

Case No.: ADD2004-00060

GIS Tracking Sheet

kwiktag®

022 565 644



Intake Date: 3/18/04

Project Name: Coconut Point MPD

STRAP Number(s): 04-47-25-00-00001.0000
09-47-25-00-00001.0010

Planner Name: ~~John Philpott~~ Ext. 8365
TYLER FRAZIER / Chip Block.

file on planner's desk

LEGAL DESCRIPTION VERIFICATION and INITIAL GIS MAPPING

Date: 01APRIL04

LEGAL SUFFICIENT

INTAKE: NA

☒ YES

☐ NO

Initials: *TF*

If not, give brief explanation:

DESCRIPTION APPROVED (but I also requested the description to be sent to us on 8.5x11) - rec'd 8.5x11 ✓

MAP UPDATE following FINAL ACTION

Date: 13JULY04

☐ Hearing Examiner Decision
☒ Administrative Approval PD

☐ Board of County Commissioner's Resolution
☐ Blue Sheet

Zoning Notes: ADD2004-00060(B) 08JULY04, ADD A DEVIATION FROM LDC FOR EXCAVATION SETBACK; CONDS
ADD2004-00060(A) 27MAY04, ADD TWO DEVIATIONS FROM LDC FOR TEMP SIGNS; CONDS.

MAP UPDATED

☒ YES

☐ NO

Initials: *TF*

If not, give brief explanation:

Note to MPD: 000760
:000761

ADD2004-00060(C) & ADD2004-00187(A), 11JAN06, COCONUT POINT MPD, CORRECTIONS TO THE ADMINISTRATIVE APPROVALS TAKEN IN ADD2004-00060, ADD2004-00060A, ADD2004-00060B AND ADD2004-00187.

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF ~~X~~ 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84. INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked
by *[Signature]* 01 APRIL 04

ADMINISTRATIVE AMENDMENTS (PD) ADD2004-00060(C) and ADD2004-00187(A)

**CORRECTIVE ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA**

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD; and

WHEREAS, in the actions taken in Case Numbers ADD2004-00060, ADD2004-00060A, ADD2004-00060B and ADD2004-00187 this did not completely address all of the applicant's requested changes; and

WHEREAS, it is found that it is appropriate to correct the actions taken for these two cases by adding the following action; and

WHEREAS, Staff and the applicant have reviewed this document finding that it completes the actions for Case Numbers ADD2004-00060, ADD2004-00060A, ADD2004-00060B and ADD2004-00187.

The subject property is located on US 41 between Williams and Coconut Roads in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in Resolution Number Z-02-009; and

WHEREAS, the subject property is located within the Urban Community Future Land Use Category of the Lee Plan; and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject applications have been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the amendments do not increase density or intensity within the development; do not decrease buffers or open space required by the LDC; do not underutilize public resources or infrastructure; do not reduce total open space, buffering, landscaping or preservation areas; and do not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that this action corrects the

administrative approvals taken in ADD2004-00060, ADD2004-00060A, ADD2004-00060B and ADD2004-00187 **APPROVING** the following:

1. The approved Schedule of Uses is hereby revised as provided for in attached Exhibit B. No other changes have been approved to the Schedule of Uses allowed within this planned development. The approved Property Development Regulations are hereby revised as provided for in attached Exhibit C. No other changes have been approved to the Property Development Regulations within this planned development.
2. In order to clarify the intent of the previous actions, the use of Dwelling Unit; multiple family building is a permitted use within Tract 2F.
3. In order to clarify the intent of the previous actions, the building height within Tract 2F is limited to a maximum of 40 feet. Buildings within Tract 2F may be constructed with a maximum of 3 stories over parking, so long as the building height of 40 feet is not exceeded.

DULY SIGNED this 11th day of January, A.D., 2006.

BY: Pam Houck
Pam Houck, Director
Division of Zoning
Department of Community Development

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF ~~X~~ 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF **X3**

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84.

INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked

by AMM 01 APRIL 04

EXHIBIT B

SCHEDULE OF PERMITTED USES

Permitted uses within Tract 1D

Accessory Uses and Structures permitted ancillary to a permitted principal use
Administrative offices
Banks and financial establishments, Group I (limited to 3 drive-thru teller lanes)
Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673
and 674
Business services, Groups I and II
Cultural facilities, excluding zoos
 Day care center, adult, child
 Emergency medical services station
Entrance gates and gatehouse, in compliance with LDC §34 1748
Essential services
Essential service facilities, Group I
Fences, walls
Fire station
Health care facility, Group III
Hobby, toy, and game shops
Household and office furnishings, Groups I, II, III (no outdoor display)
Insurance companies
Library
Medical office
Parks, Group II, limited to community park
Parking lot: Accessory
Personal services, Groups I, II, and III (excluding escort services, palm readers,
 fortunetellers, card readers, and tattoo parlors)
Place of worship
Police or sheriffs station
Post office
Real estate sales office
Religious facilities
Restaurants, Groups I, II, and III
Signs, in accordance with Chapter 30
Social Services, Groups I and II
Specialty retail shops, Groups I and II
Storage: Indoor only §34-3001 et seq.

Permitted uses within Tracts 2A and Tract 2B
(Regional Mall Parcel)

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Animal clinic

ATM (automatic teller machine)

Auto parts store

Auto repair and service, Group I, if accessory to a department store

Banks and financial establishments, Group I

Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674

Business services, Groups I and II

Cleaning and maintenance services

Clothing stores, general

Convenience Food and Beverage Store (limited to one, however, the entire site is limited to a maximum of two)

Consumption on premises in compliance with LDC §34-1264 (limited to and in conjunction with a standard restaurant)

Cultural facilities, excluding zoos

Day care center, adult, child

Department Store

Drive thru facility for any permitted use

Dwelling Units: (Tract 2A only)

*Single-family

*Duplex

Multiple-Family Building

Townhouse

*Two-family attached

*Zero lot line

*(may be approved administratively upon findings that the use is compatible with other uses in the tract and consistent with the Traffic Conversion Table)

Entrance gates and gatehouse, in compliance with LDC §34 1748

Essential services

Essential service facilities, Group I

Excavation, water retention (as shown on the Master Concept Plan)

Fences, walls

Food Store, Group I

Gift and souvenir shop

Hardware store

Hobby, toy, and game shops

Hotel/motel (Tract 2A only)

Household and office furnishings, Groups I, II, III (no outdoor display)

Insurance companies

Laundry or dry cleaning Group I

Lawn and garden stores
Nonstore retailers, all groups
Paint glass and wallpaper store
Parking garage
Parking lot: Accessory
Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
Pet services
Pet shop
Pharmacy
Police or sheriffs station
Real estate sales office
Recreation facilities, commercial, Groups I and IV (limited to indoor theater)
Rental or leasing establishments Groups I & II (excluding passenger car pick up and drop off)
Repair shops, Groups I and II, limited to clocks, jewelry, music, cameras, calculators, computers and optical devices
Restaurant, fast food (limited to one outside of food court/service area and the entire site is limited to a maximum of four outside of Regional Center food court/service area)
Restaurants, Groups I, II, III, and IV
Self service fuel pumps (limited to one in conjunction with a Convenience Food and Beverage Store, however entire site is limited to a maximum of two)
Signs, in accordance with Chapter 30
Specialty retail shops, Groups I, II, III and IV
Storage: Indoor only §34-3001 et seq.
Used merchandise stores, Group I
Variety store

Permitted uses within Tracts 2C, 2D, 2E and 2F

(Uses on Tract 2F are subject to Condition #20)

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Animal clinic

ATM (automatic teller machine)

Auto parts store (Tracts 2C, 2D and 2E only)

Auto repair and service, Group I (Tracts 2C, 2D and 2E only)

Banks and financial establishments, Group I

Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674

Business services, Group I and II

Cleaning and maintenance services

Clothing stores, general

Consumption on Premises, in compliance with LDC §34 1264 (limited to and in

conjunction with a standard restaurant)
Convenience Food and Beverage Stores, limited to one (on either Tract 2C, 2D or 2E only) however, the entire site is limited to a maximum of two.
Cultural facilities (excluding zoos)
Day Care Center, adult or child
Department Store
Drive thru facility for any permitted use (subject to Condition #19)
Drugstores, limited to one and the entire site is limited to a maximum of two
Dwelling Units: (Tract 2F only)
 Multiple-Family Building
Entrance gates and gatehouse, in compliance with LDC §34 1748
Essential services
Essential service facilities, Group I
Excavation, water retention (as shown on the Master Concept Plan)
Fences, walls
Fire Station (limited to Tract 2C only)
Food Stores, Groups I and II (prohibited on Tract 2F except for specialty stores such as health food store, vitamin store or similar type stores)
Gift and souvenir shop
Hardware store
Health care facility, Group III
Hobby, toy, and game shops
Hotel/motel (Tract 2C only)
Household and office furnishings, Groups I, II, III (no outdoor display)
Insurance companies
Laundromat (Tract 2C only)
Laundry or dry cleaning Group I
Lawn and garden store
Medical office
Non-store retailers, all groups
Paint glass and wallpaper store
Parking lot: Accessory only
Personal services, Groups I, II, and III (Tract 2C only, excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
Pet services
Pet shop
Pharmacy
Printing and publishing (Tract 2C only)
Real estate sales office
Recreational facilities, commercial, Groups I and IV (limited to indoor theater)
Rental and leasing establishments, Groups I and II (excluding passenger car pickup and drop off)
Repair shops, Groups I, II and III
Research and development laboratories, Groups II and IV

Restaurants, Fast-food, limited to one (total), however, the entire site is limited to a maximum of four outside of the Regional Center food court/service area

Restaurants, Groups I, II, III and IV

Signs, in accordance with Chapter 30

Social Services, Groups I and II (Tract 2C only)

Specialty retail shops, Groups I, II, III and IV

Storage: Indoor only §34-3001 et seq.

