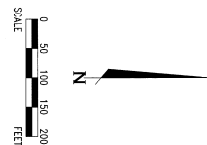
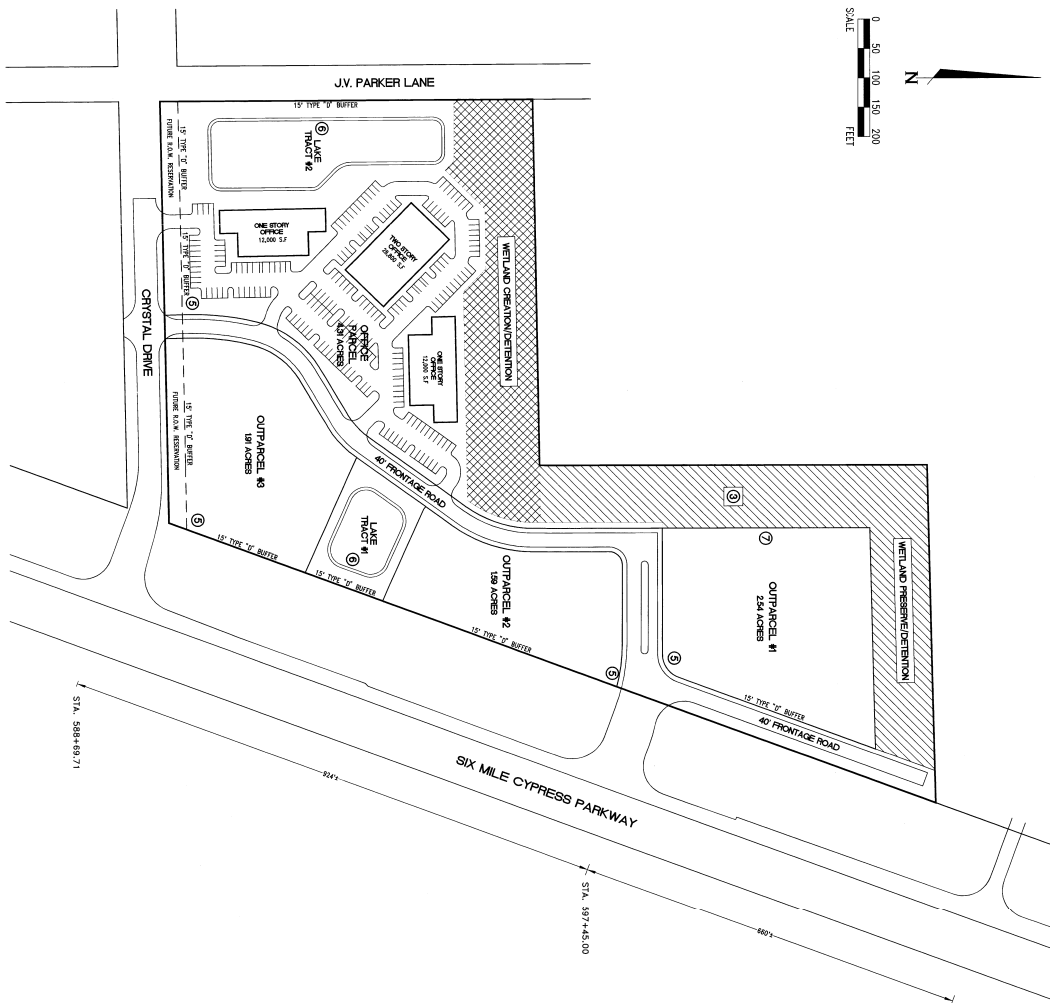




Maps for

Case #: DCI2005-00101



- LEGEND**
- ① APPROVED DEVIATION
 - WETLAND PRESERVATION AREA
 - WETLAND CREATION AREA

PROJECT SUMMARY

19.07 ACRES
 MAXIMUM BUILDING AREA: 150,000 S.F.
 LAND USE CLASSIFICATION: CENTRAL URBAN
 ZONING: LEE COUNTY UTILITIES
 WATER & SEWER: LEE COUNTY UTILITIES
 FLOOD ELEVATION: 8 FEET
 SEE ZONING RESOLUTION FOR DETAILS

