



Maps for case #:

DT 2006 - 00055

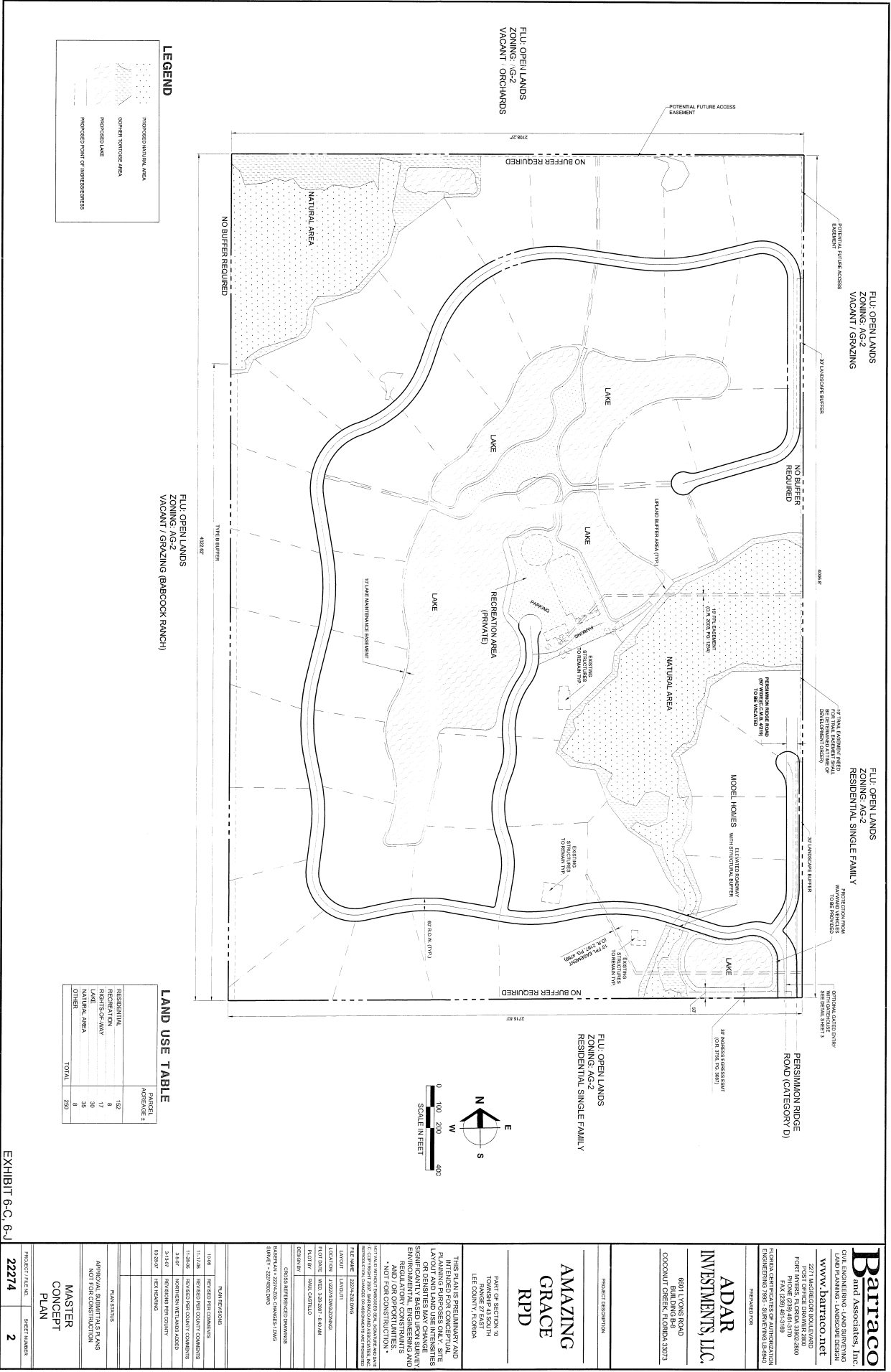
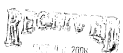


EXHIBIT 6-C, 6-J



MASTER CONCEPT PLAN
FOR

AMAZING GRACE RPD

PART OF SECTION 10, TOWNSHIP 43 SOUTH, RANGE 27 EAST
FORT MYERS, LEE COUNTY, FLORIDA

SITE ADDRESS

19211 PERSIMMON RIDGE RD. ALVA, FL 33920
21725 AMAZING GRACE LN. ALVA, FL 33920
21701 AMAZING GRACE LN. ALVA, FL 33920
21749 AMAZING GRACE LN. ALVA, FL 33920
19225 PERSIMMON RIDGE RD. ALVA, FL 33920
21750 AMAZING GRACE LN. ALVA, FL 33920
21777 AMAZING GRACE LN. ALVA, FL 33920
ACCESS UNDETERMINED ALVA, FL 33920

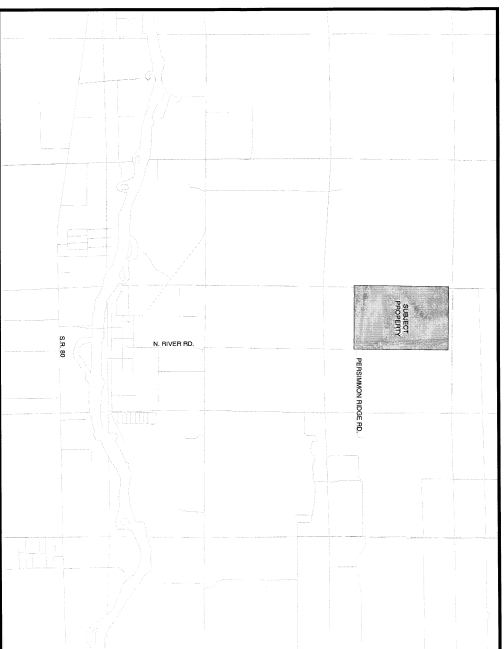
STRAP NUMBERS

10-43-27-00-00001, 2000 10-43-27-00-00001, 2020
10-43-27-00-00001, 2050 10-43-27-00-00001, 2080
10-43-27-00-00001, 203A 10-43-27-00-00001, 2010
10-43-27-00-00001, 2040 10-43-27-00-00001, 2060
10-43-27-00-00001, 2090

ZONING

CURRENT ZONING: AG-2
ZONING REQUEST: RPD

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS
MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION. THIS
MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	EXHIBIT	DRAWING NAME(S)
1	COVER SHEET AND LOCATION MAP		22274-201.DWG
2	MASTER SITE PLAN	6-C, 6-J	22274-202.DWG
3	DEVELOPMENT REGULATIONS AND USES	6-M	22274-203.DWG
4	DEVELOPMENT REGULATIONS AND USES	6-M	22274-204.DWG
5	EXISTING SITE CONDITIONS MAP & ADJACENT ZONING AND USES	6-C, 6-D	22274-205.DWG

ADDITIONAL EXHIBITS

* SOILS MAP
* ARCHEOLOGICAL MAP

EXHIBIT
6-E
1-B

GROSS REFERENCED DRAWINGS:

XREF NO.	DESCRIPTION	DRAWING NAME
A	LOCATION MAP - LEE COUNTY 44-25	LEEMAP.DWG

THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE LAYOUT AND LAND USE
INTENSITIES OR DENSITIES MAY CHANGE SIGNIFICANTLY
BASED UPON SURVEY, ENVIRONMENTAL, ENGINEERING, AND
REGULATORY CONSTRAINTS AND/OR MARKET CONDITIONS.
NOT FOR CONSTRUCTION.

Barraco
and Associates, Inc.
CIVIL ENGINEERING, LAND SURVEYING
AND PLANNING, LANDSCAPE DESIGN
www.barraco.net
2271 MAGNOLIA BOULEVARD
FORT MYERS, FLORIDA 33908
PHONE (239) 461-3170
FAX (239) 461-3199
TELEPHONE (239) 461-3170
ENGINEERING 7905 - SURVEYING 15-640

ADAR
INVESTMENTS, LLC.
8601 LYONS ROAD
BUILDING B-8
COCONUT CREEK, FLORIDA 33073

**AMAZING
GRACE
RPD**

PART OF SECTION 10
TOWNSHIP 43 SOUTH
RANGE 27 EAST
LEE COUNTY, FLORIDA

THIS PLAN IS PRELIMINARY AND
INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE
LAYOUT AND LAND USE INTENSITIES
OR DENSITIES MAY CHANGE
SIGNIFICANTLY BASED UPON
SURVEY, ENVIRONMENTAL,
ENGINEERING, AND
REGULATORY CONSTRAINTS
AND/OR MARKET CONDITIONS.
NOT FOR CONSTRUCTION.

NOT VALID WITHOUT A LICENSED SURVEY, SURVEYING AND LAND
SURVEYING ENGINEER'S SEAL AND SIGNATURE. ANY
REPRODUCTION, COPIES OR ALTERATIONS OF THIS PLAN
WITHOUT THE WRITTEN PERMISSION OF BARRACO AND ASSOCIATES, INC.
IS PROHIBITED.

