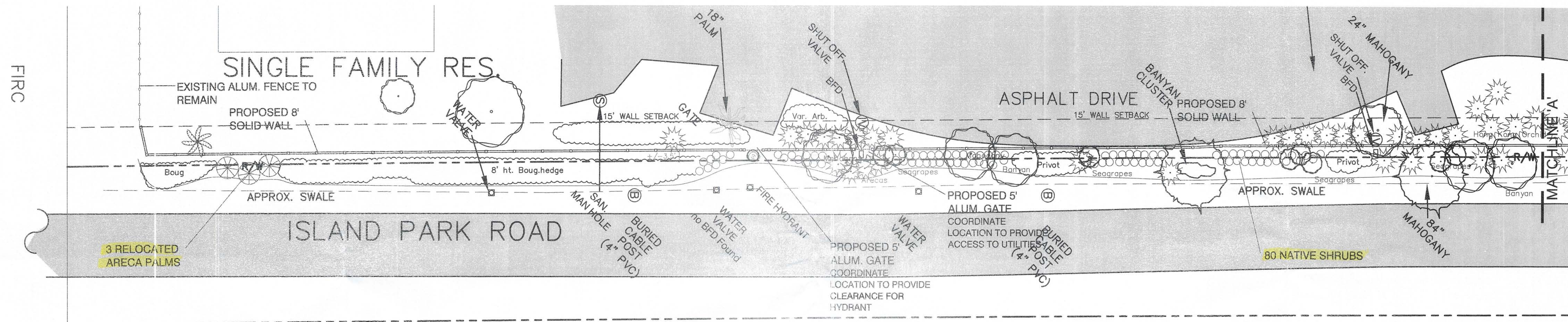


LANDSCAPE PLANTING PLAN KEY MAP

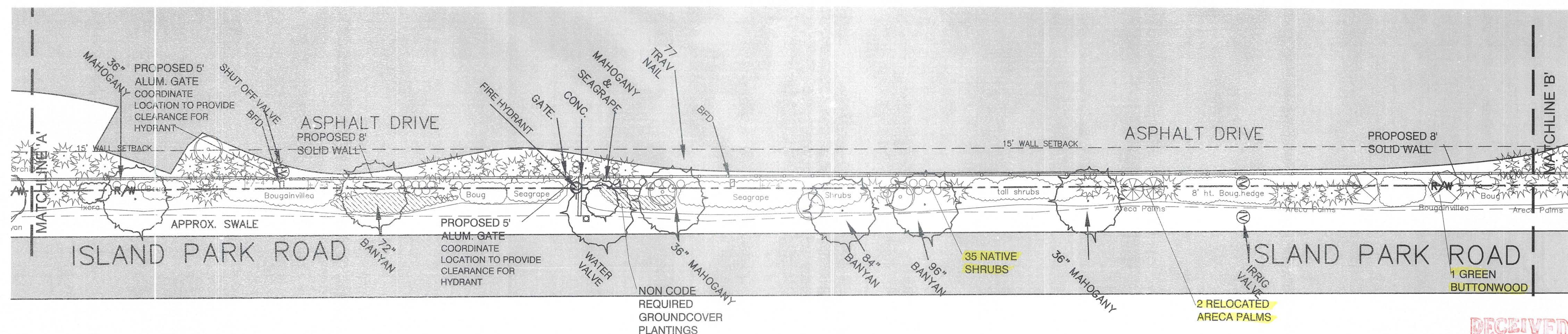


LANDSCAPE NOTES:

1. REFER TO SHEET L-7 FOR NOTES AND DETAILS

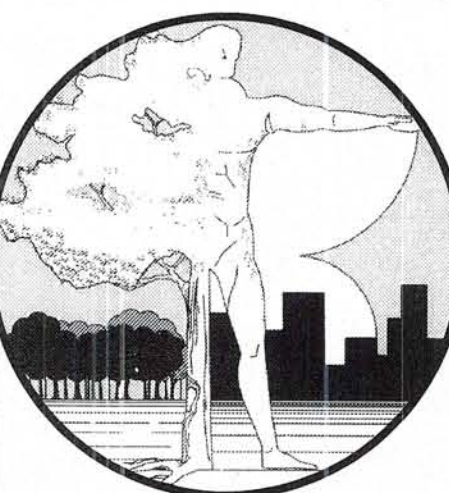
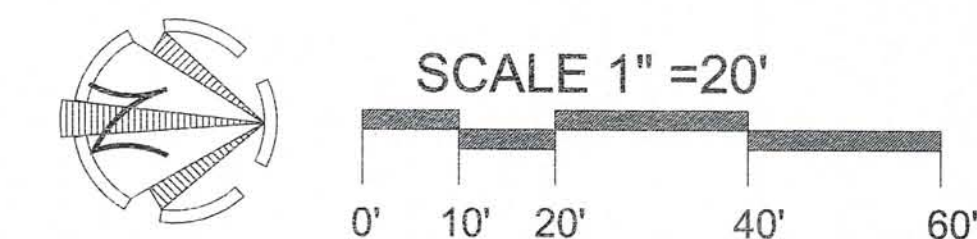


PLAN -A: LANDSCAPE PLANTING PLAN



PLAN -B: LANDSCAPE PLANTING PLAN

LANDSCAPE PLANTING PLAN



DMJA

DAVID M. JONES, JR.
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS
AND PLANNERS

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Fort Myers, Florida 33901
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FAX (239) 337-4494

2705 Tamiami Trail Unit 415
Punta Gorda, Florida 33950
PHONE: (941) 639-2450
FAX (941) 639-2438
L.A. LICENSE: LC 0000063

PROJECT INFORMATION:

**THE FOREST
PROPERTY
OWNERS
ASSOCIATION**
ISLAND PARK ROAD
WALL VARIANCE
LOCATED ALONG THE
ISLAND PARK ROAD
FRONTAGE

PREPARED FOR:

**THE FOREST
PROPERTY OWNERS
ASSOCIATION, INC.**
5990 Forest Boulevard, Fort
Myers, Florida 33908

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
RLA NO. 640 DATE:
STATE OF FLORIDA

PROJECT NO. 211110
PROJECT MGR. Greg Diserio, RLA
FILE NAME: Forest Wall Variance
DESIGNER: Greg Diserio, RLA
CAD TECH: Greg Diserio, RLA
CHECKED BY: Greg Diserio, RLA
ISSUED FOR:

VARIANCE APPLICATION

ISSUED DATE:
REVISIONS: MARCH 28, 2012

RECEIVED
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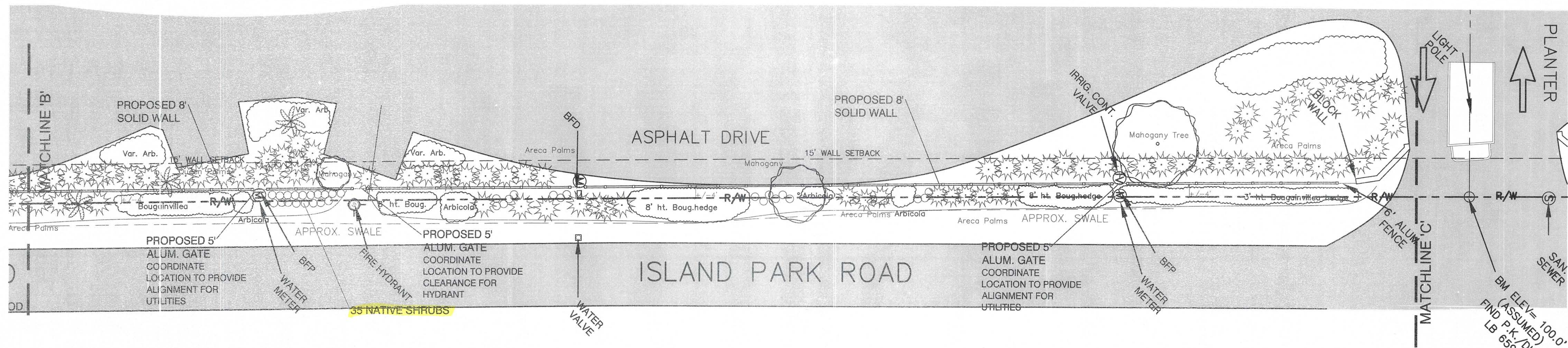
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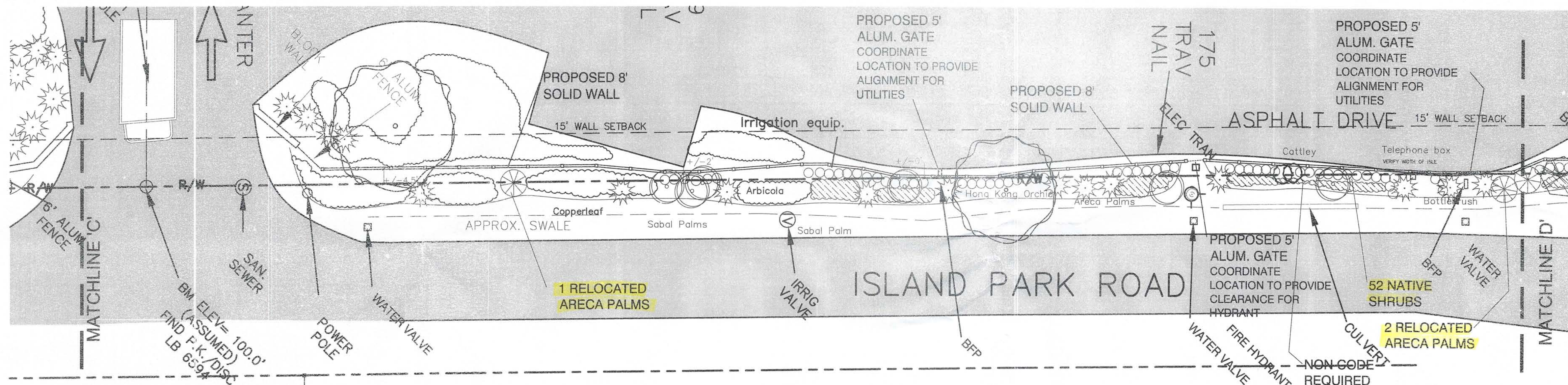
**LANDSCAPE
PLANTING PLAN**