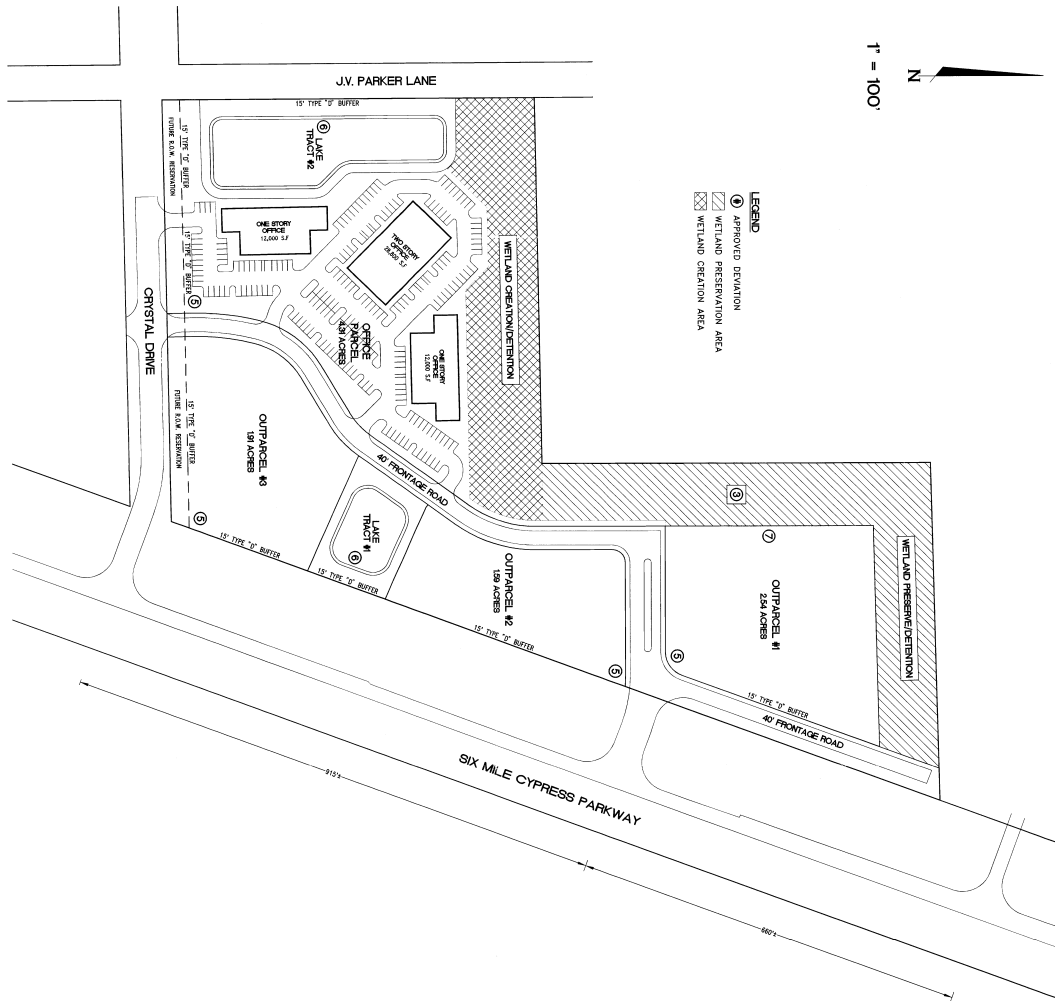
OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED:
 (19.07 ACRES X 50%) 9.54 ACRES