GROSS REFERENCED DRAWINGS

MAP - LEEMAP.DWG

PLAN SHEET

APPROVAL SUBMITTALS PLANS

NOT FOR CONSTRUCTION

COVER SHEET

AND

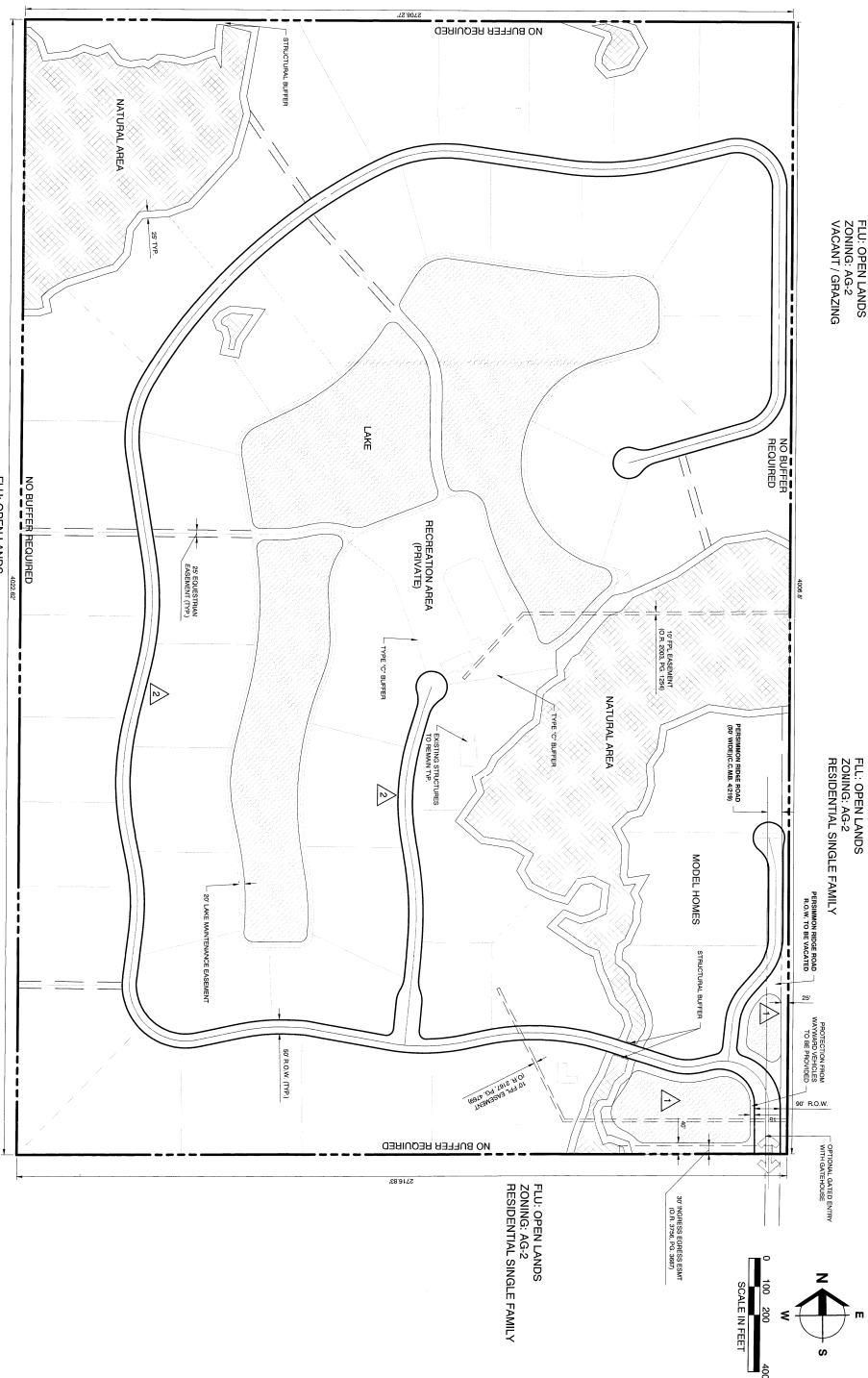
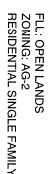
LOCATION MAP

PROJECT FILE NO.

SHEET NUMBER

60127

1



OPEN SPACE TABLE		REQUIRED INDIGENOUS SPACE (% open space)
RESIDENTIAL	151.05	60.42
RECREATION	5.83	2.33
RIGHT-OF-WAY	15.78	6.30
LAKE	30.59	12.23
NATURAL AREA	34.04	13.61
OTHER	12.73	5.11
TOTAL	250.00	100.00

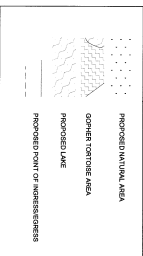
<h1 style="margin: 0;">Barracuda</h1> <p style="margin: 0;">and Associates, Inc.</p>	
<p> <small> CIVIL ENGINEERING • LAND SURVEYING LAND PLANNING • LANDSCAPE DESIGN </small> </p> <p style="text-align: center;"> www.barracuda.net </p> <p> <small> 2371 MCKINNON BOULEVARD FORT MYERS, FLORIDA 33901-2800 PHONE (239) 461-3173 FAX (239) 461-3174 </small> </p> <p> <small> E-MAIL: info@barracuda.net ENGINEERING: pe@barracuda.net </small> </p>	
<h2 style="margin: 0;">ADAR</h2> <h3 style="margin: 0;">INVESTMENTS, LLC.</h3>	
<p> <small> 1601 LIONS ROAD BUILDING B-8 COCONUT GROVE, FLORIDA 33073 </small> </p>	
<h2 style="margin: 0;">AMAZING</h2> <h3 style="margin: 0;">GRACE</h3> <h3 style="margin: 0;">RPD</h3>	
<p> <small> PART OF SECTION 10 TOWNSHIP 28S, RANGE 29E RANGE 29E, SECTION 10 COUNTY OF DALLAS, CITY COUNTY, TEXAS </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS THE GUARANTEE AND INTERPRETER OF CONSENTUAL PLANNING PURPOSES ONLY. SITE LAYOUTS, DIMENSIONS, AND LOCATIONS ARE NOT TO BE USED FOR BENEFITS AND ANY CHANGE OF BENEFITS SHALL BE THE RESPONSIBILITY OF THE REGULATION CONTRIBUTORS AND/OR CONTRACTORS. </small> </p>	
<p> <small> DESIGN BY: CHECKS BY: </small> </p>	
<p> <small> CHECKS BY: </small> </p>	
<p> <small> THIS STATE IS</small></p>	

FLU: OPEN LANDS
ZONING: AG-2
VACANT / GRAZING

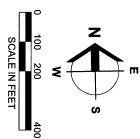
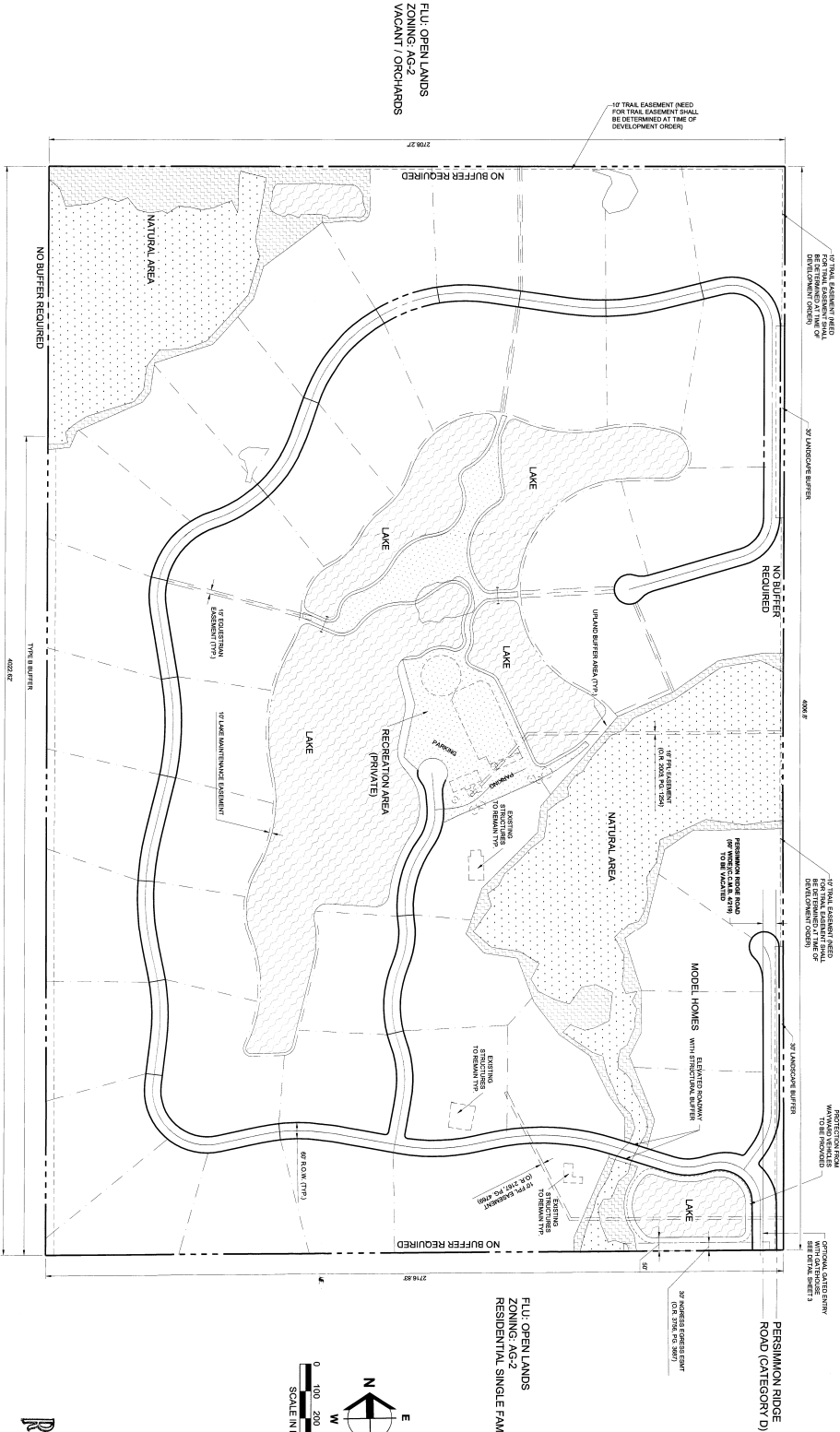
FLU: OPEN LANDS
ZONING: AG-2
RESIDENTIAL SINGLE FAMILY

FLU: OPEN LANDS
ZONING: AG-2
RESIDENTIAL SINGLE FAMILY

LEGEND



FLU: OPEN LANDS
ZONING: AG-2
VACANT / GRAZING (BABCOCK RANCH)



LAND USE TABLE	
PRICE/ACRE	ACREAGE
RESIDENTIAL	151.89
LAKE	15.82
LAKE	29.75
NATURAL AREA	27.99
OTHER (CATEGORIES)	250.00
TOTAL	250.00

2006-00055

EXHIBIT 6-C, 6-D

Barraco
Barraco and Associates, Inc.
2277 KINGS ROAD
SUITE 100
FORT PIERCE, FLORIDA 34949
PHONE (888) 461-3170
FAX (888) 461-3189
WWW.BARRACO.NET

ADAR INVESTMENTS, LLC.
6601 TOWN ROAD
SUITE 100
COCONUT CREEK, FLORIDA 33073

PROJECT DESCRIPTION

AMAZING GRACE RPD

THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL LAYOUT AND LAND USE INTENSITIES. LAYOUT AND LAND USE INTENSITIES MAY CHANGE BASED ON BARRACO'S REGULATORY CONSTRAINTS AND/OR OPPORTUNITIES.

FOR MORE INFORMATION, CONTACT BARRACO AND ASSOCIATES, INC. AT (888) 461-3170.

FILE NAME: 22277-AG-2 CHANGES.DWG

LAYOUT: LAYOUT1

LOCATION: 1-22277 CONCEPTUAL

PLOT DATE: WED 3/4/2009 4:31 AM

TITLE BY: SUE CORTIJO

DESIGN BY:

CROSS REFERENCES DRAWINGS

BARRACO: 22277-AG-2, CHANGES-1.DWG

OWNER: 22277-000-0000

PLAN REVISIONS

DATE	REVISION PER COMMENTS
11/17/06	REVISED PER COUNTY COMMENTS
1/14/08	REVISED PER COUNTY COMMENTS
3/4/07	REVISED PER COUNTY COMMENTS
9/2/07	REVISED PER COUNTY COMMENTS

PLAN STATUS

APPROVAL IS LIMITED TO THIS PLAN AND NOT FOR CONSTRUCTION.