Used merchandise stores, Group I

Variety store

EXHIBIT C

DEVELOPMENT REGULATIONS

Tract 1A, 1B, 1C and 1D:

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet

Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

Tracts 1E, 1F, 3D and 3B: (formerly included Tract 2B-2)

Minimum Lot Size: Townhouse

Lot Width Per Unit	25 feet
Lot Depth Per Unit	80 feet
Lot Area Per Unit	2,000 square feet
Maximum Building Height	35 feet / 2 stories
Maximum Lot Coverage	50 percent

Minimum Setbacks:

Front (street, private)	20 feet
Front (street, public)	25 feet
Side	10 feet
Side (interior)	0 feet
Rear	15 feet (5 feet for an accessory structure)
Waterbody	25 feet (10 feet for an accessory structure)

Minimum Lot Size: Multiple Family Building

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	10,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	20 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

Tracts 2A, 2B, 2C, 2D, 2E, 3A and 3C:
(formerly included Tract 2B-1)

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height for Tract 2B and 3C: 45 feet / 3 stories

Maximum Building Height for Tract 2A and Tract 3A: 45 feet / 3 stories;
above 45 feet / 3 stories, not to
exceed 60 feet / 5 stories *

*subject to the following setback from Sandy Lane Extension:

Tract 2A 300 feet
Tract 3A 100 feet

RESIDENTIAL USES: (Tract 2A only)

Minimum Lot Size: Townhouse

Lot Width Per Unit	25 feet
Lot Depth Per Unit	80 feet
Lot Area Per Unit	2,000 square feet
Maximum Building Height	35 feet / 2 stories
Maximum Lot Coverage	50 percent

Minimum Setbacks:

Front (street, private)	20 feet
Front (street, public)	25 feet
Side	10 feet
Side (interior)	0 feet
Rear	15 feet (5 feet for an accessory structure)
Waterbody	25 feet (10 feet for an accessory structure)

Minimum Lot Size: Multiple Family Building

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	10,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	20 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

TRACT 2F: (formerly Tract 2E)

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 40 feet /3 stories over parking

ADMINISTRATIVE AMENDMENT (PD) ADD2004-00060(B)

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD **to add a deviation from LDC Section 10-329(d)(1)a.2 which requires that excavations must be setback 50 feet from any existing or proposed right-of-way line or easement; to allow a 25 foot setback** for property is located on US 41 between Williams and Coconut Roads in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in Resolution Number Z-02-009 (with subsequent amendments in case numbers DRI2000-00015; DCI2001-00005, ADD2004-00060, and ADD2004-00060(A)); and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application has been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for to amend the existing Mixed Use Planned Development to allow **add two deviations;**

1. **A deviation from LDC Section 10-329(d)(1)a.2 which requires that excavations must be setback 50 feet from any existing or proposed right-of-way line or easement; to allow:**
 - a. **a 30 foot setback from US 41;**
 - b. **a 25 foot setback from the proposed right-of-way of Sandy Lane; and**
 - c. **a 25 foot setback from Coconut Road.**

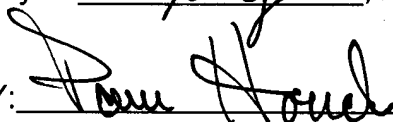
2. A deviation from LDC Section 10-329(d)(1)a.3 which requires that excavations be setback 50 feet of any property line under separate ownership; to allow a 25 foot setback from the property line adjoining the eastern property line.

These requests are hereby APPROVED with the following conditions:

1. Adequate measures must be taken for wayward vehicles in accordance with LDC Section 10-329(d)(1) a.2., could include but is not limited to the use of a surface water management berm along Coconut Road, detention swale along located along US 41, a surface water management berm and 15 foot wide street planting area with type "F" non-mountable curb and gutter along Sandy Lane.
2. Development must be substantially consistent with the List of Deviations and Justifications, stamped received on JUN 30, 2004, and Figures No. EX 1 through EX 4, stamped received on JUN 30, 2004.

DULY SIGNED this 8th day of July, A.D., 2004.

BY:



Pam Houck, Director
Division of Zoning
Department of Community Development

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF **X3**

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84.

INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked

by MM 01 APRIL 01

Exhibit IV-J-1

LIST OF DEVIATIONS AND JUSTIFICATION

Deviation #1

Deviation from LDC Section 10-329(d)(1)a.2. which states that no excavations will be allowed within 50 feet of any existing or proposed right of way line or easement for a collector or arterial street unless granted an administrative in accordance with LDC section 10-104. The setback may be reduced to not less than 25 feet if the developer provides for the protection of wayward vehicles through the use of guardrails, berms, swales, vegetation or other suitable methods as determined by the director. And from from LDC Section 10-329(d)(1)a.3. which states that no excavations will be allowed within 50 feet of any private property line under separate ownership unless granted an administrative in accordance with LDC section 10-104. This request is to allow a 30 feet lake setback from U.S. 41 (S.R. 45), a 25 feet lake setback from the proposed Sandy Lane Extension and existing Coconut Road and a 25 feet lake setback from a private property line under separate ownership.

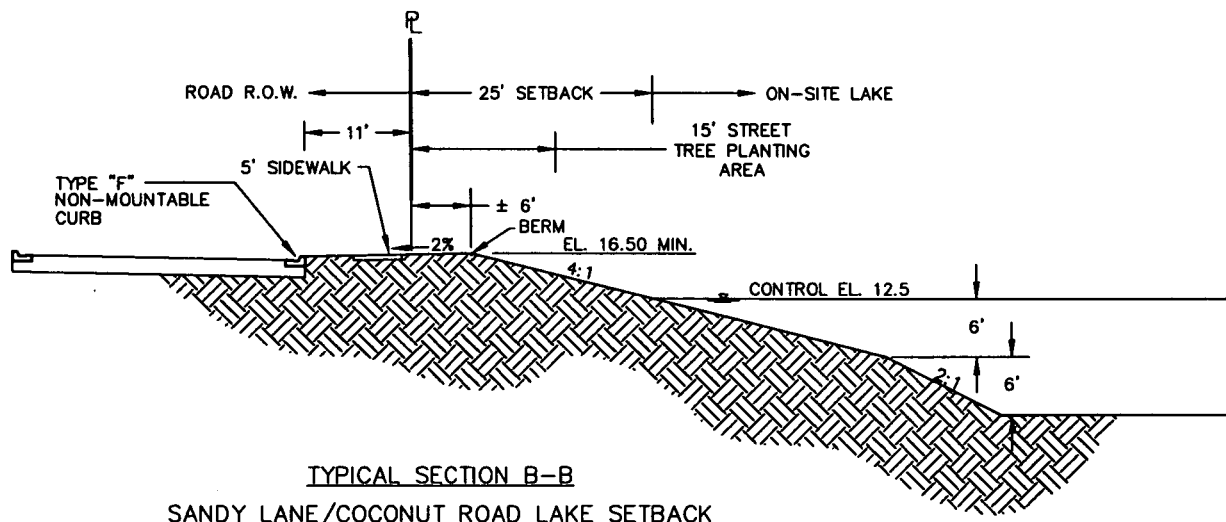
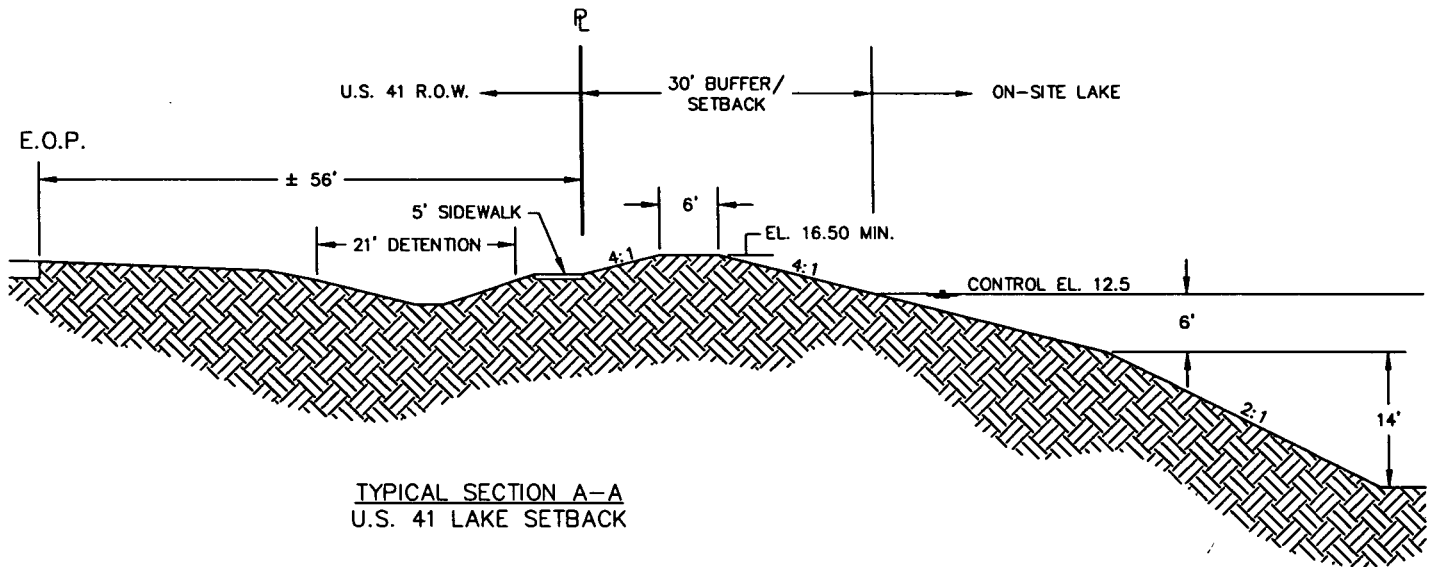
Justification for Deviation #1

Justification for the deviation will be in the form of alternate provisions for protection of wayward vehicles as mentioned in the code section. At the U.S. 41 location, a surface water management berm 30 feet buffer/vegetation will be provided at the right of way line per Coconut Point Zoning Resolution #Z-02-009. In addition, a detention swale is located within the U.S. 41 right of way between the travel lanes and the eastern right of way line. At the Sandy Lane locations, a surface water management berm and 15' street tree planting area along with type "F" non-mountable curb and gutter will be utilized to provide protection of vehicles. At the private property line locations, a surface water management berm will be provided.

ADD 2004-00060

RECEIVED
JUN 30 2004

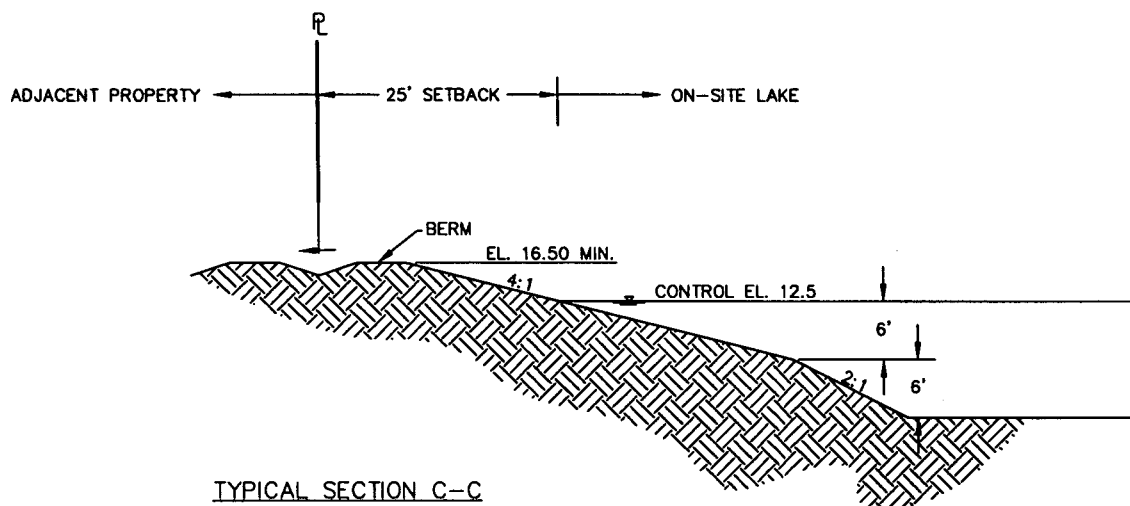
D. H.
ZONING COUNTER



RECEIVED
JUN 30 2004

ADD 2004-00060

SCALE: 1" = 20'