OPEN SPACE PROVIDED:

| Parcel | Area (Acres) | Open Space (Acres) |
|----------------------------------|--------------|--------------------|
| OUTPARCEL #1 (2.4 ACRES X 50%) | 2.4 | 1.2 |
| OUTPARCEL #2 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #3 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #4 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #5 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #6 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #7 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #8 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #9 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #10 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #11 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #12 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #13 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #14 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #15 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #16 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #17 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #18 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #19 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #20 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #21 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #22 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #23 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #24 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #25 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #26 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #27 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #28 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #29 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #30 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #31 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #32 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #33 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #34 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #35 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #36 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #37 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #38 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #39 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #40 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #41 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #42 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #43 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #44 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #45 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #46 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #47 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #48 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #49 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #50 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #51 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #52 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #53 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #54 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #55 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #56 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #57 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #58 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #59 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #60 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #61 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #62 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #63 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #64 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #65 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #66 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #67 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #68 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #69 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #70 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #71 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #72 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #73 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #74 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #75 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #76 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #77 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #78 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #79 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #80 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #81 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #82 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #83 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #84 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #85 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #86 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #87 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #88 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #89 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #90 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #91 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #92 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #93 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #94 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #95 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #96 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #97 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #98 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #99 (1.9 ACRES X 50%) | 1.9 | 0.95 |
| OUTPARCEL #100 (1.9 ACRES X 50%) | 1.9 | 0.95 |

APPROVED
 Date: 04/06
 Signature: [Signature]
 Title: [Title]
 Case # 1212005-1000



PROJECT SUMMARY

TOTAL SITE AREA: 19.07 ACRES
 MAXIMUM BUILDING AREA: 150,000 S.F.
 MAXIMUM LOT AREA: 100,000 S.F.
 EXISTING ZONING: CPD
 PROPOSED ZONING: CPD
 FLOOD ELEVATION: 8 FEET
 FLOOD DISTRICT: SOUTH TRAIL
 SEE ZONING RESOLUTION FOR DETAILS

SITE DEVELOPMENT STANDARDS

MINIMUM LOT AREA AND DIMENSIONS:
 MINIMUM LOT AREA: 100,000 S.F.
 MINIMUM LOT WIDTH: 100 FEET
 MINIMUM LOT DEPTH: 100 FEET
 MINIMUM SETBACKS:
 SIX MILE CYPRESS PARKWAY: 25 FEET
 CRYSTAL DRIVE: 25 FEET
 WETLAND PRESERVATION AREA: 15 FEET
 SIDE YARD: 20 FEET
 WATER ROOT: 35 FEET
 MAXIMUM BUILDING HEIGHT: 45 FEET
 MINIMUM OPEN SPACE REQUIRED: 30%²
² SEE OPEN SPACE CALCULATIONS BELOW

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED:
 (19.07 ACRES X 30%)
 5.72 ACRES
 OPEN SPACE PROVIDED:
 OUTPARCEL #1 (1.91 ACRES X 20%) 0.38 ACRES
 OUTPARCEL #2 (1.29 ACRES X 20%) 0.26 ACRES
 OUTPARCEL #3 (1.91 ACRES X 20%) 0.38 ACRES
 WETLAND PRESERVATION AREA 2.46 ACRES
 WETLAND CREATION AREA 1.47 ACRES
 LAKE TRACT #1 0.53 ACRES
 LAKE TRACT #2 0.53 ACRES
 TOTAL 6.93 ACRES

SCHEDULE OF DEVIATIONS

DEVIATION #1 - DENIED PER ZONING RESOLUTION
 DEVIATION #2 - APPROVED PER ZONING RESOLUTION
 DEVIATION #3 - APPROVED PER ZONING RESOLUTION
 DEVIATION #4 - APPROVED PER ZONING RESOLUTION
 DEVIATION #5 - APPROVED PER ZONING RESOLUTION
 DEVIATION #6 - APPROVED PER ZONING RESOLUTION
 DEVIATION #7 - APPROVED PER ZONING RESOLUTION
 DEVIATION #8 - WITHDRAWN BY APPLICANT