MASTER CONCEPT PLAN

PROJECT / FILE NO. **222774**

SHEET NUMBER **2**



August 11, 2008 1:37:25 p.m.
Drawing: ADA/RTPLN.DWG (SA)



AMAZING GRACE RPD

SITE ADDRESS

19211 PERSIMMON RIDGE RD. ALVA, FL 33920
21725 AMAZING GRACE LN. ALVA, FL 33920
21701 AMAZING GRACE LN. ALVA, FL 33920
21749 AMAZING GRACE LN. ALVA, FL 33920
19225 PERSIMMON RIDGE RD. ALVA, FL 33920
21750 AMAZING GRACE LN. ALVA, FL 33920
21777 AMAZING GRACE LN. ALVA, FL 33920
ACCESS UNDETERMINED ALVA, FL 33920

STRAP NUMBERS

10-43-27-00-00001,2000 10-43-27-00-00001,2020
10-43-27-00-00001,2050 10-43-27-00-00001,2080
10-43-27-00-00001,203A 10-43-27-00-00001,2010
10-43-27-00-00001,2040 10-43-27-00-00001,2060
10-43-27-00-00001,2090

ZONING

CURRENT ZONING: AG-2 ZONING
REQUEST: RPD
FUTURE LAND USE: OPEN LANDS



VICINITY MAP

0 1000 2000 4000
SCALE IN FEET

PROJECT LOCATION



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	EXHIBIT	DRAWING NAME(S)
1	COVER SHEET AND LOCATION MAP		22274-201.DWG
2	MASTER SITE PLAN	B-C, B-J	22274-202.DWG
3	DEVELOPMENT REGULATIONS AND USES	B-M	22274-203.DWG
4	DETAILS AND CROSS SECTIONS EXISTING SITE CONDITIONS MAP ADJACENT ZONING AND USES	B-C, B-D	22274-205.DWG
ADDITIONAL EXHIBITS			
		EXHIBIT	

	6-E	1-B
* SOILS MAP		
* ARCHAEOLOGICAL MAP		

CROSS-REFERENCED DRAWINGS:

XREF NO.	DESCRIPTION	DRAWING NAME
A	LOCATION MAP - LEE COUNTY 44-25	LEEMAP.DWG

DOI 2006-00055

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

Barraco
and Associates, Inc.
CIVIL ENGINEERING • LAND SURVEYING
LAND PLANNING • LANDSCAPE DESIGN
www.barraco.net

2271 MCGREGOR BOULEVARD
POST OFFICE DRAWER 2600
FORT MIAMI, FLORIDA 33062-2800
TEL (305) 461-3199
FAX (323) 461-3199

FLORIDA CERTIFICATE OF REGISTRATION
ENGINEERING 7095 • SURVEYING LB-6940

PREPARED FOR

**ADAR
INVESTMENTS, LLC.**

6601 LYONS ROAD
BUILDING B-8
COCOONUT CREEK, FLORIDA 33073

PROJECT DESCRIPTION

AMAZING
GRACE
RPD

[illegible][illegible]

[illegible]

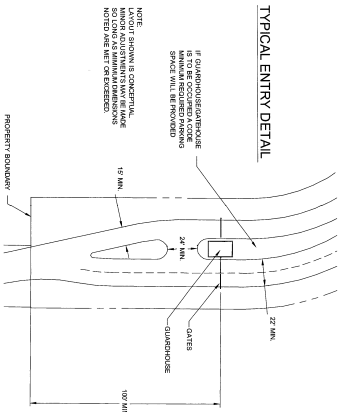
SCHEDULE OF DEVIATIONS

1. DEVIATION WITHDRAWN.

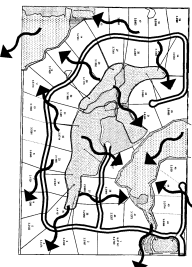
SITE DEVELOPMENT NOTES

- 1) ALL EXOTIC VEGETATION SHALL BE REMOVED FROM THE DEVELOPMENT AREA ACCORDING TO A REMOVAL SCHEDULE ESTABLISHED AS PART OF THE DEVELOPMENT ORDER. THE SITE SHALL BE MAINTAINED FREE OF EXOTICS IN PERPETUITY.
- 2) DRAINAGE WILL BE ACCOMMODATED THROUGH THE USE OF SWALES, AND/OR RETENTION AREAS. THE LOCATION OF A LAKE OR POND MAY BE REFINED WITHOUT AMENDING THE LOT BASED ON DETAILED SITE ENGINEERING AND CONFORMANCE WITH ALL SETBACK REQUIREMENTS SET FORTH HEREIN.
- 3) LAKE EDGES WILL BE SINUOUS IN ACCORDANCE WITH LEE COUNTY REGULATIONS.
- 4) LAKE DEPTH NOT TO EXCEED 12".

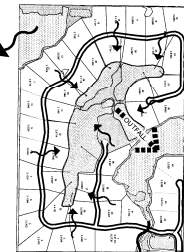
TYPICAL ENTRY DETAIL



EXISTING DRAINAGE



PROPOSED DRAINAGE



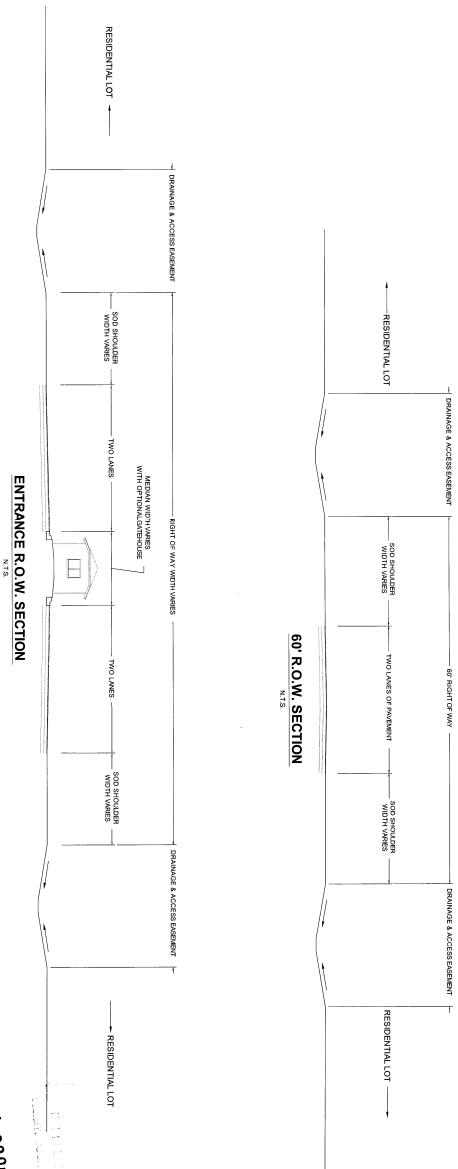
SCHEDULE OF USES

- ACCESSORY USES AND STRUCTURES
- DWELLING UNIT: SINGLE FAMILY
- ENTRANCE GATES AND GATEHOUSE
- ESSENTIAL SERVICE FACILITIES (GROUP 1 ONLY)
- EVACUATION- WATER RETENTION
- FENCES, WALLS
- HOME OCCUPATION
- MOBILE HOMES (A)
- RECREATIONAL FACILITIES PRIVATE, ON-SITE
- RESIDENTIAL ACCESSORY USES
- SIGNS IN ACCORDANCE WITH CHAPTER 30
- STABLE (BOARDING AND PRIVATE)
- TEMPORARY USES
- TEMPORARY CONSTRUCTION TRAILER

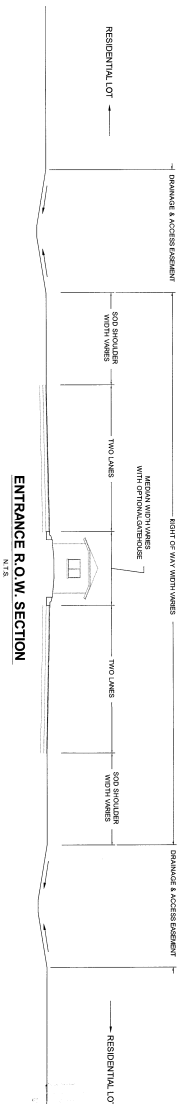
DEVELOPMENT REGULATIONS

MINIMUM LOT AREA	2 ACRES
MINIMUM LOT DEPTH	130'
MINIMUM LOT WIDTH	25'
MINIMUM FRONT SETBACK (PRIVATE STREET)	50'
MINIMUM REAR SETBACK	25'
MINIMUM SIDE SETBACK	20'
MINIMUM BUILDING SEPARATION	35'
MAXIMUM LOT COVERAGE	25%
STABLE SETBACK	35'

60' R.O.W. SECTION



ENTRANCE R.O.W. SECTION



001 2006-00055

EXHIBIT 6-M

Barraco
and Associates, Inc.

CIVIL ENGINEERING, LAND SURVEYING
LAND PLANNING, LANDSCAPE DESIGN
www.barraco.net

2271 WAGGONER BOULEVARD
PORT ORCHIE, FLORIDA 32080
PHONE (239) 461-3170
FAX (239) 461-3169

FLORIDA CERTIFICATE OF PROFESSIONAL
ENGINEERING NO. 12500 AND LICENSE
NO. 12500

PREPARED FOR

ADAR
INVESTMENTS, LLC.

6601 LYONS ROAD
BUILDING 14
COCONUT CREEK, FLORIDA 33073

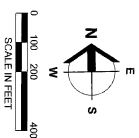
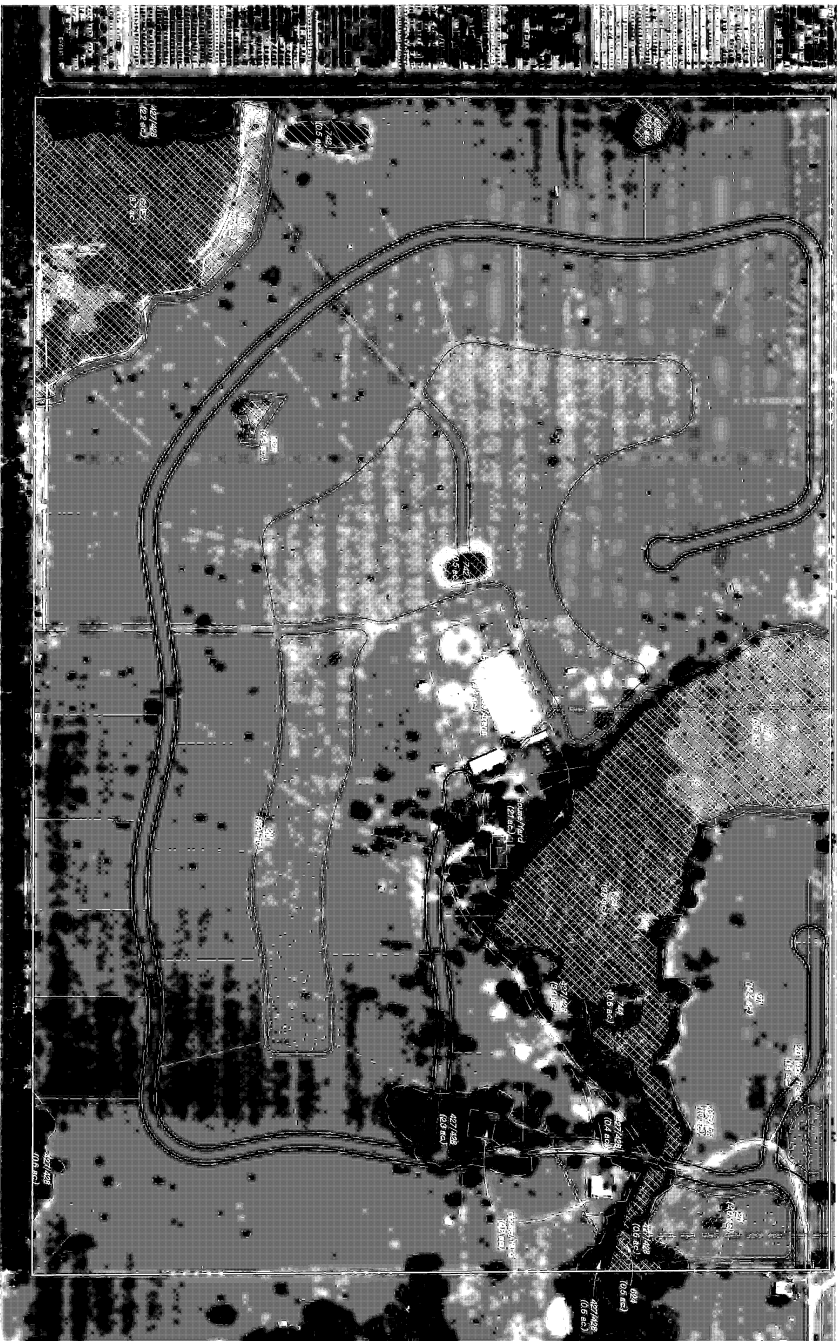
PROJECT DESCRIPTION