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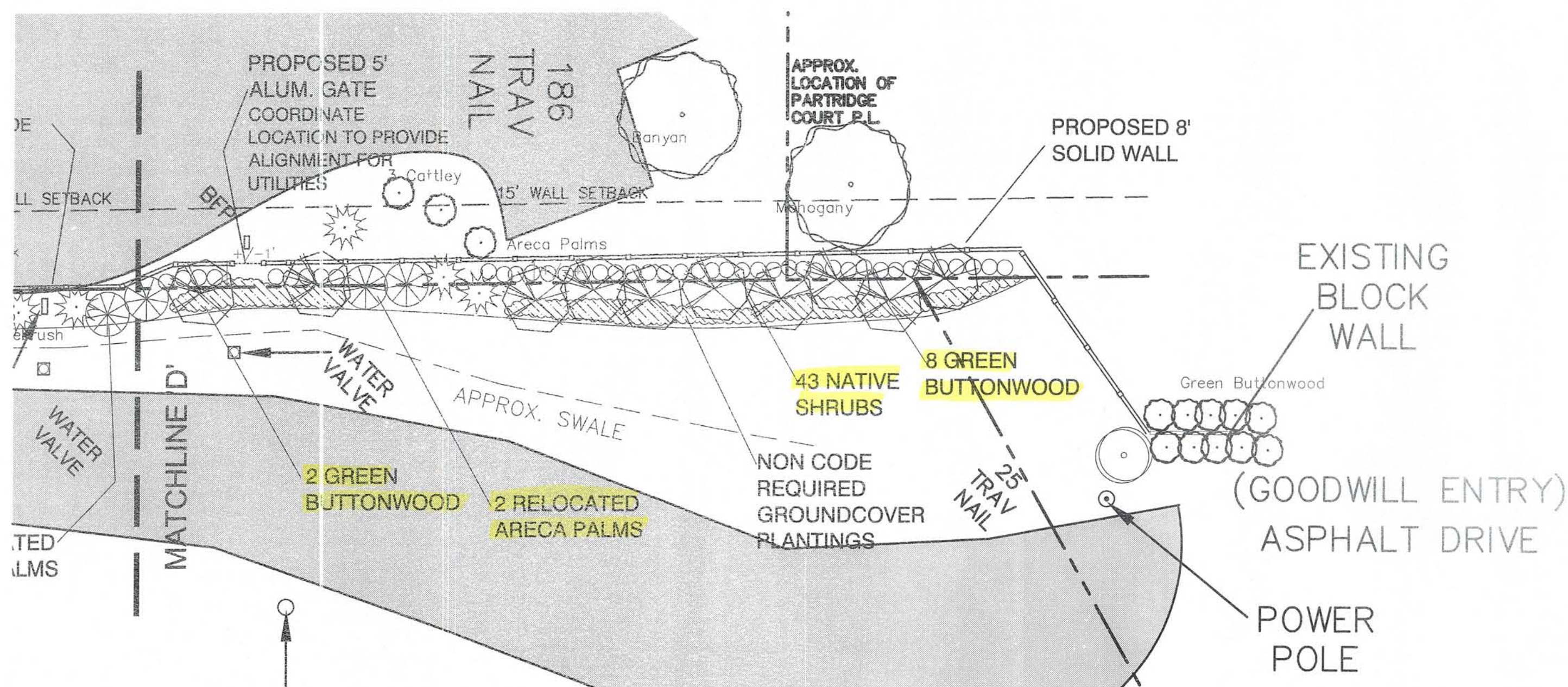
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PLAN -C: LANDSCAPE PLANTING PLAN