WFL 2005-00101

0107

MASTER CONCEPT PLAN
 CARISSA CPD

SEC 17, TWP 45S, RGE 25E.
 LEE COUNTY, FLORIDA

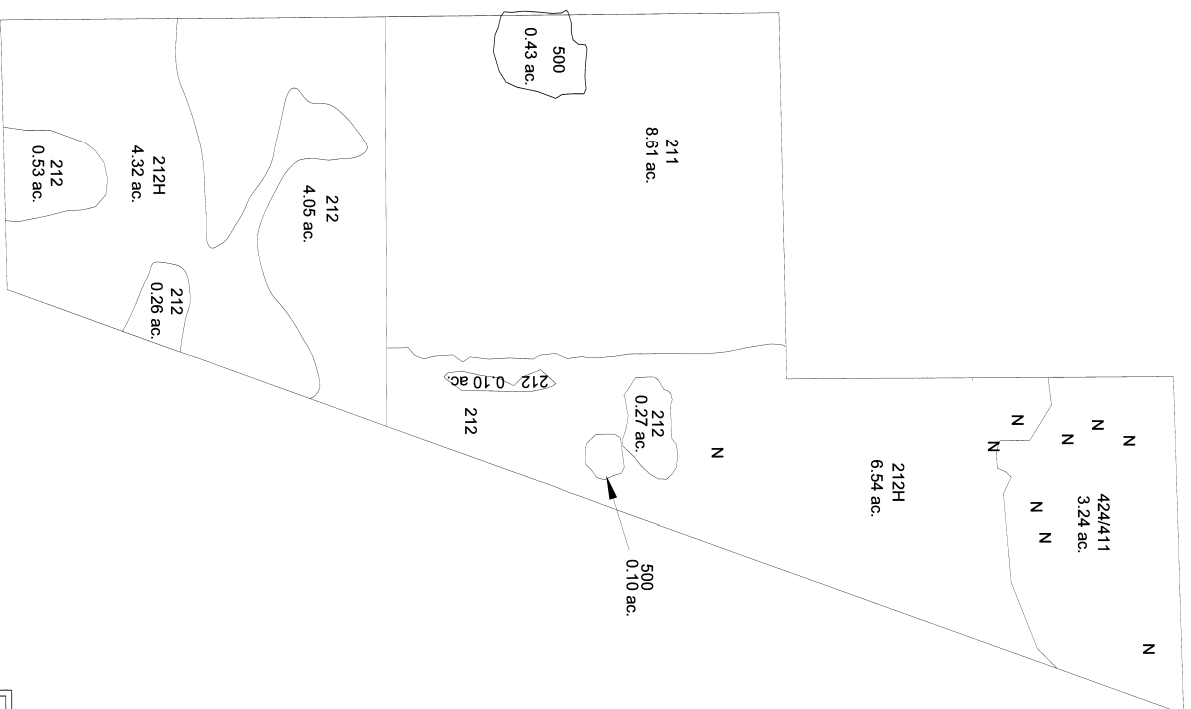


GARY F. MULLER, AICP

1482 ARGYLE DRIVE • FT. MYERS, FLORIDA 33919 • (239) 939-0111

| | |
|--------|---------|
| FILE # | 0107MCP |
| DATE | 10/05 |
| SCALE | NOTED |
| DESIGN | GFM |
| DRAWN | GFM |
| CHECK | GFM |

EXHIBIT 6-J



FLUCFCS Legend

| Code | Community | Wetland | | Upland |
|---------------------|----------------------------------|---------|------|--------|
| | | Wetland | OSW | |
| 211 | Improved Pasture | -- | -- | 8.61 |
| 212 | Unimproved Pasture | -- | -- | 5.21 |
| 212H | Hydric Unimproved Pasture | 10.86 | -- | -- |
| 424/411 | Melaleuca Invaded Pine Flatwoods | -- | -- | 3.24 |
| 500 | Excavated Pond | -- | 0.53 | -- |
| Wetland Total: | | 10.86 | 0.53 | 17.06 |
| OSW Total: | | | | |
| Total Site Acreage: | | 28.45 | | |

PROTECTED SPECIES SURVEY LEGEND

| | |
|---|---------------------|
| N | Nest-Like Structure |
|---|---------------------|

PROJECT #
075818
DRAWN BY:
K.K.