**AMAZING
GRACE
RPD**

PART OF SECTION 10
TOWNSHIP 27 NORTH
RANGE 27 EAST
LEE COUNTY, FLORIDA

THIS PLAN IS PRELIMINARY AND
INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE
LAYOUT, DRAINAGE, AND UTILITIES
OR ORIENTED BASED UPON SURVEY
SIGNIFICANTLY BASED UPON SURVEY
ENVIRONMENTAL, ENGINEERING, AND
LANDSCAPE ARCHITECTURE
AND/OR OPPORTUNITIES
+ NOT FOR CONSTRUCTION +

NOT VALID WITHOUT THE SIGNATURE OF THE ENGINEER OR SURVEYOR
REVISIONS: 1. 11-17-06 2. 11-17-06 3. 11-17-06 4. 11-17-06 5. 11-17-06 6. 11-17-06 7. 11-17-06 8. 11-17-06 9. 11-17-06 10. 11-17-06 11. 11-17-06 12. 11-17-06 13. 11-17-06 14. 11-17-06 15. 11-17-06 16. 11-17-06 17. 11-17-06 18. 11-17-06 19. 11-17-06 20. 11-17-06 21. 11-17-06 22. 11-17-06 23. 11-17-06 24. 11-17-06 25. 11-17-06 26. 11-17-06 27. 11-17-06 28. 11-17-06 29. 11-17-06 30. 11-17-06 31. 11-17-06 32. 11-17-06 33. 11-17-06 34. 11-17-06 35. 11-17-06 36. 11-17-06 37. 11-17-06 38. 11-17-06 39. 11-17-06 40. 11-17-06 41. 11-17-06 42. 11-17-06 43. 11-17-06 44. 11-17-06 45. 11-17-06 46. 11-17-06 47. 11-17-06 48. 11-17-06 49. 11-17-06 50. 11-17-06 51. 11-17-06 52. 11-17-06 53. 11-17-06 54. 11-17-06 55. 11-17-06 56. 11-17-06 57. 11-17-06 58. 11-17-06 59. 11-17-06 60. 11-17-06 61. 11-17-06 62. 11-17-06 63. 11-17-06 64. 11-17-06 65. 11-17-06 66. 11-17-06 67. 11-17-06 68. 11-17-06 69. 11-17-06 70. 11-17-06 71. 11-17-06 72. 11-17-06 73. 11-17-06 74. 11-17-06 75. 11-17-06 76. 11-17-06 77. 11-17-06 78. 11-17-06 79. 11-17-06 80. 11-17-06 81. 11-17-06 82. 11-17-06 83. 11-17-06 84. 11-17-06 85. 11-17-06 86. 11-17-06 87. 11-17-06 88. 11-17-06 89. 11-17-06 90. 11-17-06 91. 11-17-06 92. 11-17-06 93. 11-17-06 94. 11-17-06 95. 11-17-06 96. 11-17-06 97. 11-17-06 98. 11-17-06 99. 11-17-06 100. 11-17-06 101. 11-17-06 102. 11-17-06 103. 11-17-06 104. 11-17-06 105. 11-17-06 106. 11-17-06 107. 11-17-06 108. 11-17-06 109. 11-17-06 110. 11-17-06 111. 11-17-06 112. 11-17-06 113. 11-17-06 114. 11-17-06 115. 11-17-06 116. 11-17-06 117. 11-17-06 118. 11-17-06 119. 11-17-06 120. 11-17-06 121. 11-17-06 122. 11-17-06 123. 11-17-06 124. 11-17-06 125. 11-17-06 126. 11-17-06 127. 11-17-06 128. 11-17-06 129. 11-17-06 130. 11-17-06 131. 11-17-06 132. 11-17-06 133. 11-17-06 134. 11-17-06 135. 11-17-06 136. 11-17-06 137. 11-17-06 138. 11-17-06 139. 11-17-06 140. 11-17-06 141. 11-17-06 142. 11-17-06 143. 11-17-06 144. 11-17-06 145. 11-17-06 146. 11-17-06 147. 11-17-06 148. 11-17-06 149. 11-17-06 150. 11-17-06 151. 11-17-06 152. 11-17-06 153. 11-17-06 154. 11-17-06 155. 11-17-06 156. 11-17-06 157. 11-17-06 158. 11-17-06 159. 11-17-06 160. 11-17-06 161. 11-17-06 162. 11-17-06 163. 11-17-06 164. 11-17-06 165. 11-17-06 166. 11-17-06 167. 11-17-06 168. 11-17-06 169. 11-17-06 170. 11-17-06 171. 11-17-06 172. 11-17-06 173. 11-17-06 174. 11-17-06 175. 11-17-06 176. 11-17-06 177. 11-17-06 178. 11-17-06 179. 11-17-06 180. 11-17-06 181. 11-17-06 182. 11-17-06 183. 11-17-06 184. 11-17-06 185. 11-17-06 186. 11-17-06 187. 11-17-06 188. 11-17-06 189. 11-17-06 190. 11-17-06 191. 11-17-06 192. 11-17-06 193. 11-17-06 194. 11-17-06 195. 11-17-06 196. 11-17-06 197. 11-17-06 198. 11-17-06 199. 11-17-06 200. 11-17-06 201. 11-17-06 202. 11-17-06 203. 11-17-06 204. 11-17-06 205. 11-17-06 206. 11-17-06 207. 11-17-06 208. 11-17-06 209. 11-17-06 210. 11-17-06 211. 11-17-06 212. 11-17-06 213. 11-17-06 214. 11-17-06 215. 11-17-06 216. 11-17-06 217. 11-17-06 218. 11-17-06 219. 11-17-06 220. 11-17-06 221. 11-17-06 222. 11-17-06 223. 11-17-06 224. 11-17-06 225. 11-17-06 226. 11-17-06 227. 11-17-06 228. 11-17-06 229. 11-17-06 230. 11-17-06 231. 11-17-06 232. 11-17-06 233. 11-17-06 234. 11-17-06 235. 11-17-06 236. 11-17-06 237. 11-17-06 238. 11-17-06 239. 11-17-06 240. 11-17-06 241. 11-17-06 242. 11-17-06 243. 11-17-06 244. 11-17-06 245. 11-17-06 246. 11-17-06 247. 11-17-06 248. 11-17-06 249. 11-17-06 250. 11-17-06 251. 11-17-06 252. 11-17-06 253. 11-17-06 254. 11-17-06 255. 11-17-06 256. 11-17-06 257. 11-17-06 258. 11-17-06 259. 11-17-06 260. 11-17-06 261. 11-17-06 262. 11-17-06 263. 11-17-06 264. 11-17-06 265. 11-17-06 266. 11-17-06 267. 11-17-06 268. 11-17-06 269. 11-17-06 270. 11-17-06 271. 11-17-06 272. 11-17-06 273. 11-17-06 274. 11-17-06 275. 11-17-06 276. 11-17-06 277. 11-17-06 278. 11-17-06 279. 11-17-06 280. 11-17-06 281. 11-17-06 282. 11-17-06 283. 11-17-06 284. 11-17-06 285. 11-17-06 286. 11-17-06 287. 11-17-06 288. 11-17-06 289. 11-17-06 290. 11-17-06 291. 11-17-06 292. 11-17-06 293. 11-17-06 294. 11-17-06 295. 11-17-06 296. 11-17-06 297. 11-17-06 298. 11-17-06 299. 11-17-06 300. 11-17-06 301. 11-17-06 302. 11-17-06 303. 11-17-06 304. 11-17-06 305. 11-17-06 306. 11-17-06 307. 11-17-06 308. 11-17-06 309. 11-17-06 310. 11-17-06 311. 11-17-06 312. 11-17-06 313. 11-17-06 314. 11-17-06 315. 11-17-06 316. 11-17-06 317. 11-17-06 318. 11-17-06 319. 11-17-06 320. 11-17-06 321. 11-17-06 322. 11-17-06 323. 11-17-06 324. 11-17-06 325. 11-17-06 326. 11-17-06 327. 11-17-06 328. 11-17-06 329. 11-17-06 330. 11-17-06 331. 11-17-06 332. 11-17-06 333. 11-17-06 334. 11-17-06 335. 11-17-06 336. 11-17-06 337. 11-17-06 338. 11-17-06 339. 11-17-06 340. 11-17-06 341. 11-17-06 342. 11-17-06 343. 11-17-06 344. 11-17-06 345. 11-17-06 346. 11-17-06 347. 11-17-06 348. 11-17-06 349. 11-17-06 350. 11-17-06 351. 11-17-06 352. 11-17-06 353. 11-17-06 354. 11-17-06 355. 11-17-06 356. 11-17-06 357. 11-17-06 358. 11-17-06 359. 11-17-06 360. 11-17-06 361. 11-17-06 362. 11-17-06 363. 11-17-06 364. 11-17-06 365. 11-17-06 366. 11-17-06 367. 11-17-06 368. 11-17-06 369. 11-17-06 370. 11-17-06 371. 11-17-06 372. 11-17-06 373. 11-17-06 374. 11-17-06 375. 11-17-06 376. 11-17-06 377. 11-17-06 378. 11-17-06 379. 11-17-06 380. 11-17-06 381. 11-17-06 382. 11-17-06 383. 11-17-06 384. 11-17-06 385. 11-17-06 386. 11-17-06 387. 11-17-06 388. 11-17-06 389. 11-17-06 390. 11-17-06 391. 11-17-06 392. 11-17-06 393. 11-17-06 394. 11-17-06 395. 11-17-06 396. 11-17-06 397. 11-17-06 398. 11-17-06 399. 11-17-06 400. 11-17-06 401. 11-17-06 402. 11-17-06 403. 11-17-06 404. 11-17-06 405. 11-17-06 406. 11-17-06 407. 11-17-06 408. 11-17-06 409. 11-17-06 410. 11-17-06 411. 11-17-06 412. 11-17-06 413. 11-17-06 414. 11-17-06 415. 11-17-06 416. 11-17-06 417. 11-17-06 418. 11-17-06 419. 11-17-06 420. 11-17-06 421. 11-17-06 422. 11-17-06 423. 11-17-06 424. 11-17-06 425. 11-17-06 426. 11-17-06 427. 11-17-06 428. 11-17-06 429. 11-17-06 430. 11-17-06 431. 11-17-06 432. 11-17-06 433. 11-17-06 434. 11-17-06 435. 11-17-06 436. 11-17-06 437. 11-17-06 438. 11-17-06 439. 11-17-06 440. 11-17-06 441. 11-17-06 442. 11-17-06 443. 11-17-06 444. 11-17-06 445. 11-17-06 446. 11-17-06 447. 11-17-06 448. 11-17-06 449. 11-17-06 450. 11-17-06 451. 11-17-06 452. 11-17-06 453. 11-17-06 454. 11-17-06 455. 11-17-06 456. 11-17-06 457. 11-17-06 458. 11-17-06 459. 11-17-06 460. 11-17-06 461. 11-17-06 462. 11-17-06 463. 11-17-06 464. 11-17-06 465. 11-17-06 466. 11-17-06 467. 11-17-06 468. 11-17-06 469. 11-17-06 470. 11-17-06 471. 11-17-06 472. 11-17-06 473. 11-17-06 474. 11-17-06 475. 11-17-06 476. 11-17-06 477. 11-17-06 478. 11-17-06 479. 11-17-06 480. 11-17-06 481. 11-17-06 482. 11-17-06 483. 11-17-06 484. 11-17-06 485. 11-17-06 486. 11-17-06 487. 11-17-06 488. 11-17-06 489. 11-17-06 490. 11-17-06 491. 11-17-06 492. 11-17-06 493. 11-17-06 494. 11-17-06 495. 11-17-06 496. 11-17-06 497. 11-17-06 498. 11-17-06 499. 11-17-06 500. 11-17-06 501. 11-17-06 502. 11-17-06 503. 11-17-06 504. 11-17-06 505. 11-17-06 506. 11-17-06 507. 11-17-06 508. 11-17-06 509. 11-17-06 510. 11-17-06 511. 11-17-06 512. 11-17-06 513. 11-17-06 514. 11-17-06 515. 11-17-06 516. 11-17-06 517. 11-17-06 518. 11-17-06 519. 11-17-06 520. 11-17-06 521. 11-17-06 522. 11-17-06 523. 11-17-06 524. 11-17-06 525. 11-17-06 526. 11-17-06 527. 11-17-06 528. 11-17-06 529. 11-17-06 530. 11-17-06 531. 11-17-06 532. 11-17-06 533. 11-17-06 534. 11-17-06 535. 11-17-06 536. 11-17-06 537. 11-17-06 538. 11-17-06 539. 11-17-06 540. 11-17-06 541. 11-17-06 542. 11-17-06 543. 11-17-06 544. 11-17-06 545. 11-17-06 546. 11-17-06 547. 11-17-06 548. 11-17-06 549. 11-17-06 550. 11-17-06 551. 11-17-06 552. 11-17-06 553. 11-17-06 554. 11-17-06 555. 11-17-06 556. 11-17-06 557. 11-17-06 558. 11-17-06 559. 11-17-06 560. 11-17-06 561. 11-17-06 562. 11-17-06 563. 11-17-06 564. 11-17-06 565. 11-17-06 566. 11-17-06 567. 11-17-06 568. 11-17-06 569. 11-17-06 570. 11-17-06 571. 11-17-06 572. 11-17-06 573. 11-17-06 574. 11-17-06 575. 11-17-06 576. 11-17-06 577. 11-17-06 578. 11-17-06 579. 11-17-06 580. 11-17-06 581. 11-17-06 582. 11-17-06 583. 11-17-06 584. 11-17-06 585. 11-17-06 586. 11-17-06 587. 11-17-06 588. 11-17-06 589. 11-17-06 590. 11-17-06 591. 11-17-06 592. 11-17-06 593. 11-17-06 594. 11-17-06 595. 11-17-06 596. 11-17-06 597. 11-17-06 598. 11-17-06 599. 11-17-06 600. 11-17-06 601. 11-17-06 602. 11-17-06 603. 11-17-06 604. 11-17-06 605. 11-17-06 606. 11-17-06 607. 11-17-06 608. 11-17-06 609. 11-17-06 610. 11-17-06 611. 11-17-06 612. 11-17-06 613. 11-17-06 614. 11-17-06 615. 11-17-06 616. 11-17-06 617. 11-17-06 618. 11-17-06 619. 11-17-06 620. 11-17-06 621. 11-17-06 622. 11-17-06 623. 11-17-06 624. 11-17-06 625. 11-17-06 626. 11-17-06 627. 11-17-06 628. 11-17-06 629. 11-17-06 630. 11-17-06 631. 11-17-06 632. 11-17-06 633. 11-17-06 634. 11-17-06 635. 11-17-06 636. 11-17-06 637. 11-17-06 638. 11-17-06 639. 11-17-06 640. 11-17-06 641. 11-17-06 642. 11-17-06 643. 11-17-06 644. 11-17-06 645. 11-17-06 646. 11-17-06 647. 11-17-06 648. 11-17-06 649. 11-17-06 650. 11-17-06 651. 11-17-06 652. 11-17-06 653. 11-17-06 654. 11-17-06 655. 11-17-06 656. 11-17-06 657. 11-17-06 658. 11-17-06 659. 11-17-06 660. 11-17-06 661. 11-17-06 662. 11-17-06 663. 11-17-06 664. 11-17-06 665. 11-17-06 666. 11-17-06 667. 11-17-06 668. 11-17-06 669. 11-17-06 670. 11-17-06 671. 11-17-06 672. 11-17-06 673. 11-17-06 674. 11-17-06 675. 11-17-06 676. 11-17-06 677. 11-17-06 678. 11-17-06 679. 11-17-06 680. 11-17-06 681. 11-17-06 682. 11-17-06 683. 11-17-06 684. 11-17-06 685. 11-17-06 686. 11-17-06 687. 11-17-06 688. 11-17-06 689. 11-17-06 690. 11-17-06 691. 11-17-06 692. 11-17-06 693. 11-17-06 694. 11-17-06 695. 11-17-06 696. 11-17-06 697. 11-17-06 698. 11-17-06 699. 11-17-06 700. 11-17-06 701. 11-17-06 702. 11-17-06 703. 11-17-06 704. 11-17-06 705. 11-17-06 706. 11-17-06 707. 11-17-06 708. 11-17-06 709. 11-17-06 710. 11-17-06 711. 11-17-06 712. 11-17-06 713. 11-17-06 714. 11-17-06 715. 11-17-06 716. 11-17-06 717. 11-17-06