TYPICAL SECTION C-C
PRIVATE PROPERTY LAKE SETBACK

RECEIVED
JUN 30 2004

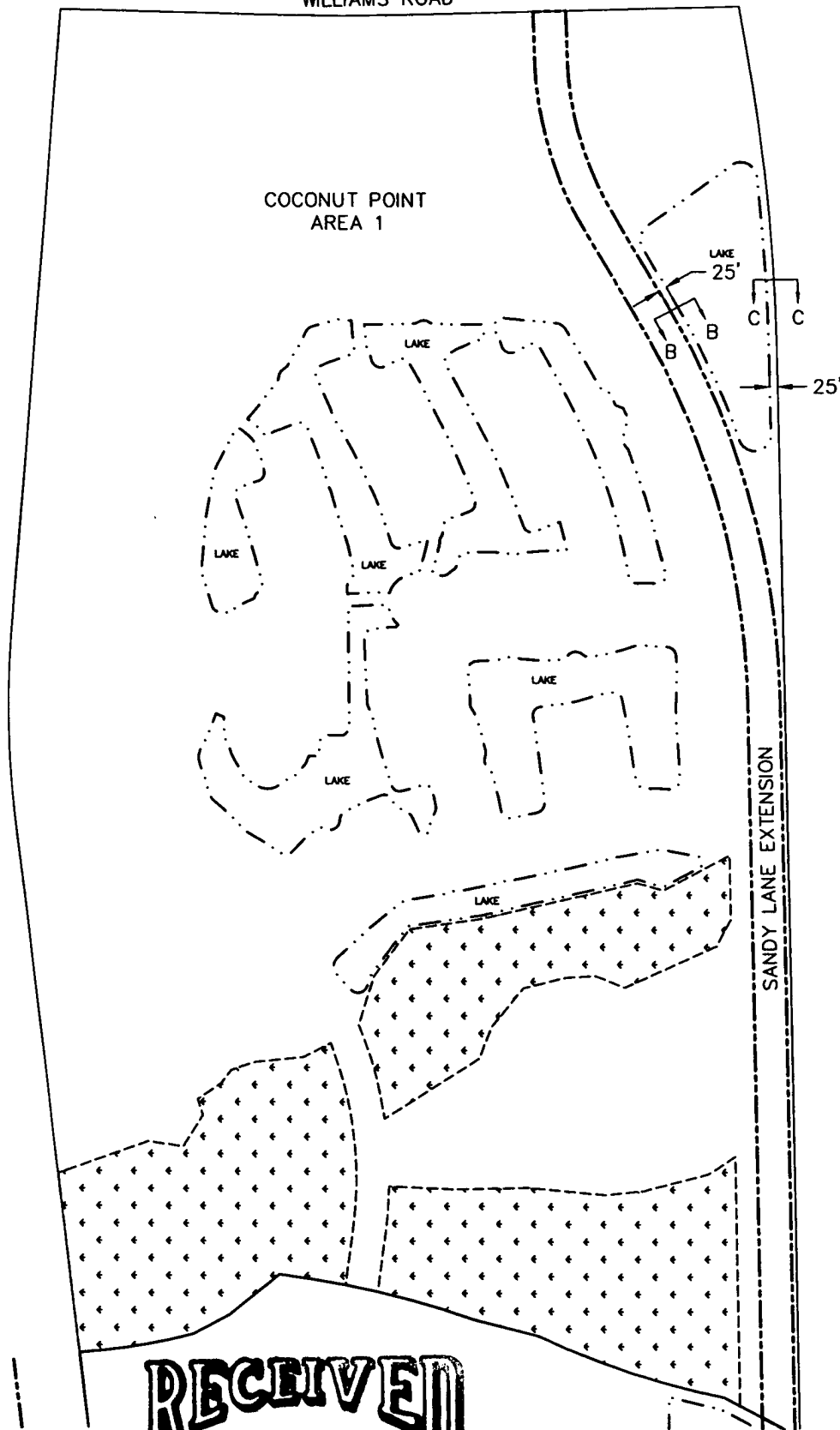
ADD 2004-00060

PERMIT COUNTER

SCALE: 1" = 20'

WILLIAMS ROAD

COCONUT POINT
AREA 1



RECEIVED
JUN 30 2004

ADD 2004-00060

SCALE: 1"= 500'



Estero Council of Community Leaders
23650 Via Veneto, Unit 604
Bonita Springs, Florida 34134

June 29, 2004

Mr. Chip Block
Lee County Community Development Department
1500 Monroe Street, 2nd Floor
Ft. Myers, Florida 33902

Dear Chip:

The Estero Council of Community Leaders Committee on Coconut Point Appearance Standards has reviewed the changes made by the developers, Oakbrook Properties and the Simon Property Group, in the June 14, 2004 edition of the Coconut Point Design Review Guidelines and found them to be in full conformance with the agreements that we had negotiated with the developers. We have coordinated our efforts with the Estero Design Review Committee and believe that they are in full support of the Guidelines.

Consequently, we urge the County to approve the Coconut Point Design Review Guidelines as require by the zoning on the property. Thanks for all your help in making this possible.

Sincerely,

A handwritten signature in black ink, appearing to read "Donald F. Eslick", with a stylized flourish at the end.

Donald F. Eslick
Chairman

ADMINISTRATIVE AMENDMENT (PD) ADD2004-00060

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD to:

1. **Revise the approved Master Concept Plan to change the tract layout for Area #2 with related changes to the land use table, open space calculations, internal access points, and Schedule of Uses.**
2. **Revise the waiver and re-wording of Conditions #3, #5, and #9 of Resolution Z-02-009 granted in ADD2003-00060 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District and a temporary sales facility for the Rapallo development.**
3. **Approval of a pedestrian circulation plan as provided for in Condition #14 of Resolution Z-02-009.**
4.
 - a. **Confirmation of off-street parking regulations for the development.**
 - b. **Confirmation of parking ratios for restaurants and retail use when part of the Regional Shopping or Community Center when not part of the outparcels.**
5. **Approval of the Site Lighting Standards in accordance with Condition #18 of Resolution Z-02-009.**
6. **Deviation from LDC Section 34-2016(2) a.2. requiring the use of parking bumpers, to eliminate this requirement where enlarged medians and green space is provided within the parking areas.**
7. **Temporary Site Signage (already approved as part of ADD2004-00060(A)).**
8. **Revision of the Schedule of Uses to allow the development of Bank and Financial Establishment on Tract 1D.**
9. **Clarification of open space for residential uses above commercial uses.**
10. **Revise Conditions 3 and 5 allowing site development work but not allowing vertical development until the Conditions are met. (Approved in ADD2003-00060 and re-stated in this action)**

The subject property is located on US 41 between Williams and Coconut Roads in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in case number Z-02-009 (with subsequent amendments in case numbers DRI2000-00015; DCI2001-00005); and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application has been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for to amend the existing Mixed Use Planned Development to allow the following changes is approved with conditions:

- 1. Revise the approved Master Concept Plan to change the tract layout for Area #2 with related changes to the land use table, open space calculations, internal access points, and Schedule of Uses.**
- 2. Revise the waiver and re-wording of Conditions #3, #5, and #9 of Resolution Z-02-009 granted in ADD2003-00060 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District and a temporary sales facility for the Rapallo development.**
- 3. Approval of a pedestrian circulation plan as provided for in Condition #14 of Resolution Z-02-009.**
- 4. a. Confirmation of off-street parking regulations for the development.**

- b. **Confirmation of parking ratios for restaurants and retail use when part of the Regional Shopping or Community Center when not part of the outparcels.**
- 5. **Approval of the Site Lighting Standards in accordance with Condition #18 of Resolution Z-02-009.**
- 6. **Deviation from LDC Section 34-2016(2) a.2. requiring the use of parking bumpers, to eliminate this requirement where enlarged medians and green space is provided within the parking areas.**
- 7. **Temporary Site Signage (already approved as part of ADD2004-00060(A)).**
- 8. **Revision of the Schedule of Uses to allow the development of Bank and Financial Establishment on Tract 1D.**
- 9. **Clarification of open space for residential uses above commercial uses.**
- 10. **Revise Conditions 3 and 5 allowing site development work but not allowing vertical development until the Conditions are met. (Approved in ADD2003-00060 and re-stated in this action)**

This approval is subject to the following conditions:

- 1. **Condition 1 of Resolution Z-02-009 is hereby amended to read as follows:**
 - 1. **The development of this project must be consistent with the one- page Master Concept Plan, stamped received May 24, 2004, except as modified by the conditions below. This development must comply with all requirements of the Lee County LDC at time of local Development Order Approval, except as may be granted by deviation as part of this planned development. If changes to the Master Concept Plan are subsequently pursued, appropriate approvals will be necessary.**

This includes the change to the Plan permitting the development of a Temporary Sales Facility on Tract 1C. Development of this facility must comply with the Design Review Guidelines for this project.
- 2. **Condition 3 of Resolution Z-02-009 is hereby amended to read as follows:**
 - 3. **The development of the subject property must include a regional shopping center, which incorporates a shopping center and commercial and residential tracts all developed with a common architectural theme. The entire project**

must include a common landscaping and graphic theme throughout the project. The architectural theme, landscaping and graphic design theme must be reviewed and approved by the Lee County Department of Community Development prior to the issuance of any local development order for the first local development order for vertical development of any buildings on the property. Any change from the proposed "regional mall" development will necessitate an amendment to the MPD zoning approval through the public hearing process.

The only exception to the above language is the development of a building for the Estero Fire District.

3. Condition 5 of Resolution Z-02-009 is hereby amended to read as follows:

5. This development, including the proposed regional shopping center, must incorporate a common architectural theme on all sides of all buildings that are visible from the Brooks MPD, YU.S. 41, Coconut Road, Williams Road and Sandy Lane Extension rights-of-way to ensure an equally attractive architectural elevation for all facets of the development. The common architectural theme must include streetscape landscaping and enhanced building architectural features. This condition is applicable to the entire development including any proposed outparcels within the MPD. A plan reflecting the design standards required by this condition must be submitted for review and approval by the Lee County Department of Community Development prior to the issuance of any local Development Order for the first local development order for vertical development of any buildings on for the property within the MPD.

The only exception to the above language is the development of a building for the Estero Fire District.

4. Condition 9 of Resolution Z-02-009 is hereby amended to read as follows:

9. Prior to local development order for the first local development order for vertical development of any buildings, open space must be provided as detailed in the open space table on the Master Concept plan with the condition that any residential dwelling units requiring open space per LDC§10-415(a) must provide 30 percent common open space within Tracts 1-E, 1-F, 2-B2, 3-B, and 3-D.

The only exception to the above language is the development of a building for the Estero Fire District.

5. Coupled with the approval of the changes to Condition 1 of Resolution Z-00-009 the following condition is hereby adopted:

Prior to local development order approval, the development order plans must include a detailed planting plan for the upland preservation area north of Tract 2B that provides the specifications for the native shrubs (species, size and number) to be installed prior to issuance of a Certificate of Compliance. A minimum of 500 shrubs must be planted provided this does not contradict the preserve management plan per Florida Fish and Wildlife Conservation Commission requirements of the Development of Regional Impact Development Order. The shrubs must be planted in a random manner to mimic a natural system. The shrubs must be native species tolerant of periodic flooding such as wax myrtle, myrsine, and cocoplum. Fifty percent of the shrubs must be a minimum 4-foot height, and fifty percent must be a minimum 3-gallon container size at time of installation. All shrubs must be mulched with a pine straw (3-inch layer; 24-inch radius).