SCALE
1" = 100'
DATE
7-11-05

CARRISSA COMMERCIAL PARK
FLUCFCS and Protected Species Survey with Aerial

COUNTY:
LEE
TOWNSHIP:
45

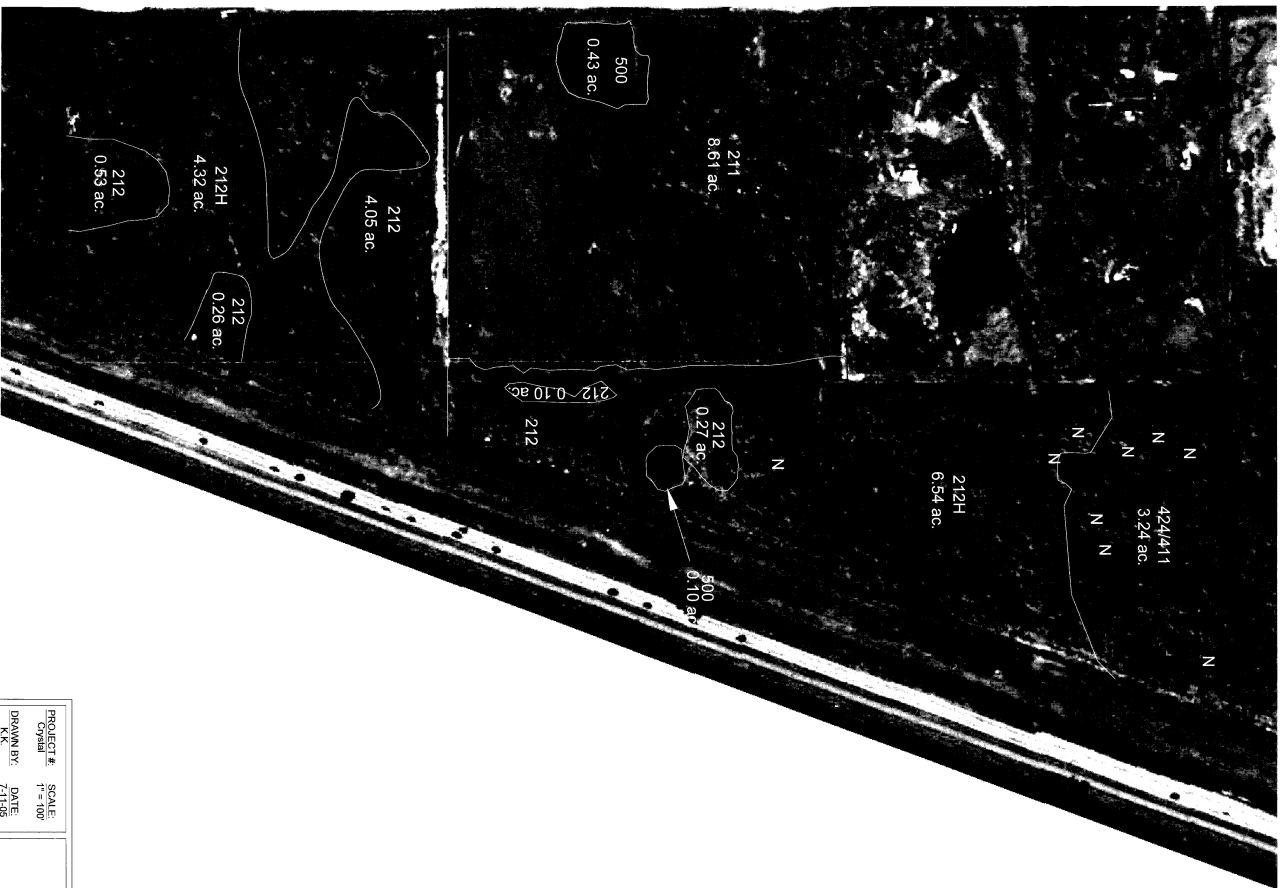
SECTION:
17
RANGE:
25

REVISIONS:
00
00

Boylan
Environmental
Consultants, Inc.
A Division of Boylan & Associates, Inc.
P.O. Box 1000
Fort Myers, FL 33902