RECEIVED
4th - 5 2006
2006-00055

Baird and Associates, Inc. CIVIL ENGINEERING, LAND SURVEYING LAND PLANNING • LANDSCAPE DESIGN www.bairdco.net 2271 INGLEWOOD BOULEVARD PO BOX OFFICE DAWSON 2400 PO BOX 1000 DAWSON, GA 30120 PHONE (229) 461-3170 FAX (229) 461-3169	
FILING CERTIFICATE OF PATENTIZATION RECORDING OFFICE RECORDED FOR	
ADAR INVESTMENTS, LLC. 6811 LYNN ROAD BUILDING B-8 COCONUT CREEK, FLORIDA 33074	
PROJECT DESCRIPTION	
AMAZING GRACE RPD	
PART OF SECTION 10 TOWNSHIP 21 NORTH RANGE 27 EAST COUNTY, FLORIDA	
THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL DESIGN ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. OR DENSITIES MAY CHANGE LAYOUT AND LAND USE INTENSITIES SIGNIFICANTLY. ENGINEERING AND ENVIRONMENTAL ENGINEERING AND REGULATORY CONSTRAINTS MAY BE REQUIRED FOR CONSTRUCTION.	
NOT TO BE USED FOR CONSTRUCTION. REVISIONS AND/OR MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER AND/OR DESIGNER. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE.	
FILE NAME	2271 INGLEWOOD BOULEVARD
LOCATION	DAWSON
ACT DATE	FILE 2-2006 - 11-12 AM
FILE BY	DAVE DAWSON
DESIGN BY	
GROSS REFERENCED DRAWINGS	
PLAN REVISIONS	
PLAN STATUS	
MASTER CONCEPT PLAN	
PROJECT FILE NO.	60127
SHEET NUMBER	2

AMAZING GRACE RPD

SITE ADDRESS

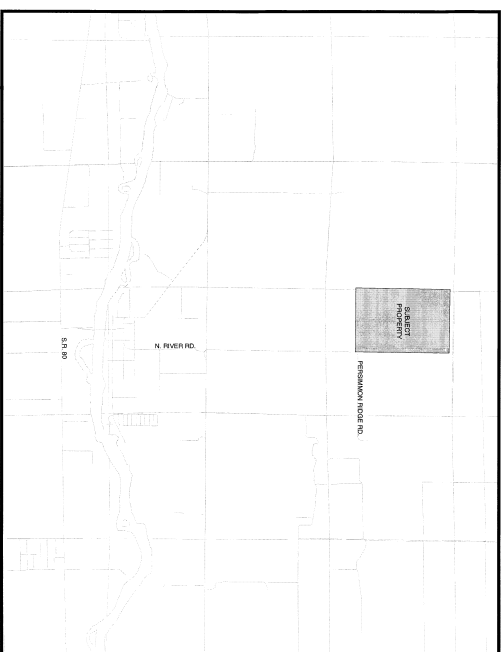
19211 PERSIMMON RIDGE RD. ALVA, FL 33920
21725 AMAZING GRACE LN ALVA, FL 33920
21701 AMAZING GRACE LN ALVA, FL 33920
21749 AMAZING GRACE LN ALVA, FL 33920
19225 PERSIMMON RIDGE RD. ALVA, FL 33920
21750 AMAZING GRACE LN ALVA, FL 33920
21777 AMAZING GRACE LN ALVA, FL 33920
ACCESS UNDETERMINED ALVA, FL 33920

STRAP NUMBERS

10-43-27-00-00001,2000 10-43-27-00-00001,2020
10-43-27-00-00001,2050 10-43-27-00-00001,2080
10-43-27-00-00001,203A 10-43-27-00-00001,2010
10-43-27-00-00001,2040 10-43-27-00-00001,2060
10-43-27-00-00001,2090

ZONING

CURRENT ZONING: AG-2 ZONING
REQUEST: RPD
FUTURE LAND USE: OPEN LANDS



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	EXHIBIT	DRAWING NAME
1	COVER SHEET AND LOCATION MAP		22274-201.DWG
2	MASTER SITE PLAN	6-C, 6-J	22274-202.DWG
3	DEVELOPMENT REGULATIONS AND USES	6-M	22274-203.DWG
4	EXISTING SITE CONDITIONS MAP & ADJACENT ZONING AND USES	6-C, 6-D	22274-205.DWG
ADDITIONAL EXHIBITS		EXHIBIT	
*	SOILS MAP	6-E	
*	ARCHAEOLOGICAL MAP	1-B	

CROSS-REFERENCED DRAWINGS

XREF NO.	DESCRIPTION	DRAWING NAME
A	LOCATION MAP - LEE COUNTY 44-25	LEEMAP.DWG

DOI 2006-00055

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL PLANNING PURPOSES ONLY. SITE LAYOUT AND LAND USE INTENSITIES OR DENSITIES MAY CHANGE SIGNIFICANTLY BASED UPON SURVEY, ENVIRONMENTAL, ENGINEERING, AND REGULATORY CONSTRAINTS AND/OR MARKET CONDITIONS.