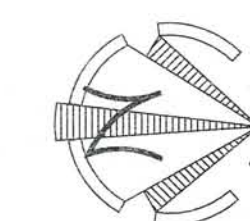


PLAN -D: LANDSCAPE PLANTING PLAN



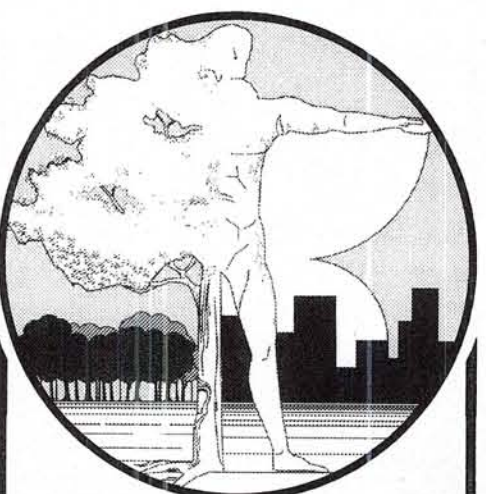
PLAN -E: LANDSCAPE PLANTING PLAN

LANDSCAPE PLANTING PLAN



SCALE 1" = 20'

0' 10' 20' 40' 60'



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PLAN NO. 840 DATE:
STATE OF FLORIDA

PROJECT NO. 211110
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FILE NAME: Forest Wall Variance
DESIGNER: Greg Diserio, RLA
CAD TECH: Greg Diserio, RLA
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ISSUED FOR:

VARIANCE APPLICATION

ISSUED DATE:
REVISIONS: MARCH 28, 2012

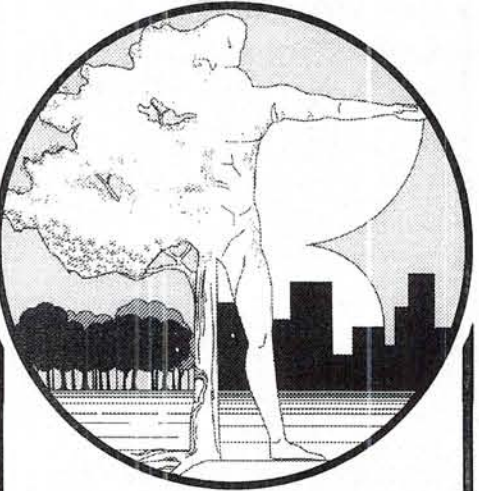
SHEET TITLE:
**LANDSCAPE
PLANTING PLAN**