11000 Metro Parkway, Suite 4
Fort Myers, FL 33912
Office (239) 414-0671
Fax (239) 414-0672

DWL 2005-00101



FLUCFCS Legend

| Code | Community | Wetland | | Upland |
|---------------------|----------------------------------|---------|------|--------|
| | | Wetland | OSW | |
| 211 | Improved Pasture | -- | -- | 8.61 |
| 212 | Unimproved Pasture | -- | -- | 5.21 |
| 212H | Hydric Unimproved Pasture | 10.86 | -- | -- |
| 424/411 | Melaleuca Invaded Pine Flatwoods | -- | -- | 3.24 |
| 500 | Excavated Pond | -- | 0.53 | -- |
| Wetland Total: | | 10.86 | 0.53 | 17.06 |
| OSW Total: | | | | |
| Total Site Acreage: | | 28.45 | | |

PROTECTED SPECIES SURVEY LEGEND

| | |
|---|---------------------|
| N | Nest-Like Structure |
|---|---------------------|

PROJECT #
07548
DRAWN BY:
K.K.

SCALE
1" = 100'
DATE
7-11-05

CARRISA COMMERCIAL PARK
FLUCFCS and Protected Species Survey with Aerial

COUNTY:
LEE
TOWNSHIP:
45

SECTION:
17
RANGE:
25

REVISIONS:
00
00

Boylan
Environmental
Consultants, Inc.

11000 Metro Parkway, Suite 4
P.O. Box 11000
Tampa, FL 33612
Phone: (813) 916-0075

WCL 2005-00101

MEMORANDUM
FROM THE
DEPARTMENT OF
COMMUNITY DEVELOPMENT
ZONING DIVISION

DATE: January 4, 2006

TO: File - DCISDCS-00101 FROM: Jamie Princing
Secretary, Internal Services

RE: Notice of Public Hearing - January 18, 2006 HEX

I, Jessica Smith, Secretary, Internal Services, Development Services Division, do hereby certify that I have mailed notices to the adjacent property owners on the above referenced date, in the attached style, pursuant to the list marked and attached hereto and made a part of this certification.

NOTICE TO PROPERTY OWNERS WITHIN 500 FEET

CASE NUMBER: DCI2005-00101

CASE NAME: CARISSA CPD

REQUEST: Reinstate the vacated Master Concept Plan for Carissa CPD (Resolution Z-97-029) for a maximum of 2 years. This planned development was approved for a mixed use commercial development consisting of 100,000 square feet of retail commercial floor area; 50,000 square feet of office space; and 100 hotel/motel units. The Master Concept Plan was extended once for two years on August 26, 2003.

LOCATION: The subject property is located at 12110 & 12150 Six Mile Cypress Pkwy and 12151 & 12211 JV Parker Ln, (Take US 41 S. to Colonial Blvd. and turn left. Head east for approx. 3 miles and turn right on Six Mile Cypress Pkwy. Head SE for approx. 3 miles. The property is on the west side of Six Mile Cypress Pkwy. approx. 660 feet south of Penzance Rd.), in S17-T45S-R25E, Lee County, FL.

SIZE OF PROPERTY: 19.00 Acres ±

STAFF REPORT: Direct inquiries to Alvin "Chip" Block, AICP, Principal Planner, at 479-8371 at the Department of Community Development, 1500 Monroe St., Ft. Myers, FL 33901.