[illegible]

SCHEDULE OF DEVIATIONS

1. DEVIATION WITHDRAWN

SITE DEVELOPMENT NOTES

- 1) ALL EXOTIC VEGETATION SHALL BE REMOVED FROM THE DEVELOPMENT AREA ACCORDING TO A REMOVAL SCHEDULE ESTABLISHED AS PART OF THE DEVELOPMENT ORDER. THE SITE SHALL BE MAINTAINED FREE OF EXOTICS IN PERPETUITY.
- 2) DRAINAGE WILL BE ACCOMMODATED THROUGH THE USE OF SWALES, AND/OR RETENTION AREAS. THE LOCATION OF A LAKE OR POND MAY BE REFINED WITHOUT AMENDING THE DEVELOPMENT ORDER. DRAINAGE WITH ALL SETBACK/REDUCEMENTS SET FORTH HEREIN.
- 3) LAKE EDGES WILL BE SINUOUS IN ACCORDANCE WITH LEE COUNTY REGULATIONS.
- 4) LAKE DEPTH NOT TO EXCEED 12'.

SCHEDULE OF USES

- ACCESSORY USES AND STRUCTURES
DWELLING UNIT SINGLE FAMILY
ENTRANCE GATES AND GATEHOUSE
ESSENTIAL SERVICES
EXCAVATION AND RETENTION
FENCES, WALLS
HOME OCCUPATION
MODELS, MODEL HOME (4)
SIGNING AND BREEDING OF EQUINES
RESIDENTIAL ACCESSORY USES
SIGNS IN ACCORDANCE WITH CHAPTER 30
STABLE (BOARDING AND PRIVATE)
TEMPORARY USES
TEMPORARY USES CENTER
TEMPORARY CONSTRUCTION TRAILER

Barraco
and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
LANDSCAPE DESIGN
www.barraco.net
2201 N. W. 10TH AVE.
SUITE 200
FORT MYERS, FLORIDA 33902-2900
TEL: (888) 441-3189
FAX: (239) 441-3189
FLORIDA CERTIFICATE OF AUTHORIZATION
ENGINEERING 9995, SURVEYING 14,690

PREPARED FOR
ADAR
INVESTMENTS, LLC.
6901 LYONS ROAD
COCONUT CREEK, FLORIDA 33073

DEVELOPMENT REGULATIONS

MINIMUM LOT AREA	2 ACRES
MINIMUM LOT WIDTH	100'
MINIMUM LOT DEPTH	150'
MINIMUM FRONT SETBACK (PRIVATE STREET)	50'
MINIMUM FRONT SETBACK (PUBLIC STREET)	50'
MINIMUM REAR SETBACK	25'
MINIMUM SIDE SETBACK	25'
MINIMUM FRONT YARD SEPARATION	30'
MINIMUM HEIGHT	35'
MINIMUM LOT COVERAGE	25%
STABLE SETBACK	35'

PROJECT DESCRIPTION
**AMAZING
GRACE
RPD**

THIS PLANS PRELIMINARY AND NOT FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

LOCATION	2201 N. W. 10TH AVE.
LOT AREA	100,000 SQ. FT.
LOT DEPTH	150 FEET
LOT WIDTH	100 FEET
OWNER	ADAR INVESTMENTS, LLC
DATE	01/12/2007
PROJECT	AMAZING GRACE RPD
SHEET	3

PLAN REVISIONS	
1-06	REVISED PER COMMENTS
1-11-78	REVISED PER COUNTY COMMENTS
1-11-78	REVISED PER COUNTY COMMENTS
1-11-78	REVISED PER COUNTY COMMENTS
1-11-78	REVISED PER COUNTY COMMENTS
PLAN REVISIONS	
APPROVAL, SUBMITTAL PLANS NOT FOR CONSTRUCTION	
PLAN REVISIONS	

SCHEDULE OF USES	
------------------	--

SCHEDULE OF USES

- 1) ALL EXOTIC VEGETATION SHALL BE REMOVED FROM THE DEVELOPMENT AREA ACCORDING TO A REMOVAL SCHEDULE ESTABLISHED AS PART OF THE DEVELOPMENT PERMIT. THE REMOVAL OF EXOTIC VEGETATION SHALL BE MAINTAINED FREE OF EXOTICS IN PERPETUITY.
- 2) DRAINAGE WILL BE ACCOMMODATED THROUGH THE USE OF LAKE OR POND AND BE DIFFERENT WITHOUT ALTERING THE NATURAL DRAINAGE PATTERN. DRAINAGE SHALL BE ACCOMMODATED WITH ALL SETBACK REQUIREMENTS SET FORTH HEREIN.
- 3) LAKE EDGES WILL BE SMOOTH IN ACCORDANCE WITH LEE COUNTY REGULATIONS.
- 4) MAY NOT TO EXCEED DEPTHS BELOW 5' ABOVE CONFINING LAYER PER SWFCD.

DEVIATION DETAIL

N.B.

ROADSIDE DRAIN

ROADSIDE DRAIN

DEVIATION DETAIL

N.B.

	1 unit / 2 ac.
MAXIMUM DENSITY (DOWELLING UNIT/ACRE)	7500
MINIMUM LOT AREA	1000
MINIMUM LOT WIDTH	100
MINIMUM LOT DEPTH	100
MINIMUM WATER SETBACK	20
MINIMUM FRONT SETBACK (PRIVATE STREET)	50
MINIMUM REAR SETBACK	25
MINIMUM SIDE SETBACK	25
MINIMUM BUILDING SEPARATION	20
MAXIMUM HEIGHT	35
MAXIMUM LOT COVERAGE	25%
STABLE SETBACK	35'

P and Associates, Inc.

www.barraco.net

2271 MCGREGOR BOULEVARD
POST OFFICE DRAWER 2600
FORT MYERS, FLORIDA 33902-2600
PHONE (239) 461-3170
FAX (239) 461-3100

FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

ADAR

INVESTMENTS, LLC.

6601 LYONS ROAD
BUILDING B-8
COCONUT CREEK, FLORIDA 33073

PROJECT DESCRIPTION

AMAZING
GRACE
RPD

TOWNSHIP 43 SOUTH
RANGE 27 EAST
CITY, COUNTY, FLORIDA

THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL PLANNING PURPOSES ONLY. SITE LAYOUT AND LAND USE INTENSITIES OR DENSITIES MAY CHANGE SIGNIFICANTLY BASED UPON SURVEY ENVIRONMENTAL, ENGINEERING AND REGULATORY CONSTRAINTS AND / OR OPPORTUNITIES.
* NOT FOR CONSTRUCTION *

© COPYRIGHT 2006, BARNARD AND ASSOCIATES, INC.
REPRODUCTION, CHANGES OR ADAPTATIONS ARE PROHIBITED.

FILE NAME	22714203.DWG
LAYOUT	LAYOUT1

PLOT DATE	FRI, 6-2-2006 - 1
-----------	-------------------

DESIGN BY	
-----------	--

CROSS REFERENCED DRAWINGS

10

10

PLAN REVISIONS	
----------------	--

--	--

--	--

--	--

--	--

EXHIBIT 6

--

PROJECT / FILE NO.	SR
--------------------	----

17100

RECEIVED

JUN 1997



Notes

- 1 Mapping based on photointerpretation of 2002 aerial photography and ground truthing in October 2005
- 2 Property boundary and wetland delineation lines obtained from Barraco and Associates, Inc.
- 3 Delineation of jurisdictional wetlands and SH-WT locations approved by Janette Harris of the SFPHD on 8/4/06 and subject to field review/approval by the US Army Corps Of Engineers

A horizontal scale bar with markings at 0, 100, and 200 feet. The word "SCALE" is written vertically on the left, and "FEET" is written vertically on the right.

DCI 2006-00055



MASTER CONCEPT PLAN
FOR

AMAZING GRACE RPD

PART OF SECTION 10, TOWNSHIP 43 SOUTH, RANGE 27 EAST
FORT MYERS, LEE COUNTY, FLORIDA

SITE ADDRESS

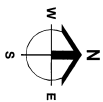
19211 PERSIMMON RIDGE RD. ALVA, FL 33920
21725 AMAZING GRACE LN. ALVA, FL 33920
21701 AMAZING GRACE LN. ALVA, FL 33920
21749 AMAZING GRACE LN. ALVA, FL 33920
19225 PERSIMMON RIDGE RD. ALVA, FL 33920
21750 AMAZING GRACE LN. ALVA, FL 33920
21777 AMAZING GRACE LN. ALVA, FL 33920
ACCESS UNDETERMINED ALVA, FL 33920

STRAP NUMBERS

10-43-27-00-00001 2000 10-43-27-00-00001 2020
10-43-27-00-00001 2050 10-43-27-00-00001 2080
10-43-27-00-00001 203A 10-43-27-00-00001 2010
10-43-27-00-00001 2040 10-43-27-00-00001 2060
10-43-27-00-00001 2090