SHEET NUMBER:
L - 6

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SHEET TITLE:
**LANDSCAPE DETAILS,
SECTIONS AND
NOTES**

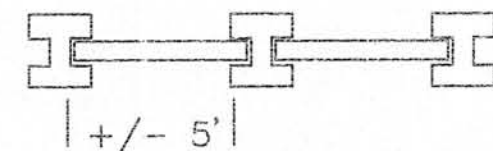
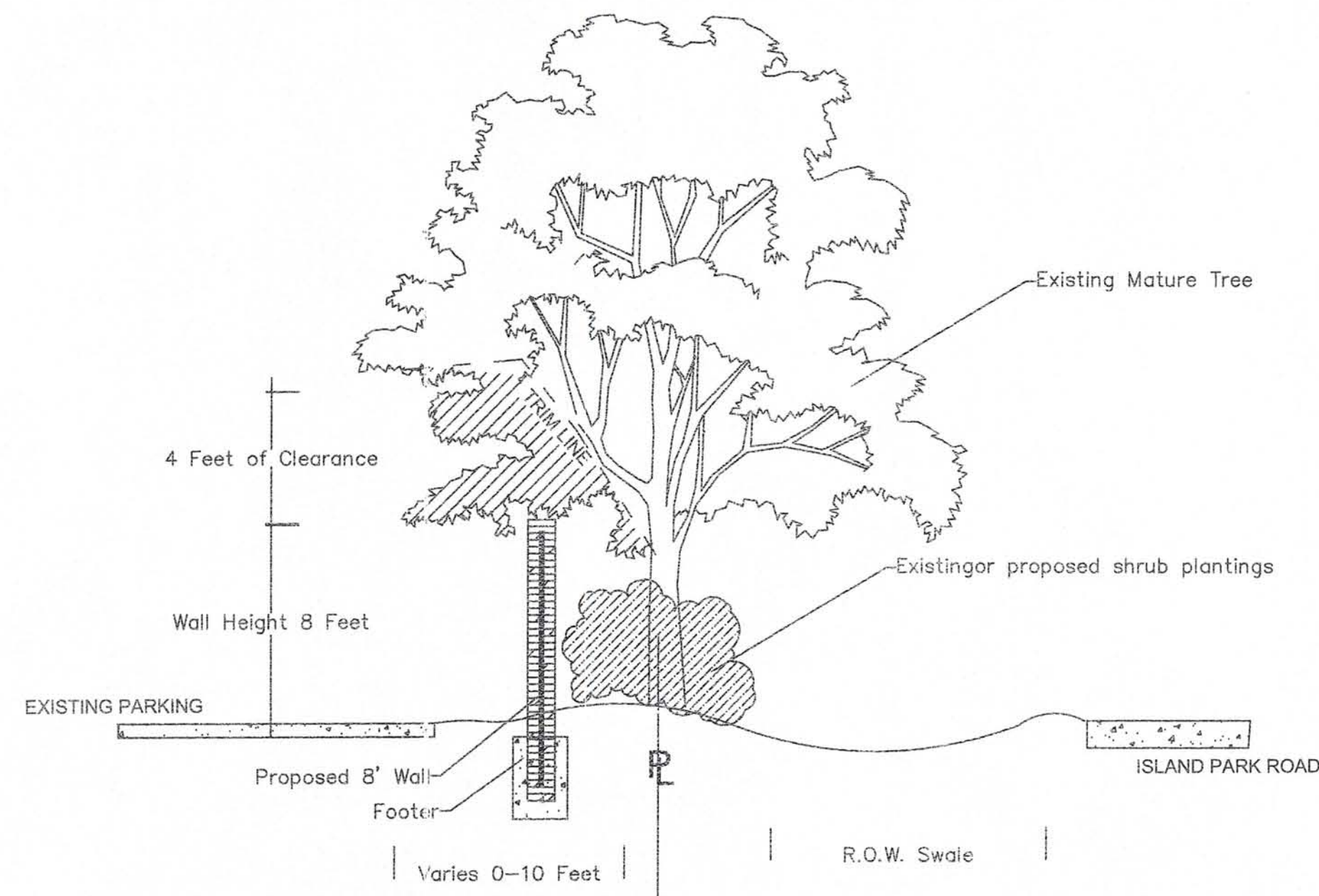
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GENERAL LANDSCAPE NOTES