6. Condition 2.a. is hereby amended to adopt a new Schedule of Uses as found in attached Exhibit A.
7. The Land Use Breakdown Table must be consistent with Note 3 on the approved Master Concept Plan in Condition 1.
8. In accordance with Condition #14 of Resolution Z-02-009, the three-page Attachment D (Sheet 1 through Sheet 3) is approved and adopted as the pedestrian circulation plan for this development.
9. The calculation of parking may be calculated as a whole for each of the proposed three (3) phases. Within each Phase as long as each Phase contains less than 600,000 square feet then parking maybe calculated at a rate of 4.5 parking spaces per thousand square feet. Included in this calculation may be restaurants and retail shops not attached to but incorporated in the individual Phase.

Excluded from this provision are all areas identified as "outlots", depicted in Attachment E. These must be developed with sufficient parking to support the use located in these outlots.

10. Deviation seeking relief from LDC Section 34-625(d)(4)a. which requires a maximum height of 25 feet for light poles for parking lots and vehicular use areas; to allow 30 feet. This deviation is **APPROVED**.
11. Deviation seeking relief from LDC Section 34-2016(2)a.2 which requires the use of parking pumpers in parking lots; to eliminate this requirement subject to use of landscape medians in the parking areas. This deviation is **APPROVED subject to the condition that the parking lots are designed with landscaped medians substantially consistent with attached plan noted as Attachment J, "Proposed Project Parking/Landscaping Plan"**.

12. As a clarification of the original approval, if residential uses are proposed within buildings with commercial uses on the ground floor, the open space requirement is 30%.
13. Deviation seeking relief from LDC Section 10-329(d)(4) which requires slopes along the banks of excavation, to allow the use of bulkheads as delineated on the Plan noted as Attachment O, Bulkhead Exhibit. This deviation is APPROVED subject to the following condition:

If bulkheads are utilized in the final site design, then the Paving and Grading, and Landscape Plans must delineate the location of the bulkheads in substantial compliance with the attached Bulkhead Exhibit (attached hereto). The design of the lake adjacent to the bulkheads must include a compensatory littoral zone with a 4:1 slope with a 5-foot littoral shelf equivalent to the linear footage of the bulkhead along the bulkhead, or an alternative compensatory littoral zone reviewed and approved by the Division of Environmental Sciences. The littoral planting requirements within any lake utilizing bulkheads must be calculated as two (2) herbaceous littoral plants per linear foot of shoreline for the lakes delineated on the Bulkhead Planting Exhibit (attached hereto), and the placement of the littoral vegetation must be concentrated within the compensatory littoral zone. Native wetland trees and/or shrubs may be used to meet the littoral planting requirement with one 7-gallon tree or two 3-gallon shrubs credited as 10 herbaceous littoral plants.

14. In accordance with Conditions 3 and 5 of Resolution Z-02-009, the submitted Design Review Guidelines are conceptually approved. All vertical development and signage must be consistent with these guidelines and the Lee County Land Development Code.

DULY SIGNED this 11th day of June, A.D., 2004.

BY: Pam Houck
Pam Houck, Director
Division of Zoning
Department of Community Development

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF ~~X~~ 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E., FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF ~~8~~3

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

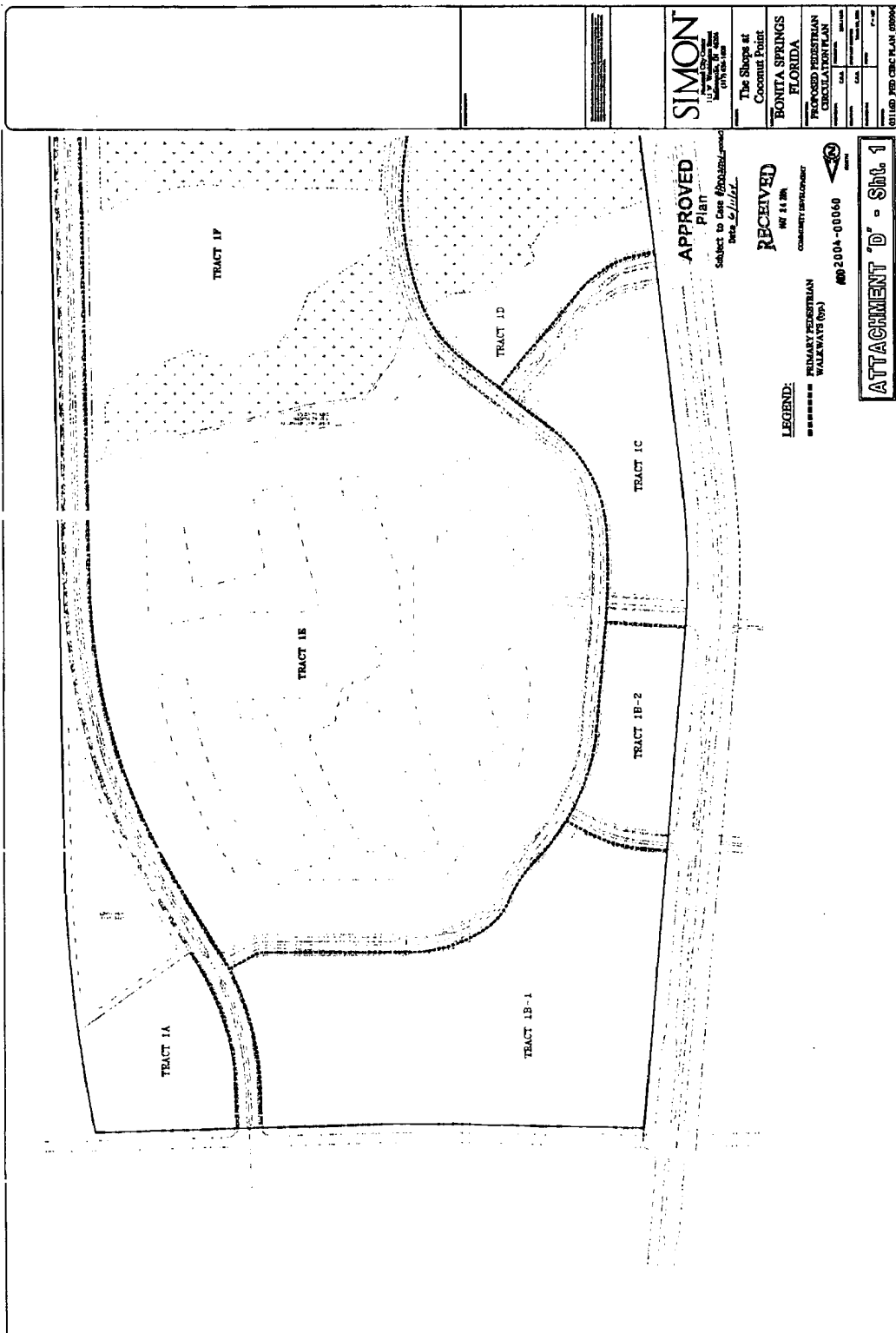
TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

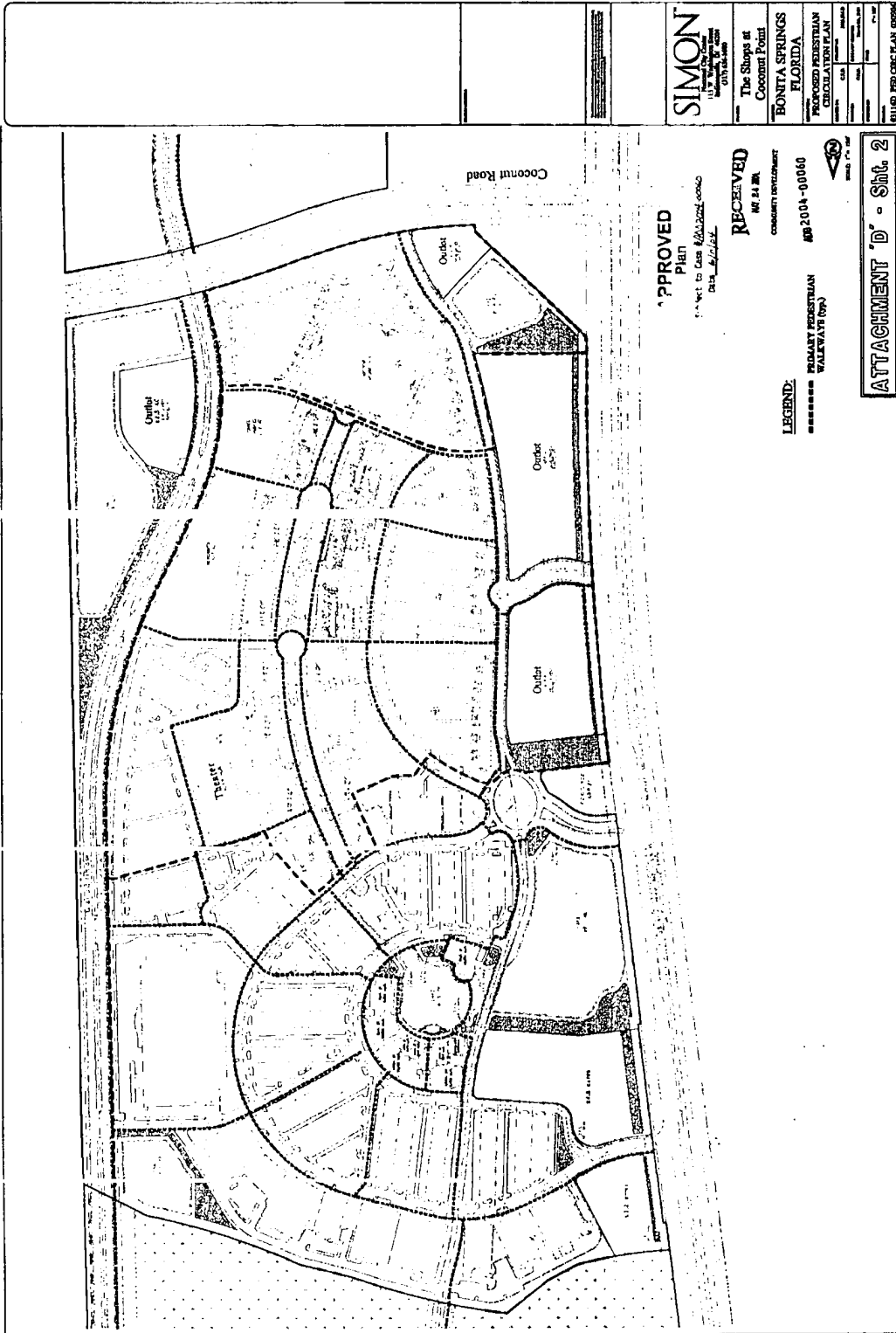
INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84. INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked

by WJH 01 APRIL 04





[illegible]

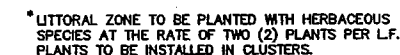
HOLE MONTES
ENGINEERS · PLANNERS · SURVEYORS