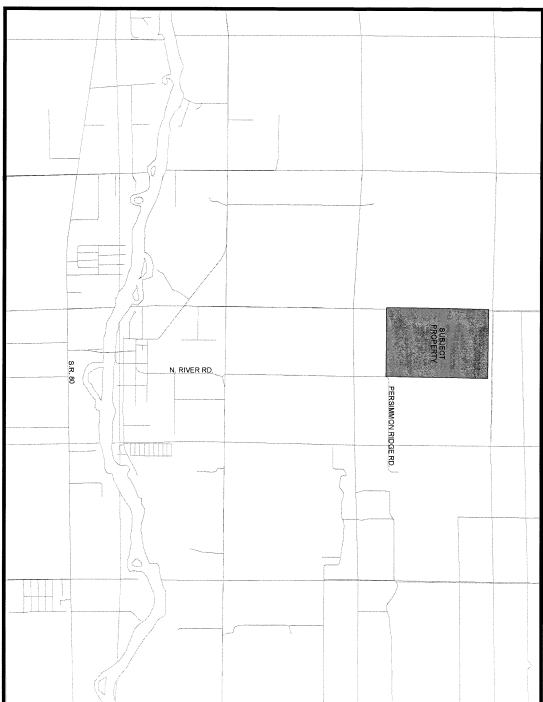
ZONING

CURRENT ZONING: AG-2 ZONING
REQUEST: RPD
FUTURE LAND USE: OPEN LANDS



VICINITY MAP
0 1000 2000 4000
SCALE IN FEET

PROJECT LOCATION



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	EXHIBIT	DRAWING NAME(S)
1	COVER SHEET AND LOCATION MAP		22274-201.DWG
2	MASTER SITE PLAN	6-C, 6-J	22274-202.DWG
3	DEVELOPMENT REGULATIONS AND USES DETAILS AND CROSS SECTIONS	6-M	22274-203.DWG
4	EXISTING SITE CONDITIONS MAP & ADJACENT ZONING AND USES	6-C, 6-D	22274-205.DWG

ADDITIONAL EXHIBITS

EXHIBIT

6-E
1-B

SOLS MAP
ARCHAEOLOGICAL MAP

CROSS-REFERENCED DRAWINGS

XREF NO.	DESCRIPTION	DRAWING NAME
A	LOCATION MAP - LEE COUNTY 44-25	LEEMAP.DWG



001 2006-00055

THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE LAYOUT AND LAND USE
INTENSITIES OR DENSITIES MAY CHANGE SIGNIFICANTLY
BASED UPON SURVEY, ENVIRONMENTAL, ENGINEERING, AND
REGULATORY CONSTRAINTS AND/OR MARKET CONDITIONS.
NOT FOR CONSTRUCTION.

Batracco
and Associates, Inc.

CIVIL ENGINEERING - LAND SURVEYING
AND PLANNING - LANDSCAPE DESIGN
www.batracco.net

2271 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33908
PHONE (239) 461-3170
FAX (239) 461-3189

PROFESSIONAL CERTIFICATE OF AUTHORIZATION
FOR THE STATE OF FLORIDA
EXPIRATION DATE: 12/31/2006

PREPARED FOR

ADAR
INVESTMENTS, LLC.

6601 LYONS ROAD
BUILDING B
COCONUT CREEK, FLORIDA 33075

PROJECT DESCRIPTION

AMAZING
GRACE
RPD

PART OF SECTION 10
TOWNSHIP 43 SOUTH
RANGE 27 EAST
LEE COUNTY, FLORIDA

THIS PLAN IS PRELIMINARY AND
INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE
LAYOUT AND LAND USE
INTENSITIES OR DENSITIES MAY
CHANGE SIGNIFICANTLY
BASED UPON SURVEY,
ENVIRONMENTAL, ENGINEERING
AND/OR MARKET
CONSTRAINTS AND/OR
MARKET CONDITIONS.
NOT FOR CONSTRUCTION.

NOT VALID WITHOUT REGISTERED SEAL, SIGNATURE AND DATE
OF THE ENGINEER. CHANGES OR ADDITIONS TO THE
DRAWING MUST BE MADE ON A SEPARATE SHEET.

FILE NAME	22274-201.DWG
LAYOUT	COVER
LOCATION	1/2274-201.DWG
PLOT DATE	TUE 10-3-2006 2:28 PM
PLOT BY	SHARLE JOHNSON
DESIGNED BY	

CROSS-REFERENCED DRAWINGS

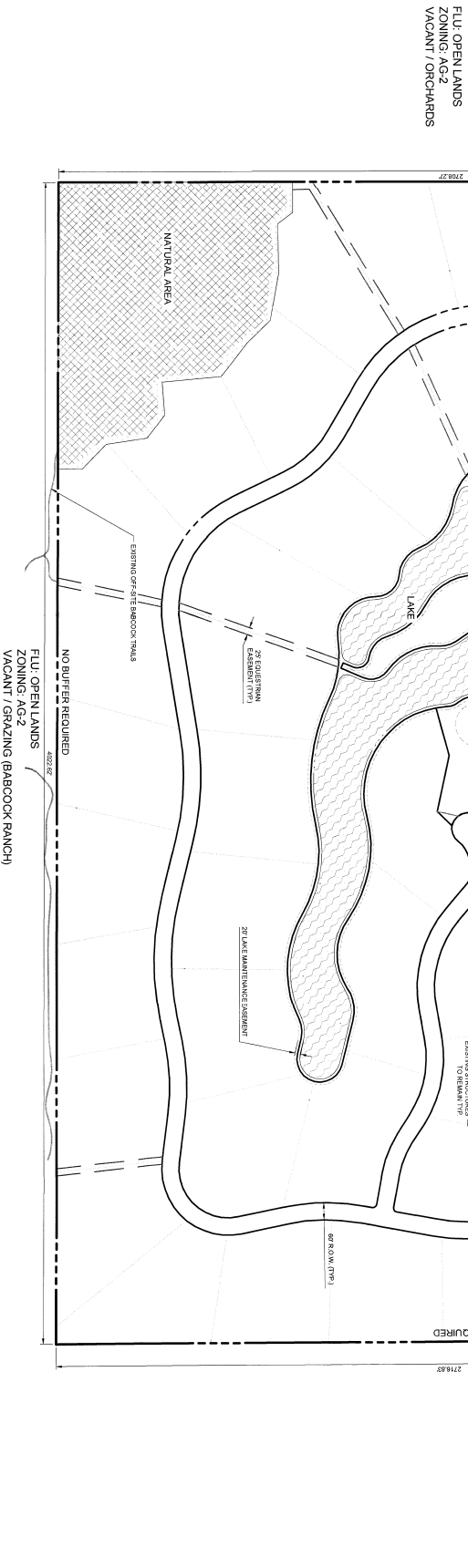
MAP - LEEMAP.DWG

PLAN REVISIONS
APPROVAL, SUBMITTALS PLAN NOT FOR CONSTRUCTION
COVER SHEET AND LOCATION MAP

PROJECT FILE NO.	22274
SHEET NUMBER	1

FLU: OPEN LANDS
ZONING: AG-2
VACANT / GRAZING

FLU: OPEN LANDS
ZONING: AG-2
RESIDENTIAL SINGLE FAMILY



LEGEND

- PROPOSED NATURAL AREA
- PROPOSED LAKE
- PROPOSED POINT OF INTERESTS
- OPTIONAL LOCATION

LAND USE TABLE	
PARCEL	ACRES ±
RESIDENTIAL	168.59
RECREATION	7.13
WATER/COASTAL	1.82
WATER/COASTAL	1.82
NATURAL AREA	35.36
OTHER OPEN SPACE	4.35
TOTAL	230.00

061 2006-00055

EXHIBIT 6-C, 6-J



PLANNING
JULY 8, 2005

Barraco
and Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING - LANDSCAPE DESIGN
www.barraco.net
2771 MCGREGOR BOULEVARD
FORT MYERS, FLORIDA 33902-2800
PHONE (239) 461-3170
FAX (239) 461-3169
TELEFAX (239) 461-3169
ENGINEERING 7951 - SUBMITTING 6-2005

ADAR
INVESTMENTS, LLC.
6601 LYONS ROAD
BUILDING B4
COCONUT CREEK, FLORIDA 33072

AMAZING
GRACE
RPD

PART OF SECTION 15
TOWNSHIP 43 SOUTH
RANGE 27 EAST
LEE COUNTY, FLORIDA

THIS PLAN IS PRELIMINARY AND
INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE
PLANNING AND ENGINEERING
LAYOUT OR DENSITIES MAY CHANGE
SIGNIFICANTLY BASED UPON SURVEY,
ENVIRONMENTAL, ENGINEERING AND
OTHER FACTORS. THIS PLAN IS
NOT FOR CONSTRUCTION.

TITLE NAME	22274 AG-2 2005
LAYOUT	LAYOUT
LOCATION	122274 AG-2 2005
PLAT DATE	THU 10-5-2006 2:48 PM
PLAT BY	SHIRLEY JOHNSON
DESIGN BY	
CROSS REFERENCED DRAWINGS	BABCOCK 22274 AG-2 2005

PLAN REVISIONS	
NO. 1	REVISIONS
NO. 2	REVISIONS
NO. 3	REVISIONS
NO. 4	REVISIONS
NO. 5	REVISIONS
NO. 6	REVISIONS
NO. 7	REVISIONS
NO. 8	REVISIONS
NO. 9	REVISIONS
NO. 10	REVISIONS
NO. 11	REVISIONS
NO. 12	REVISIONS
NO. 13	REVISIONS
NO. 14	REVISIONS
NO. 15	REVISIONS
NO. 16	REVISIONS
NO. 17	REVISIONS
NO. 18	REVISIONS
NO. 19	REVISIONS
NO. 20	REVISIONS
NO. 21	REVISIONS
NO. 22	REVISIONS
NO. 23	REVISIONS
NO. 24	REVISIONS
NO. 25	REVISIONS
NO. 26	REVISIONS
NO. 27	REVISIONS
NO. 28	REVISIONS
NO. 29	REVISIONS
NO. 30	REVISIONS
NO. 31	REVISIONS
NO. 32	REVISIONS
NO. 33	REVISIONS
NO. 34	REVISIONS
NO. 35	REVISIONS
NO. 36	REVISIONS
NO. 37	REVISIONS
NO. 38	REVISIONS
NO. 39	REVISIONS
NO. 40	REVISIONS
NO. 41	REVISIONS
NO. 42	REVISIONS
NO. 43	REVISIONS
NO. 44	REVISIONS
NO. 45	REVISIONS
NO. 46	REVISIONS
NO. 47	REVISIONS
NO. 48	REVISIONS
NO. 49	REVISIONS
NO. 50	REVISIONS
NO. 51	REVISIONS
NO. 52	REVISIONS
NO. 53	REVISIONS
NO. 54	REVISIONS
NO. 55	REVISIONS
NO. 56	REVISIONS
NO. 57	REVISIONS
NO. 58	REVISIONS
NO. 59	REVISIONS
NO. 60	REVISIONS
NO. 61	REVISIONS
NO. 62	REVISIONS
NO. 63	REVISIONS
NO. 64	REVISIONS
NO. 65	REVISIONS
NO. 66	REVISIONS
NO. 67	REVISIONS
NO. 68	REVISIONS
NO. 69	REVISIONS
NO. 70	REVISIONS
NO. 71	REVISIONS
NO. 72	REVISIONS
NO. 73	REVISIONS
NO. 74	REVISIONS
NO. 75	REVISIONS
NO. 76	REVISIONS
NO. 77	REVISIONS
NO. 78	REVISIONS
NO. 79	REVISIONS
NO. 80	REVISIONS
NO. 81	REVISIONS
NO. 82	REVISIONS
NO. 83	REVISIONS
NO. 84	REVISIONS
NO. 85	REVISIONS
NO. 86	REVISIONS
NO. 87	REVISIONS
NO. 88	REVISIONS
NO. 89	REVISIONS
NO. 90	REVISIONS
NO. 91	REVISIONS
NO. 92	REVISIONS
NO. 93	REVISIONS
NO. 94	REVISIONS
NO. 95	REVISIONS
NO. 96	REVISIONS
NO. 97	REVISIONS
NO. 98	REVISIONS
NO. 99	REVISIONS
NO. 100	REVISIONS

MASTER
CONCEPT
PLAN

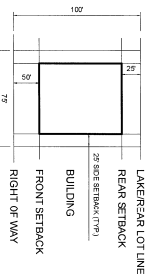
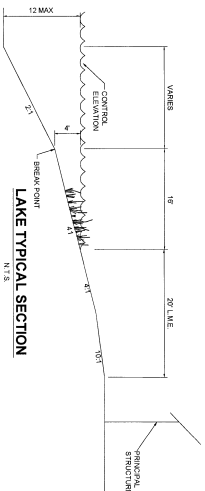
PROJECT FILE NO.	SHEET NUMBER
22274	2

1. DEVIATION FROM LDC SECTION 10-416(c)(6) WHICH REQUIRES A SOLID WALL OR COMBINATION OF BERM AND SOLID WALL NO LESS THAN EIGHT FEET IN HEIGHT TO BE CONSTRUCTED WHERE A ROAD IS LOCATED LESS THAN 125 FEET FROM AN EXISTING SINGLE FAMILY RESIDENTIAL LOT.