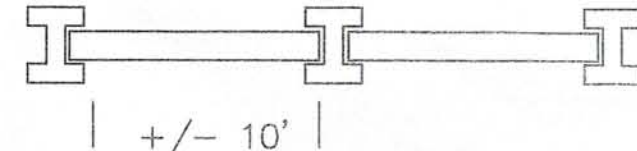
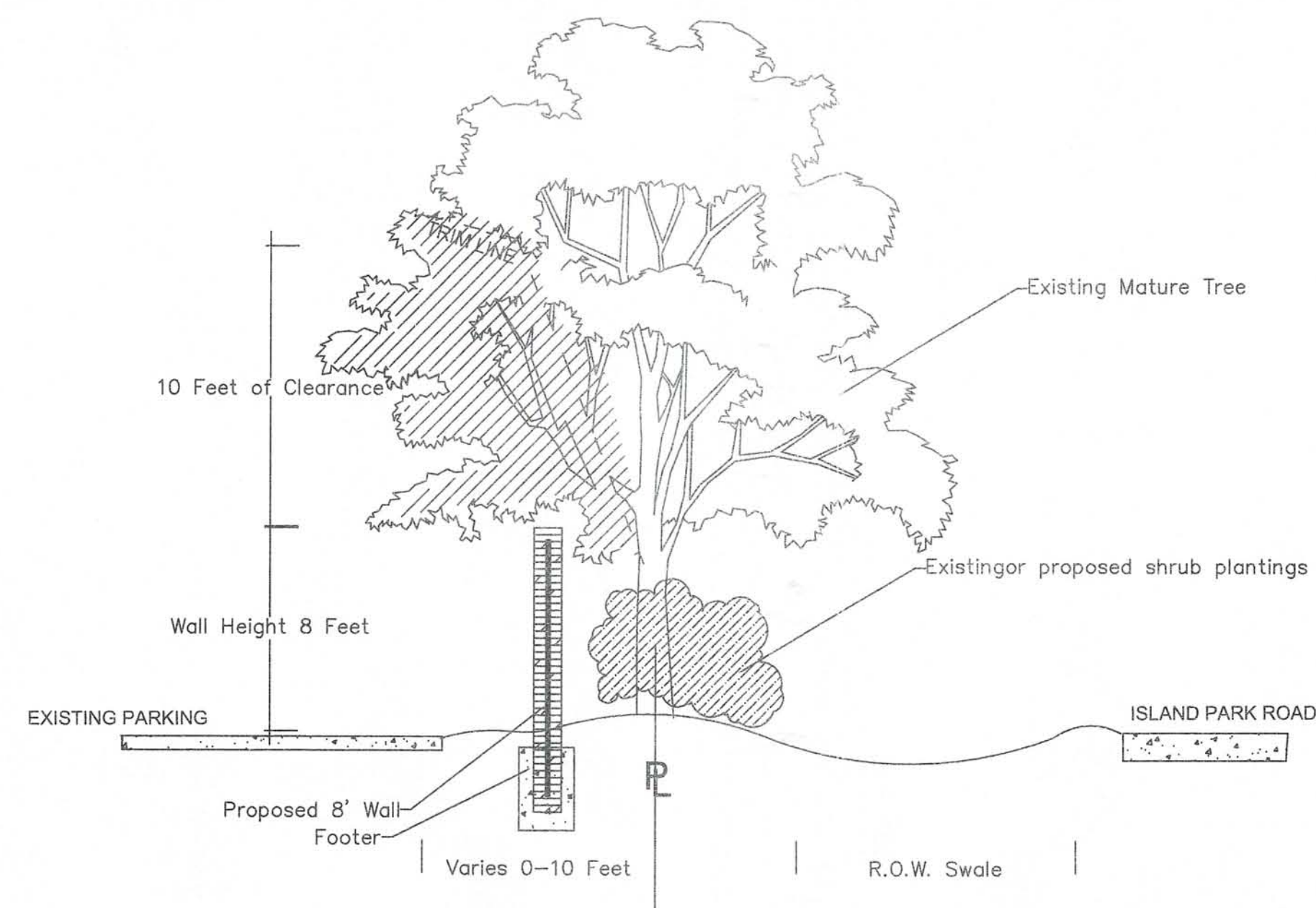
1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO.1 (or better), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
2. ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4" DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. NO CODE REQUIRED PLANTINGS SHALL BE INSTALLED IN EASEMENTS.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEeping FIG, CUBAN LAUREL FIG, JAPANESE CLIMBING FERN, OLD WORD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILLIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
6. TREES SHALL BE A MINIMUM OF 10' IN HEIGHT WITH A 2" CALIPER MEASURED AT 1' ABOVE GROUND LEVEL WITH A FOUR FOOT CANOPY.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
8. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND LEE COUNTY ORDINANCES
9. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SODDING AREAS PRIOR TO PLANT OR SOD INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY. PLANTING PLAN PREPARED FOR ZONING VARIANCE ONLY.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
12. CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
13. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS.
14. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS.
15. PRIOR TO ANY SITE WORK A VEGETATION REMOVAL PERMIT IS REQUIRED FROM LCES 239-533-8522.
16. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC.10-421.A.5.