COCONUT POINT M.P.D.
BULKHEAD DETAILS

DESIGNED:	DATE:
DRAWN:	DATE:
C.R.B.	05/21/04
CHECKED:	DATE:
T.A.	05/21/04
VERT. SCALE:	HORIZ. SCALE
	As Shown
DIVISION NO.	
REFERENCE NO.	
Exhibit 'O'	
PROJECT NO.	SHEET NO.
03.116-B	1 of 1



TOTAL LENGTH OF LAKE SHORELINE:	±2,035 lin.ft.
TOTAL LENGTH OF CONCRETE BULKHEAD:	±575 lin.ft.
LENGTH of BULKHEAD / LENGTH of LAKE SHORELINE:	28.3%



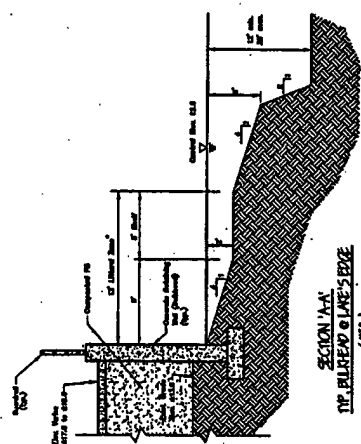
Subject to Case # ADD 2004-00062
Date 6/11/04



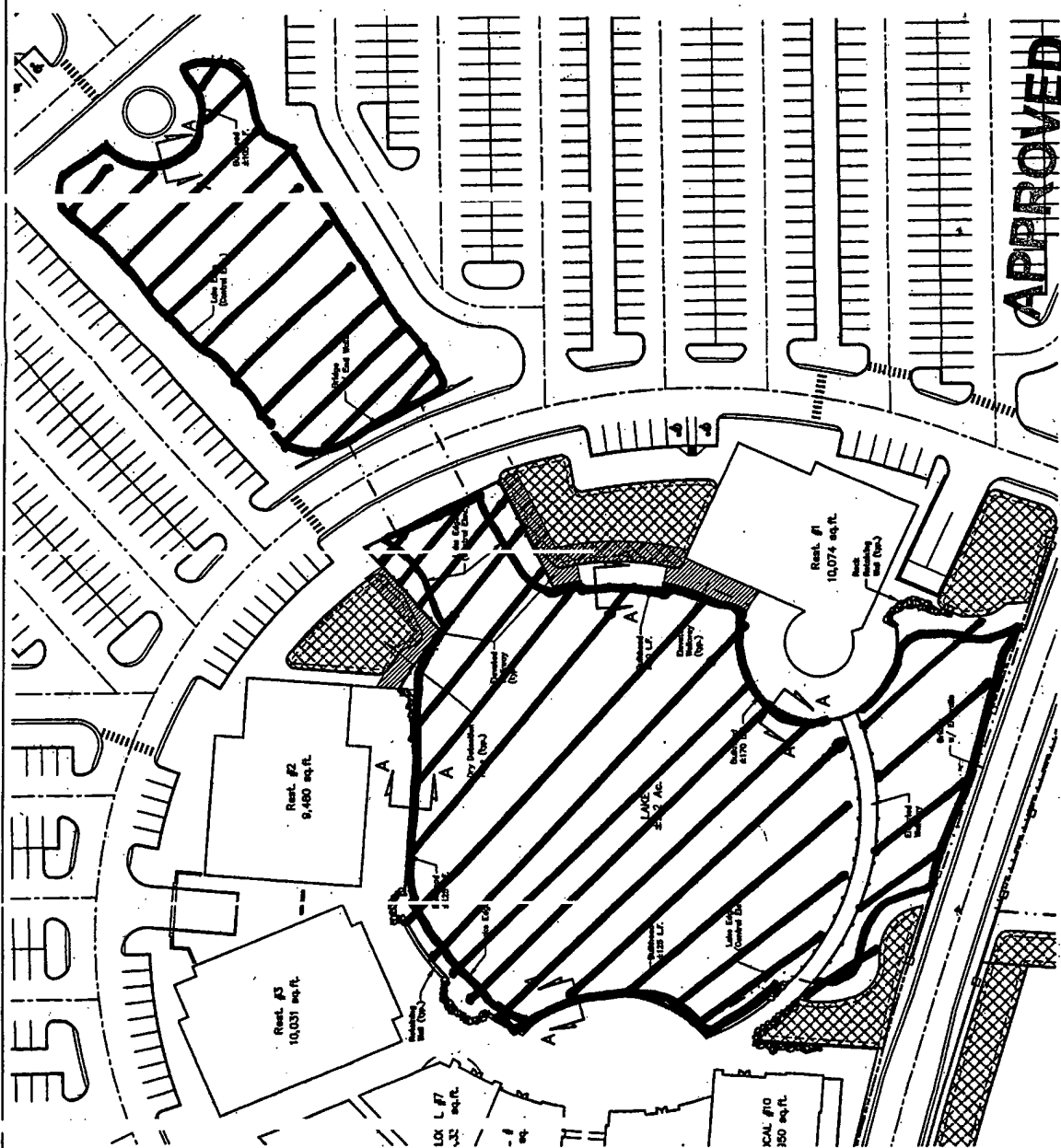
SCALE: 1" = 3'

EXHIBIT 'O

Bulkhead Planting Exhibit



**Lakes Requiring
2 herbaceous
plants per
linear foot
per condition**



NOTE:
TOTAL LENGTH OF LAKE SHORELINE: ±2,035 ft.
TOTAL LENGTH OF CONCRETE BULKHEAD: ±575 ft.
LENGTH OF BULKHEAD / LENGTH OF LAKE SHORELINE: 28.3%

Subject to Case #ADD 2001-00000
Date 6/11/01

Rev. No.: Z-02-000
Approved Date: 21st October 2002
Case No.: D02000-00015 & D02001-00005
State DRI No.: 09-2001-153

EXHIBIT 'O'
03.116-B1-1

ADMINISTRATIVE AMENDMENT (PD) ADD2004-00060(A)

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD to **add two Deviations from the Lee County Land Development Code Sections 30-151(1)a.2 and 30-151(1)a.3. to allow one temporary sign with two panels facing US 41. The proposed sign would be a maximum of 18 feet in height and with a maximum sign area of 140 square feet per sign panel. In addition, the applicant requests that these temporary sign be allowed for up to 12 months.** The property is located on US 41 between Williams Road and Coconut Road in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in case number Z-02-009 (with subsequent amendments in case numbers DRI2000-00015; DCI2001-00005); and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application has been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for to amend the existing Mixed Use Planned Development to **add two Deviations from the Lee County Land Development Code Sections 30-151(1)a.2 and 30-151(1)a.3. to allow one temporary sign with two panels facing US 41. The proposed sign would be a maximum of 18 feet in height and with a maximum sign area of 140 square feet per sign panel. In addition, the applicant requests that these temporary sign be allowed for up to 12 months.** is **APPROVED, with conditions.**

Staff recommends Approval subject to the following conditions:

1. The sign approved in this action must be substantially in compliance with the one-page Plan for Coconut Point M.P.D., Project Announcement Sign Exhibit, stamped received on May 24, 2004. This Plan is hereby approved and adopted and a reduced copy of this plan is attached to this action.
2. The terms and conditions of the original zoning resolution remain in full force and effect, except as may be specifically amended.
3. This approval is strictly limited to the sign noted in Condition 1. All other signs must be erected in conformance with LDC Chapter 30.
4. This sign may be erected for a maximum of two (2) years from the date of this administrative amendment. This sign would have to be removed by the owner at their expense after that time period. One extension may be granted administratively for a period not to exceed one (1) year.
5. A planting plan must be submitted with the sign permit application and the plantings be installed within 30 days of receiving their sign permit. This Plan must be substantially consistent with the Plan approved in Condition 1 of this action. This planting plan must be approved by Environmental Sciences, prior to the issuance of a Sign Permit for this sign.

DULY SIGNED this 27th day of May, A.D., 2004.

BY: Mary Gibbs
Mary Gibbs, AICP
Director
Department of Community Development

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF ~~X~~ 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF **X3**

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84.

INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked

by MM 01 APRIL 01

SUPERSEDED

ADMINISTRATIVE AMENDMENT (PD) ADD2004-00060

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD to **amend Conditions 3, 5, and 9 of Resolution Z-02-009 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District** for property located on US 41 between Williams and Coconut Roads in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in case number Z-02-009 (with subsequent amendments in case numbers DRI2000-00015; DCI2001-00005); and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application has been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for to amend the existing Mixed Use Planned Development to **amend Conditions 3, 5, and 9 of Resolution Z-02-009 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District** is **APPROVED**.

SUPERSEDED

Approval is subject to the following conditions:

BY PLAN DATED _____

1. The only change approved to the approved Master Concept Plan is the arrangement of the lakes in Phase 1. Development must be in compliance with the originally approved Master Concept Plan attached to Resolution Z-02-009.

In Phase 1, the lakes may be developed in accordance with the amended Master Concept Plan for Coconut Point, stamped received APR 30, 2004. Master Concept Plan for ADD2004-00060 is hereby APPROVED and adopted. A reduced copy is attached hereto. The terms and conditions of the original zoning resolutions remain in full force and effect.

2. Condition 3 of Resolution Z-02-009 is hereby amended as follows:

3. The development of the subject property must include a regional shopping center, which incorporates a shopping center and commercial and residential tracts all developed with a common architectural theme. The entire project must include a common landscaping and graphic theme throughout the project. The architectural theme, landscaping and graphic design theme must be reviewed and approved by the Lee County Department of Community Development prior to the issuance of any local development order **approving permanent vertical construction the first local development order for vertical development of any buildings** for the property. Any change from the proposed "regional mall" development will necessitate an amendment to the MPD zoning approval through the public hearing process.

The only exception to the above language is the development of a building for the Estero Fire District.

3. Condition 5 of Resolution Z-02-009 is hereby amended as follows:

5. This development, including the proposed regional shopping center, must incorporate a common architectural theme on all sides of all buildings that are visible from the Brooks MPD, YU.S. 41, Coconut Road, Williams Road and Sandy Lane Extension rights-of-way to ensure an equally attractive architectural elevation for all facets of the development. The common architectural theme must include streetscape landscaping and enhanced building architectural features. This condition is applicable to the entire development including any proposed outparcels within the MPD. A plan reflecting the design standards required by this condition must be submitted for review and approval by the Lee County Department of Community Development prior to the issuance of any local Development Order **approving permanent vertical construction the first local development order for vertical development of any buildings** for the property within the MPD.

The only exception to the above language is the development of a building for the Estero Fire District.

4. Condition 9 of Resolution Z-02-009 is hereby amended as follows:

9. Prior to local development order ~~approving permanent vertical construction~~ **the first local development order for vertical development of any buildings,** open space must be provided as detailed in the open space table on the Master Concept plan with the condition that any residential dwelling units requiring open space per LDC§10-415(a) must provide 30 percent common open space within Tracts 1-E, 1-F, 2-B2, 3-B, and 3-D.

The only exception to the above language is the development of a building for the Estero Fire District.

5. **No other changes to the approved planned development have been authorized as part of this administrative amendment.**

DULY SIGNED this 10th day of May, A.D., 2004.