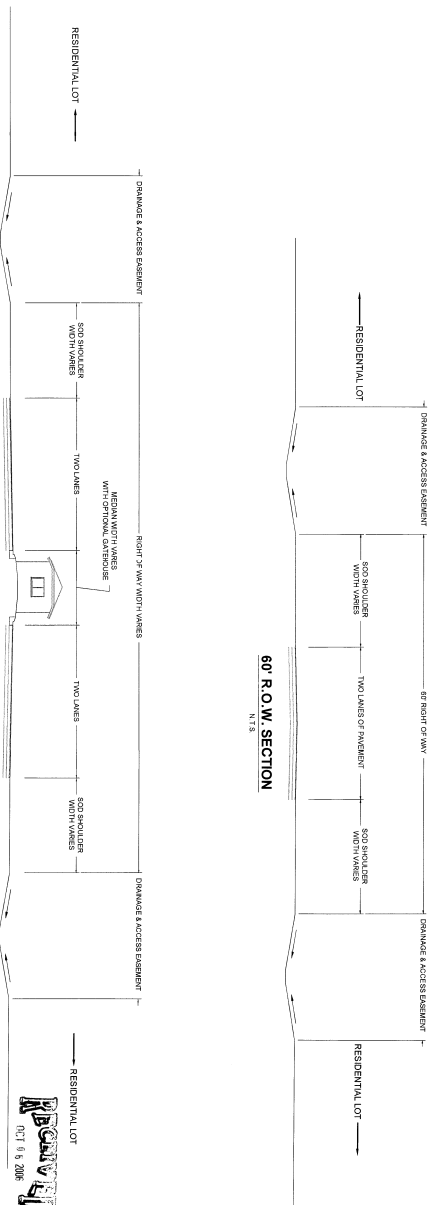
- 1) ALL EXOTIC VEGETATION SHALL BE REMOVED FROM THE DEVELOPMENT AREA ACCORDING TO A REMOVAL SCHEDULE ESTABLISHED AS PART OF THE DEVELOPMENT. PRIOR TO THE SITE BEING PARTIALLY FREE OF EXOTICS IN PERPETUITY
- 2) DRAINAGE WILL BE ACCOMMODATED THROUGH THE USE OF SWALES, AND/OR RETENTION AREAS. THE LOCATION OF A LAKE OR POND MAY BE REFINED WITH/OUT AMENDING THE COMP LASED ON DETAILED SITE ENGINEERING AND COMPLIANCE WITH ALL SETBACK REQUIREMENTS SET FORTH HEREIN
- 3) LAKE EDGES WILL BE SIMULOUS IN ACCORDANCE WITH LEE COUNTY REGULATIONS.
- 4) LAKE DEPTH NOT TO EXCEED 12'

ACCESSORY USES AND STRUCTURES
DWELLING UNIT - SINGLE FAMILY
ENTRANCE GATES AND GATEHOUSE
ESSENTIAL SERVICES
ESSENTIAL SERVICE FACILITIES (GROUP 1 ONLY)
EXCAVATION - WATER RETENTION
FENCES, WALLS
FLOOD PROTECTION
HOUSEHOLD WASTE (H) (U)
MAINTENANCE BUILDINGS
RECREATIONAL FACILITIES PRIVATE, ON-SITE
RESIDENTIAL ACCESSORY USES
SIGNS IN ACCORDANCE WITH CHAPTER 30
STABLE, BOARDING (AND PRIVATE)
TEMPORARY USES
TEMPORARY SALES CENTER
TEMPORARY CONSTRUCTION TRAILER

MINIMUM LOT AREA	1500
MINIMUM LOT WIDTH	75
MINIMUM LOT DEPTH	100
MINIMUM WATER SETBACK	25
MINIMUM FRONT SETBACK (PRIVATE STREET)	50
MINIMUM REAR SETBACK	25
MINIMUM SIDE SETBACK	25
MINIMUM SIDE SETBACK SEPARATION	25
MAXIMUM HEIGHT	35
MAXIMUM LOT COVERAGE	35
STABLE SETBACK	20



SINGLE FAMILY (RI)
MIN. LOT AREA 7,500 SQ.FT.
N.T.S.

[illegible]

AMAZING GRACE RPD

SITE ADDRESS

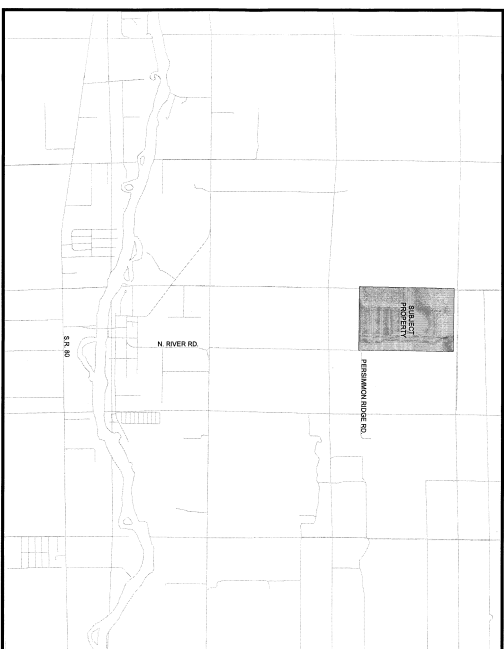
19211 PERSIMMON RIDGE RD. ALVA, FL 33920
21725 AMAZING GRACE LN. ALVA, FL 33920
21701 AMAZING GRACE LN. ALVA, FL 33920
21749 AMAZING GRACE LN. ALVA, FL 33920
19225 PERSIMMON RIDGE RD. ALVA, FL 33920
21770 AMAZING GRACE LN. ALVA, FL 33920
217177 AMAZING GRACE LN. ALVA, FL 33920
ACCESS UNDETERMINED ALVA, FL 33920

STRAP NUMBERS

10-43-27-00-00001.2000 10-43-27-00-00001.2020
10-43-27-00-00001.2050 10-43-27-00-00001.2080
10-43-27-00-00001.203A 10-43-27-00-00001.2010
10-43-27-00-00001.2040 10-43-27-00-00001.2060
10-43-27-00-00001.2090

ZONING

CURRENT ZONING: AG-2 ZONING
REQUEST: RPD
FUTURE LAND USE: OPEN LANDS



INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION	EXHIBIT	DRAWING NAME(S)
1	COVER SHEET AND LOCATION MAP		22274-201.DWG
2	MASTER SITE PLAN	6-C, 6-J	22274-202.DWG
3	DETAILED REGULATIONS AND USES	6-M	22274-203.DWG
4	EXISTING SITE CONDITIONS MAP & ADJACENT ZONING AND USES	6-C, 6-D	22274-205.DWG
ADDITIONAL EXHIBITS		EXHIBIT	
*	SOILS MAP	6-E	
*	ARCHAEOLOGICAL MAP	1-B	

CROSS-REFERENCED DRAWINGS

XREF NO.	DESCRIPTION	DRAWING NAME
A	LOCATION MAP - LEE COUNTY 44-25	LEEMAP.DWG

THIS PLAN IS PRELIMINARY AND INTENDED FOR CONCEPTUAL PLANNING PURPOSES ONLY. SITE LAYOUT AND LAND USE INTENSITIES OR DENSITIES MAY CHANGE SIGNIFICANTLY BASED UPON SURVEY, ENVIRONMENTAL, ENGINEERING, AND REGULATOR CONSTRAINTS AND/OR MARKET CONDITIONS. NOT FOR CONSTRUCTION.

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

[illegible]

FLU-OPENLANDS
ZONING AG-2
VACANT / GRAZING

FLU-OPENLANDS
ZONING AG-2
RESIDENTIAL SINGLE FAMILY

PROPOSED AREA
W/IN PROPOSED
TOTAL PROPOSED
AREA

OPTIONAL LATERAL ENTRY
WITH NO BUFFER

PERSONALITY ROAD
(CA. 1/2 MILE D)

ADAR

INVESTMENTS, LLC.

6801 LYONS ROAD
COCOA BEACH, FLORIDA 32923

FLU-OPENLANDS
ZONING AG-2
RESIDENTIAL SINGLE FAMILY

AMAZING
GRACE
RPD

PART OF SECTION 10
TOWNSHIP 27 S
RANGE 27 E
LEE COUNTY, FLORIDA

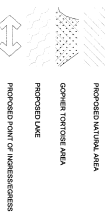
THIS PLAN IS PRELIMINARY AND
INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY. SITE
LAYOUT, LOT SIZES, AND DENSITIES
MAY CHANGE BASED UPON SURVEY
AND/OR REGULATORY CONSTRAINTS
AND/OR OPPORTUNITIES.
NOT FOR CONSTRUCTION.

PREPARED BY: ADAR INVESTMENTS, LLC
DATE: 11/17/2016

PROJECT: 22274-001-000
LOCATION: 12345678901234567890
PROJECT DATE: 11/17/2016
DESIGNED BY: JENNIFER HARRIS
CHECKED BY: JENNIFER HARRIS
DATE: 11/17/2016

MASTER PLAN: 22274-001-000

LEGEND



FLU-OPENLANDS
ZONING AG-2
VACANT / GRAZING (BABCOCK RANCH)

LAND USE TABLE

PARCEL	ADAR #
RESIDENTIAL	158.88
OPEN WETLAND	15.88
WETLAND	15.88
LAKE	15.88
NATURAL AREA	15.88
OTHER (OPEN SPACE)	15.88
TOTAL	207.00

EXHIBIT 3-C, 6-J

MASTER
CONCEPT
PLAN

PROJECT / FILE NO. 22274
SHEET NUMBER 2

DCI 2006-00055