Stacked Wall Panels



Plan View of Proposed Stacked Panel
Wall Type

Single Wall Panels



Plan View of Proposed Single Panel
Wall Type

TYPICAL SECTION

N.T.S.

TREE PROTECTION NOTES

1. Contractor shall protect all trees scheduled to remain.
2. No grading or storage of construction equipment, chemicals or containers shall be stored, parked, cleaned or otherwise be within the limits of the tree protection area throughout construction.
3. Existing trees shall be inspected and pruned by a Certified Arborist in accordance with ANSI A300, where needed, to remove limbs in conflict with improvements, or to provide crown cleaning or thinning, crown restoration and prepare the tree for any required root pruning.
4. Contractor shall hold a pre-pruning meeting with the Owners Representative prior to pruning.
5. Contractor shall coordinate with the owner, in advance all storage and staging area for construction equipment, parking and construction office for owners approval.
6. Trees which require root pruning for wall installations shall be pruned by hand with clean cuts. Root pruned trees shall be hand watered 4 times per week throughout the construction period.

PROJECT WALL BUFFER

Required or optional residential project walls must be landscaped on the exterior side (between the wall and the abutting property or street right-of-way) with a minimum of five trees per 100 lineal feet and shrub hedges, within a minimum plantable width of seven and one-half feet located on the exterior side of the wall or fence.

a. Hedges must be planted and maintained so as to form a 36-inch high continuous visual screen within one year after time of planting.

b. Trees adjacent to a right-of-way must be appropriately sized in mature form so that conflicts with overhead utilities, lighting and signs are avoided. The clustering of trees and use of palms adjacent to the right-of-way will add design flexibility and reduce conflicts.

1 TREE AND SHRUB PLANTINGS PER

2,300 LF. - 60 LF OF PAVEMENT / 100 X R = 112 TREES REQUIRED.

2300 LF - 60 LF OF PAVEMENT / 3 = 746 SHRUBS REQUIRED

VARIANCE TO PERMIT EXISTING LANDSCAPING AND PROPOSED LANDSCAPING TO FULLFILL REQUIREMENTS.

EXISTING BUFFER TREES = 39

EXISTING MULTI-STEM FULL PALMS = 61

TOTAL EXISTING TREES = 100

L.F. OF EXISTING CONTINUOUS HEDGE = +/- 1,450 LF

PROPOSED TREES = 39

PROPOSED SHRUBS = 245

(OPENINGS LEFT DUE TO UTILITY LOCATIONS)

ABOVE CODE GROUNDCOVERS MAY BE INSTALLED TO COMPLETE THE LANDSCAPE DESIGN

SPECIES SELECTION LIST

TREES & PALMS		PLANT SIZE
21	Sabal Palm Sabal palmetto	10'-15' clear trunk height, staggered
	Green Buttonwood Conocarpus erectus	10' ht. 2" cal. @ 12" above grade. 4' spread
	Silver Buttonwood Conocarpus erectus sericeus	10' ht. 2" cal. @ 12" above grade. 4' spread
	Relocated Areca Palms	10'-16' hts full
SHRUBS		
245	Walters Viburnum Viburnum obovatum	24" ht./ 18" spread. Full.3 gal. 3' OC
	Simpson Stopper Myrsine fraxinifolia	24" ht./ 18" spread. Full.3 gal. 3' OC
	Fire Bush Hamelia patens	24" ht./ 18" spread. Full.3 gal. 3' OC
	Coccoloba Chrysobalanus icaco	24" ht./ 18" spread. Full.3 gal. 3' OC
	Florida Privet Foresteria segregata	24" ht./ 18" spread. Full.3 gal. 3' OC
	Muhly Grass Muhlenbergia capillaris	1 GALLON, 18" O.C.
	Eucalyptus mulch	
	Floratam sod	

Alternate plant species may be approved at time of Limited Development Order Approval.