SUPERSEDED
BY *Pam Hoyck*
Pam Hoyck, Director
BY PLD DATED
Division of Zoning
Department of Community Development

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF ~~X~~ 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF **X3**

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

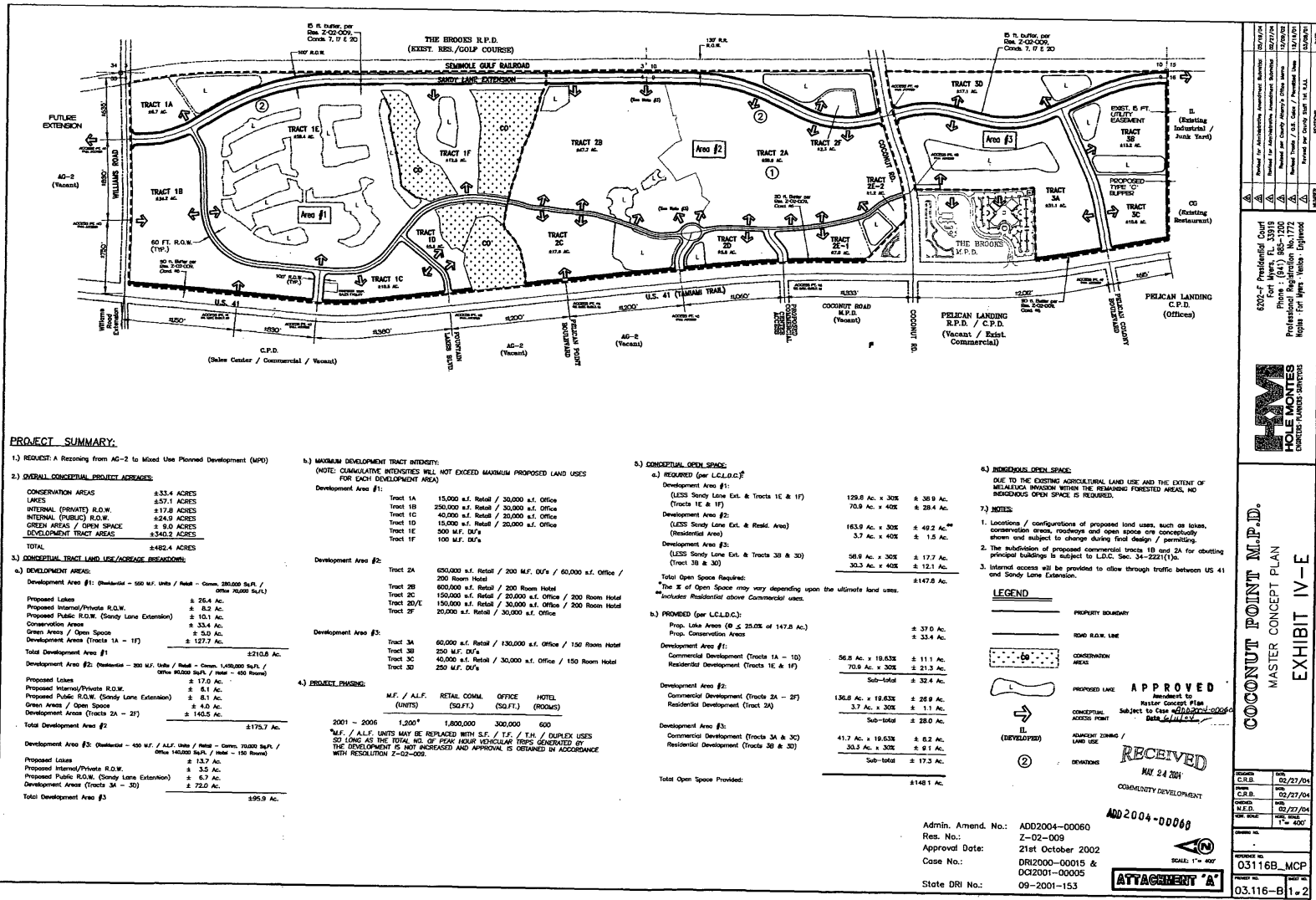
INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84.

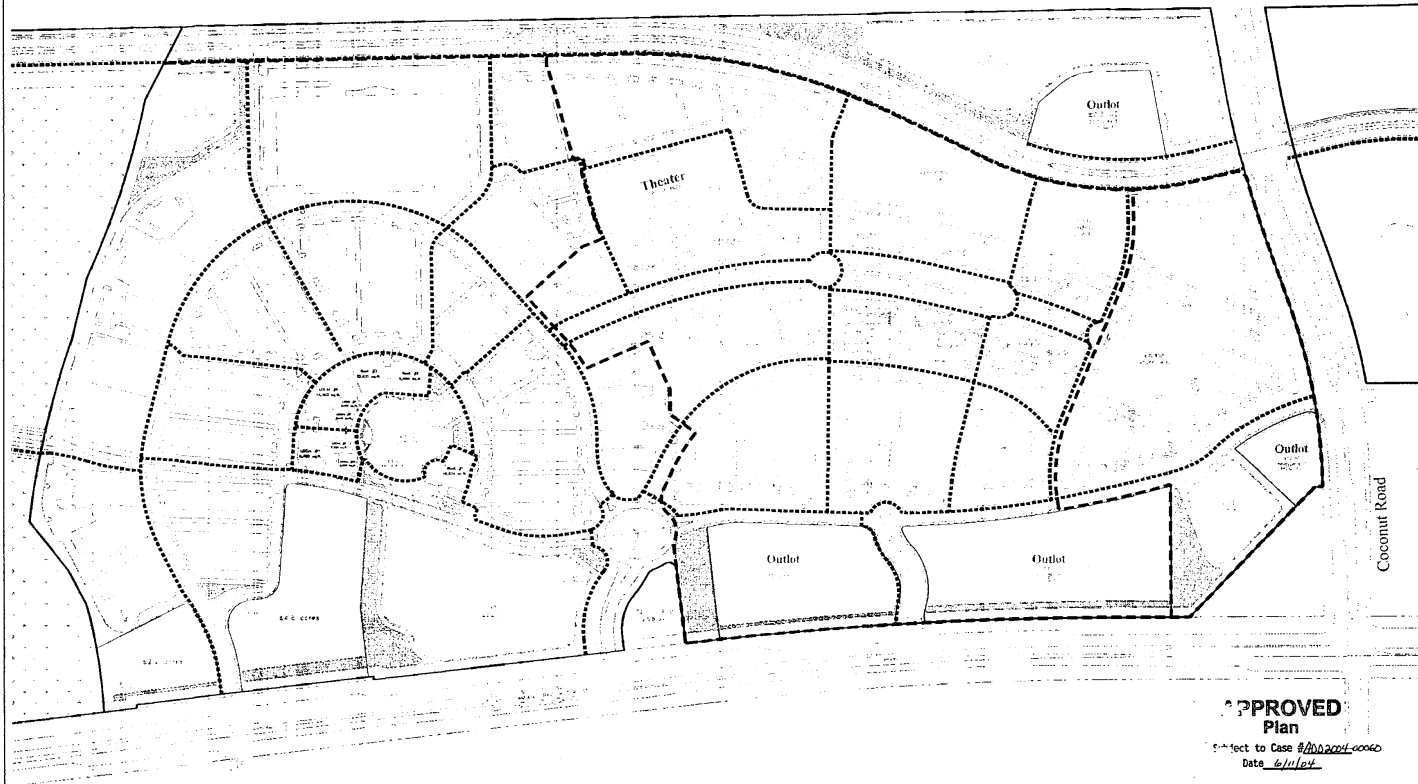
INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked

by AM 01 APRIL 04





**APPROVED
Plan**

Subject to Case #2004-00060
Date 6/1/04

RECEIVED
MAY 24 2004

COMMUNITY DEVELOPMENT

LEGEND:

----- PRIMARY PEDESTRIAN
WALKWAYS (typ.)

ADD 2004-00060

SCALE: 1" = 150'

ATTACHMENT "D" - Sht. 2

SIMON
National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

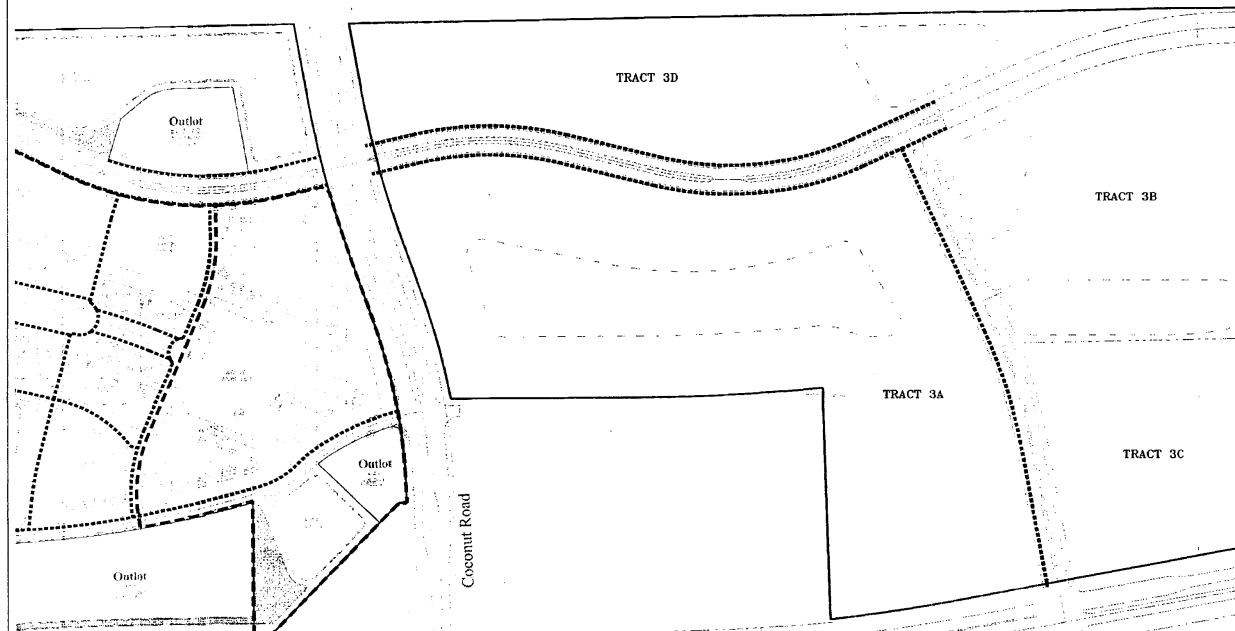
The Shops at
Coconut Point

**BONITA SPRINGS
FLORIDA**

**PROPOSED PEDESTRIAN
CIRCULATION PLAN**

DESIGNED BY:	C.A.S.	PROJECT NO.:	3003.1114.01
DRAWN BY:	C.A.S.	DATE LAST REVISED:	March 2004, 2005
CHECKED BY:	W.S.L.	SCALE:	1" = 150'

031160 PED CIRC PLAN 030904



APPROVED
Plan
Subject to Case # 01002004-00060
Date 6/11/04

RECEIVED
MAY 24 2004
COMMUNITY DEVELOPMENT

LEGEND:

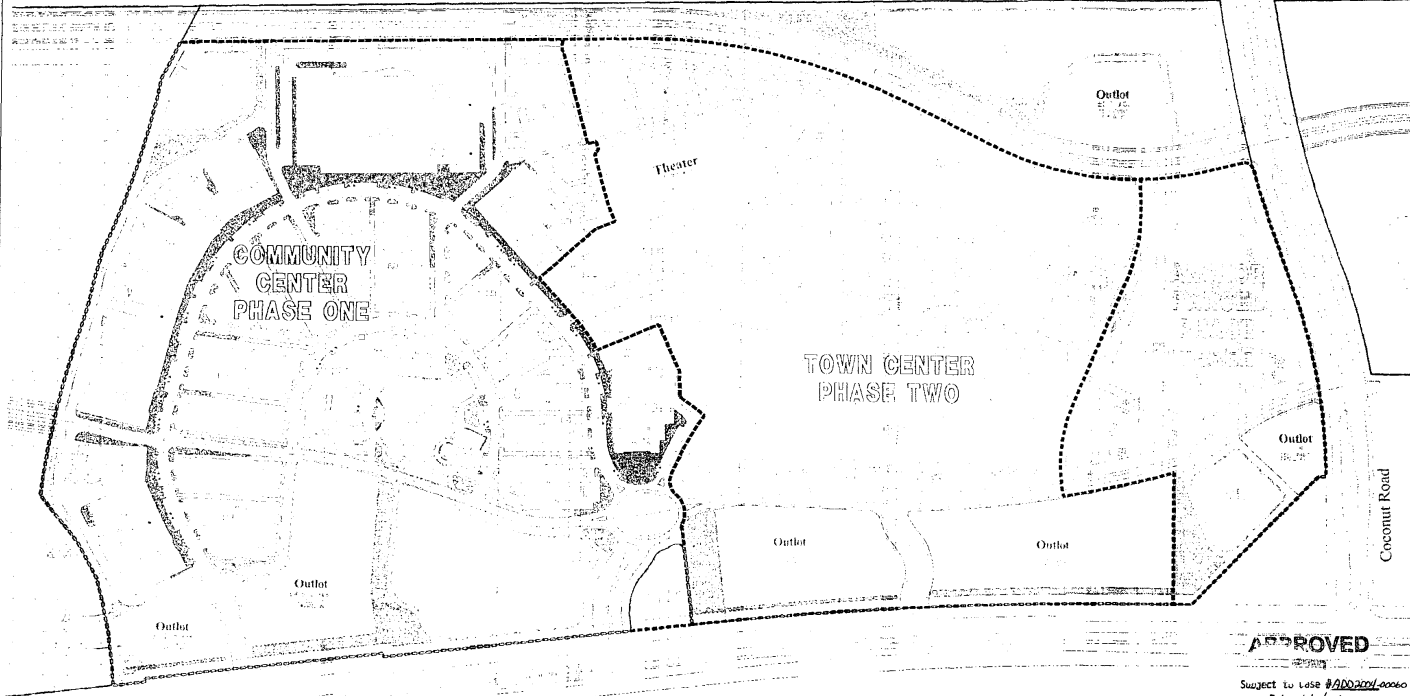
----- PRIMARY PEDESTRIAN
WALKWAYS (typ.)

002004-00060



ATTACHMENT 'D' - Sht. 3

SIMON National City Center 115 W. Washington Street Tampa, FL 33604 (813) 636-1600	
PROJECT: The Shops at Coconut Point	
LOCATION: BONITA SPRINGS FLORIDA	
PROPOSED PEDESTRIAN CIRCULATION PLAN	
DESIGNED BY: C.A.R.	PROJECT NO: 002-1160
DRAWN BY: C.A.R.	DATE LAST UPDATED: MARCH 04, 2004
CHECKED BY: C.A.R.	SCALE: 1" = 120'
03116D_FED CIRC PLAN 030904	



APPROVED

Subject to Case #ADD2004-00060
Date 6/11/04

RECEIVED
MAY 24 2004

COMMUNITY DEVELOPMENT
ADD 2004-00060

NOTE:

Each individual phase shall not exceed 600,000 sq.ft. of total floor area of Commercial Shopping Center; therefore, the required parking ratio will be 4.5 spaces per 1,000 sq.ft. of total floor area.

Out-lots shall provide additional parking at the appropriate ratio(s) for their respective land use(s).



ATTACHMENT 'E'

SIMON

National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

**The Shops at
Coconut Point**

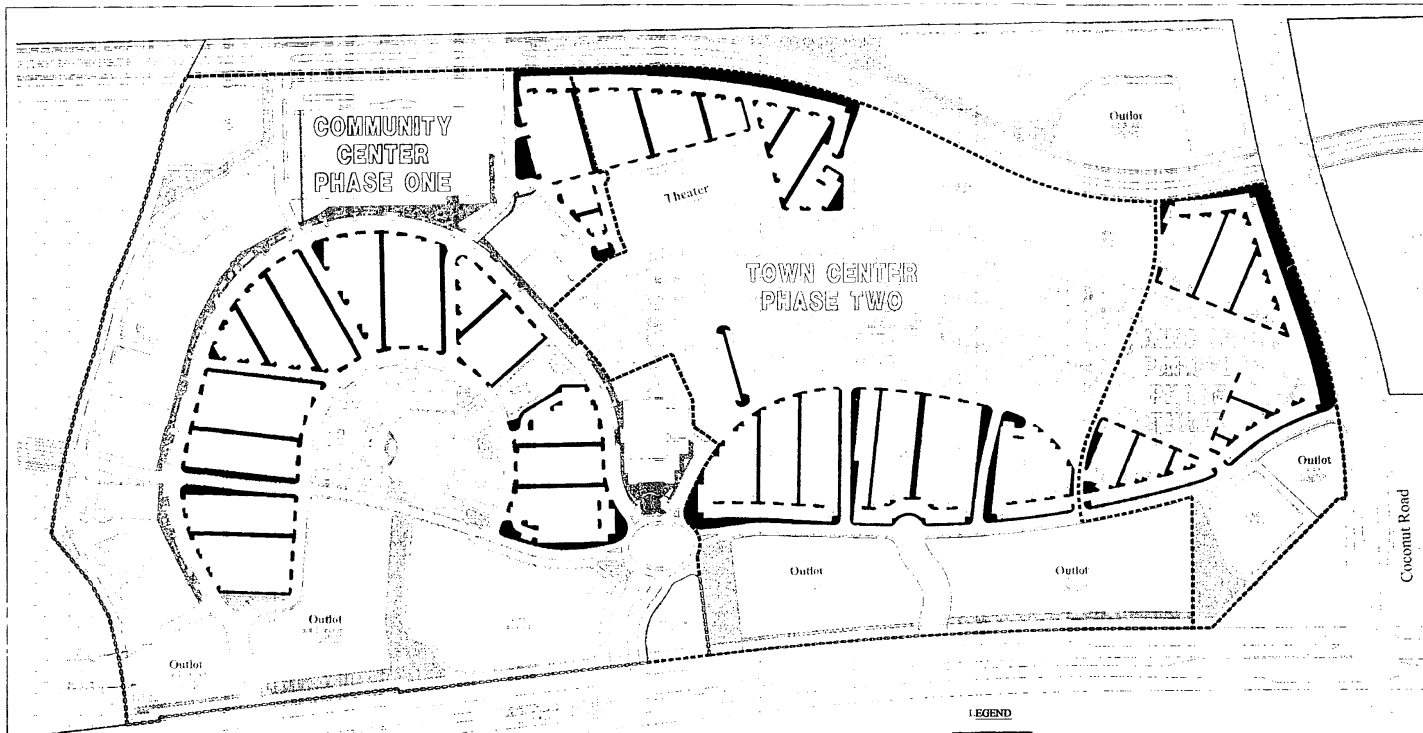
**BONITA SPRINGS
FLORIDA**

**PROPOSED PROJECT
PHASING / PARKING PLAN**

DESIGNED BY: C.A.B. PROJECT NO.: 3003.01A-02

CHECKED BY: C.A.B. DATE LAST MODIFIED: March 10, 2004

SCALE: 1" = 500'
03116B_PARKING PLAN_030904



LEGEND

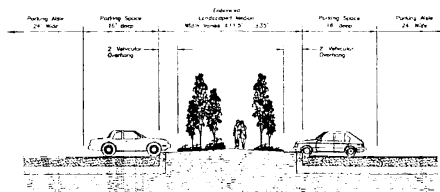


APPROVED
Plan

Subject to Case # AD02004-00060
Date 6/11/04

RECEIVED
MAY 24 2004
COMMUNITY DEVELOPMENT

AD02004-00060



TYPICAL SECTION - PARKING at LANDSCAPED MEDIANS

ATTACHMENT "J"

SIMON
National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

**The Shops at
Coconut Point**
**BONITA SPRINGS
FLORIDA**

**PROPOSED
PROJECT PARKING /
LANDSCAPING PLAN**

PROJECT NO. 3001148
C.A. DATE LAY OUT 06/08/04
C.A. DATE 06/08/04
SCALE 1"=100'

031168_PARKING PLAN_030904

[illegible]

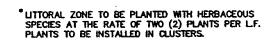
HOLE MONTES
ENGINEERS • PLANNERS • SURVEYORS

BULKHEAD DETAILS

DESIGNED:	DATE:
DRAWN:	DATE:
CHECKED:	DATE:
VERT. SCALE:	HORIZ. SCALE:
DIVISION NO.	
REFERENCE NO.	
PROJECT NO.	
SHEET NO.	



TOTAL LENGTH OF LAKE SHORELINE:	±2,035 lin.ft.
TOTAL LENGTH OF CONCRETE BULKHEAD:	±575 lin.ft.
LENGTH of BULKHEAD / LENGTH of LAKE SHORELINE:	28.3%



Subject to Case # ADD 2004-00060
Date 6/11/04

SCALE: 1" = 30'

EXHIBIT 'O'

* LITTORAL ZONE TO BE PLANTED WITH HERBACEOUS SPECIES AT THE RATE OF TWO (2) PLANTS PER LF PLANTS TO BE INSTALLED IN CLUSTERS.

Res. No.: Z-02-009
Approval Date: 21st October 2002
Case No.: DRI2000-00015 &
DCI2001-00005
State DRI No.: 09-2001-153



BULKHEAD DETAILS

REFERENCE NO.	
Exhibit 'O'	
PROJECT NO.	SHEET
03.116-B	1

TOTAL LENGTH OF LAKE SHORELINE:	±2,035 lin.ft.
TOTAL LENGTH OF CONCRETE BULKHEAD:	±575 lin.ft.
LENGTH of BULKHEAD / LENGTH of LAKE SHORELINE:	28.3%

Subject to Case # ADD 2004-00060
Date 6/11/04



LEE COUNTY
SOUTHWEST FLORIDA

APPLICATION FOR ADMINISTRATIVE ACTION

RECEIVED
MAR 18 2004
COMMUNITY DEVELOPMENT

APPLICATION FOR:

- | | |
|---|---|
| <input type="checkbox"/> Administrative Variance (Sup A) | <input type="checkbox"/> Commercial Lot Split (Sup B) |
| <input type="checkbox"/> Consumption On Premises Per. (Sup C) | <input type="checkbox"/> Mini. Use Determination (Sup D) |
| <input type="checkbox"/> Ordinance Interpretation (Sup E) | <input type="checkbox"/> Relief for Desig. Hist. Res. (Sup F) |
| <input type="checkbox"/> Relief for Easement Encroachment (Sup G) | <input checked="" type="checkbox"/> Adm. Amend. PUD or PD (Sup H) |
| <input type="checkbox"/> Admin. Deviation from Chapter 10 (Sup I) | <input type="checkbox"/> Placement of Model Home/Unit or Model Display Center (Sup. J) |
| <input type="checkbox"/> Dock & Shoreline structures (Sup. K) | <input type="checkbox"/> Wireless Communication Facility (Sup. M and Shared Use Plan Agreement) |
| <input type="checkbox"/> Redevelopment District (Sup L) | |
| <input type="checkbox"/> Admin. Approval FMB (no supplement) | |
| <input type="checkbox"/> Final Plan Approval per Resolution: # | |

Applicant's Name: Coconut Point Developers, LLC Phone #: (317)263-7032

Project Name: Coconut Point M.P.D.