PROPERTY OWNERS

REPRESENTATIVE : MR. GARY F MULLER
239-939-0111

Notice is hereby given that the Lee County Hearing Examiner will hold a public hearing at 9:00 AM on 01/18/2006 on the above case. The public hearing will be held in the Hearing Examiner's Meeting Room, 1500 Monroe St., Ft. Myers, FL 33901.

You must appear in person, or through counsel, or an authorized agent and provide testimony, legal argument or other evidence at the hearing to become a participant with the right to address the Board of County Commissioners.

After the Hearing Examiner has made a written recommendation, the case will be scheduled for a public hearing before the Board of County Commissioners who will review the recommendation and make a final decision.

If you do not appear before the Hearing Examiner, by law, you will not be allowed to appear before the Board of County Commissioners at the final hearing in this case.

Copies of the staff report will be available two weeks prior to the hearing. The file may be reviewed at the Development Services Division, 1500 Monroe St., Fort Myers, FL 33901. Call 239/479-8585 for additional information.

In accordance with the Americans with Disabilities Act, reasonable accommodations will be made upon request. If you are in need of a reasonable accommodation, please contact Jamie Prining at 239/479-8585.

DEPARTMENT OF COMMUNITY DEVELOPMENT
Development Services Division

08-45-25-00-00004.0000
WEINER KENNETH A TR +
4291 FULTON CIR
FORT MYERS, FL 33905

08-45-25-00-00004.0010
B + K ASSOCIATES
7220 MAIDA LN
FT MYERS, FL 33908

08-45-25-00-00004.0020
PENZANCE SQUARE LLC
12651 MCGREGOR BLVD STE 4-403
FORT MYERS, FL 33919

08-45-25-00-00004.0050
LEE COUNTY
P O BOX 398
FORT MYERS, FL 33902

17-45-25-00-00001.0000
SOUTH FLA WATER MGMT DIST
LAND MANAGEMENT
PO BOX 24680
WEST PALM BEACH, FL 33416

17-45-25-00-00004.0010
LEE COUNTY
P O BOX 398
FORT MYERS, FL 33902

17-45-25-01-00000.0100
PARKER JAMES V TR
P O BOX 6699
FORT MYERS, FL 33911

17-45-25-01-00000.0170
GALANG MARIA LOURDES D TR
P O BOX 07382
FORT MYERS, FL 33919

17-45-25-01-00000.0210
SAWYER WILLIAM + SONYA
P O BOX 69
MILTON, VT 05468

17-45-25-01-00000.0220
CYPRESS VILLAGES LLC
11000 METRO PKWY STE 30
FORT MYERS, FL 33912

17-45-25-01-00000.0250
URICH WILLIAM L + ALICE R
12031 JV PARKER LN
FT MYERS, FL 33912

17-45-25-01-00000.0260
NGUYET PHAM MINH
4449 E RIVERSIDE DR
FT MYERS, FL 33905

17-45-25-01-00000.0290
MILLER STEPHANIE TR
12651 MCGREGOR BLVD STE 4-403
FORT MYERS, FL 33919

17-45-25-01-00000.0300
MILLER STEPHANIE TR
12651 MCGREGOR BLVD STE 4-403
FORT MYERS, FL 33919

Stephanie Miller
12651 McGregor Blvd., Ste. 4-403
Ft. Myers, FL 33919

Gary Muller
1482 Argyle Drive
Ft. Myers, FL 33919

Mr. Ted Treesh
Metro Transportation Group
12651 McGregor Blvd. Ste. 4-403
Ft. Myers, FL 33919

Kit Kraft
Boylan Environmental Consult
100 Metro Pkwy. Ste 4
Ft. Myers, FL 33919

William B. Horner (*South Ft. Myers)
Lee County Port Authority
16000 Chamberlin Parkway, Suite 8671
Ft. Myers, FL 33913

Seymour Roche, President (*South Ft. Myers)
Page Park Community Association
507 Center Road
Ft. Myers, FL 33907

Sean O'Connell (*South Ft. Myers)
Page Park Community Association
110 Danley Drive
Ft. Myers, FL 33907