STRAP Number: 04-47-25-00-00001.0000 & 09-47-25-00-00001.0010

RECEIVED
MAR 18 2004
COMMUNITY DEVELOPMENT

STAFF USE ONLY

Case Number: ADD2004-00060 Commission District: 3
 Current Zoning: MPD Fee Amount: 1,500
 Land Use Classification: Urban Com Intake by: DK
 Planning Community: Estero

LEE COUNTY
COMMUNITY DEVELOPMENT
P.O. BOX 398 (1500 MONROE STREET)
FORT MYERS, FLORIDA 33902
PHONE (239) 479-8585

ADD2004-00060

PART I - GENERAL INFORMATION

1. APPLICANT'S NAME: Coconut Point Developers, LLC - Mr. Thomas J. Schneider, Exec. Vice President

Address:

Street: National City Center P.O. Box 7033

City: Indianapolis State: FL Zip: 46207

Phone Number: Area Code: 317 Number: 263-7032 Ext. _____

Fax Number: Area Code: 317 Number: 685-7299

E-mail address: _____

2. Relationship of applicant to property*:

____ Owner _____ Trustee _____ Option holder _____ Contract Purchaser X
Lessee _____ Other (indicate) _____

Applicant must submit an Affidavit that he is the authorized representative of the owner [see Part I (attached) and please complete the appropriate Affidavit form (A1 or A2) to the type of applicant].

3. AGENT'S NAME(S): (Use additional sheets if necessary): Hole Montes, Inc

Mailing Address:

Street: 6202-F Presidential Ct

City: Ft. Myers State: FL Zip: 33919

Contact Person: Mr. Ned E. Dewhirst, P.E. / Principal

Phone Number: Area Code: 239 Number: 985-1200 Ext.: _____

Fax Number: Area Code: 239 Number: 985-1259

E-mail address: _____

4. TYPE OF REQUEST (please check one)

- ____ Administrative Variance (requires supplement A)
- ____ Commercial Lot Split (requires supplement B)
- ____ Consumption On Premises (requires supplement C)
- ____ Minimum Use Determination (requires supplement D)
- ____ Ordinance Interpretation (requires supplement E)
- ____ Relief for Designated Historic Resources (requires supplement E)
- ____ Easement Encroachment (requires supplement G)
- X Administrative Amendment to a PUD or Planned Development (requires supplement H)
- ____ Administrative Deviation from Chapter 10 of the LDC (requires supplement I)
- ____ Placement of Model Home/Unit or Model Display Center (requires supplement J)
- ____ Dock & Shoreline Structure (requires supplement K)
- ____ Redevelopment District (requires supplement L)
- ____ Wireless Communication Facility (requires supplement M)
- ____ Admin Approval FMB (no supplement)
- ____ Final Plan Approval (no supplement)

MAR 18 2004

5. NATURE OF REQUEST (please print): A letter of explanation is included with this application.

Ann 2004-00060

PART II - PROPERTY INFORMATION

Is this request specific to a particular tract of land? _____ NO X _____ YES. If the answer is yes, please complete the following:

1. Is this action being requested as a result of a violation notice? X _____ NO _____ YES

a. If yes, date of notice: _____

b. Specific nature of violation: _____

2. Name of owner of property: Edward J. McArdle

Mailing Address: Street: P.O. Box366879

City: Bonita Springs State: FL Zip: 34136

Phone Number: Area Code: 239 Number: 992-5529 Ext.: _____

Fax Number: Area Code: 239 Number: 992-9476

3. Legal Description: Is property one or more undivided platted lots within a subdivision recorded in the official Plat Books of Lee County?

X NO. Attach a legible copy of the metes and bounds property description and boundary survey (10 acres or more) or certified sketch of description (less than 10 acres) meeting the minimum technical standards set out in chapter 61G 17-6.006, Florida Administrative Code.

_____ YES. Property is identified as:

Subdivision Name: _____

Plat Book _____ Page _____ Unit _____ Block _____ Lot _____

4. STRAP NUMBER: 04-47-25-00-0001.0000 & 09-47-25-00-00001.0010

5. Property Dimensions:

Area: _____ square feet or 483.4 acres.

± 10,780' (US 41)

Width along roadway: + 2,050 (Williams Rd) MAR 18 2004 feet.

Depth: + 10,780 feet.

6. Property Street Address: undetermined at the present time

7. General Location Of Property: East side of US 41, between Williams & Coconut Road. See the project location map included with this submittal.

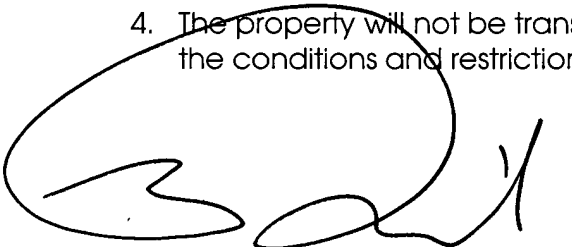
ADD 2004-00060

PART I AFFIDAVIT A1

AFFIDAVIT FOR ADMINISTRATIVE ACTION
APPLICATION IS SIGNED BY AN INDIVIDUAL OWNER OR APPLICANT

I, Ned E. Dewhirst, swear or affirm under oath, that I am the owner or the authorized representative of the owner(s) of the property and that:

1. I have full authority to secure the approval(s) requested and to impose covenants and restrictions on the referenced property as a result of any action approved by the County in accordance with this application and the Land Development Code;
2. All answers to the questions in this application and any sketches, data or other supplementary matter attached hereto and made a part of this application are honest and true;
3. I have authorized the staff of Lee County Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application; and that
4. The property will not be transferred, conveyed, sold or subdivided unencumbered by the conditions and restrictions imposed by the approved action.


(Signature)

NED DEWHIRST
(Type or printed name)

STATE OF

COUNTY OF

MAR 18 2004

The foregoing instrument was sworn to (or affirmed) and subscribed before me this March 10, 2004 (date) by Ned E. Dewhirst (name of person providing oath or affirmation), who is (personally known to me) or who has produced X X X (type of identification) as identification.

Kristin G. Cannestra
Signature of person taking oath or affirmation

Kristin G. Cannestra
Name typed, printed or stamped

Title or rank



Serial number, if any

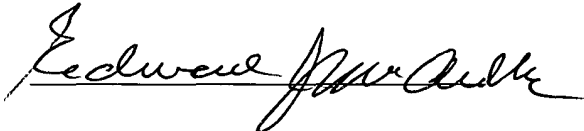
ADD 2004-00060

**LETTER OF AUTHORIZATION
TO LEE COUNTY COMMUNITY DEVELOPMENT**

*The undersigned does hereby swear or affirm that he is the fee simple title holder and owner of record of the properties commonly known as **Strap Nos. 04-47-25-00-00001.0000 and 09-47-25-00-00001.0010** which is the **Coconut Point MPD** and legally described in **Exhibit 'A'** attached hereto.*

*The property described herein is the subject of an Application for an Administrative Amendment to a Planned Development. I hereby designate **Coconut Point Developers L.L.C.** as the legal representative of the property, and as such, is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorizing of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site.*

Edward J. McArdle, Trustee



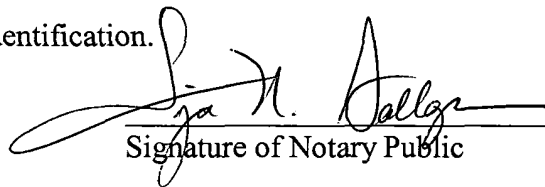
**STATE OF FLORIDA
COUNTY OF LEE**

The foregoing instrument was sworn to (or affirmed) and subscribed before me this 27th day of ~~January~~ February, 2004 by Edward J. McArdle, Trustee. He is personally known to me or has produced

_____ as identification.



(Seal)


Signature of Notary Public

Printed name of Notary Public

RECEIVED
MAR 18 2004

**LETTER OF AUTHORIZATION
TO LEE COUNTY COMMUNITY DEVELOPMENT**

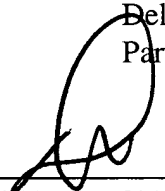
*The undersigned do hereby swear or affirm that they are the authorized agents of the properties commonly known as **Strap Nos. 04-47-25-00-00001.0000 and 09-47-25-00-00001.0010** which is the **Coconut Point MPD** and legally described in **Exhibit 'A'** attached hereto.*

*The property described herein is the subject of an Application for an Administrative Amendment to a Planned Development. We hereby designate **Mr. Ned E. Dewhirst, P.E. / Principal of Hole Montes, Inc.** as the legal representatives of the property and as such, these individuals are authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorizing of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site.*

Coconut Point Developers, L.L.C., a Delaware limited liability company

By: Simon Property Group, L.P., a Delaware limited partnership, Managing Member

By: Simon Property Group, Inc., a Delaware corporation, General Partner



David Simon, Chief Executive Officer
Coconut Point Developers, L.L.C.

MAR 18 2004

**STATE OF INDIANA
COUNTY OF MARION**

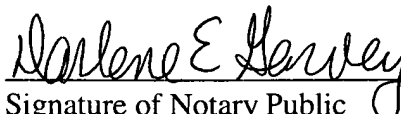
COMMUNITY DEVELOPMENT

The foregoing instrument was sworn to (or affirmed) and subscribed before me this 27th day of February, 2004 by David Simon, personally known to me as Chief Executive Officer of Simon Property Group, Inc., General Partner of Simon Property Group, L.P., Managing Member of Coconut Point Developers, L.L.C.

(Seal)



DARLENE E. GARVEY
Res. of Johnson Co.
Comm. Exp. 1-18-2008



Signature of Notary Public

Printed name of Notary Public



ADMINISTRATIVE ACTION REQUEST SUPPLEMENT H

ADMINISTRATIVE AMENDMENT TO A PUD OR PLANNED DEVELOPMENT

If the request is for an administrative amendment to a PUD or to a Planned Development please submit the "Application for Administrative Action" form and the following:

1. Original Project Name: Coconut Point DRI
2. Current Project Name: _____
3. Original Rezoning Case Number: Res. # Z-02-009; DRI 2000-00015 & DCI2001-00005
4. Subsequent Zoning Action Case Numbers (if any): N/A

5. Development Order Project Numbers (if any): N/A

6. Date property was acquired by present owner(s): December 13, 1995

MAR 18 2004

COMMUNITY DEVELOPMENT

REQUESTED ACTION AND JUSTIFICATION

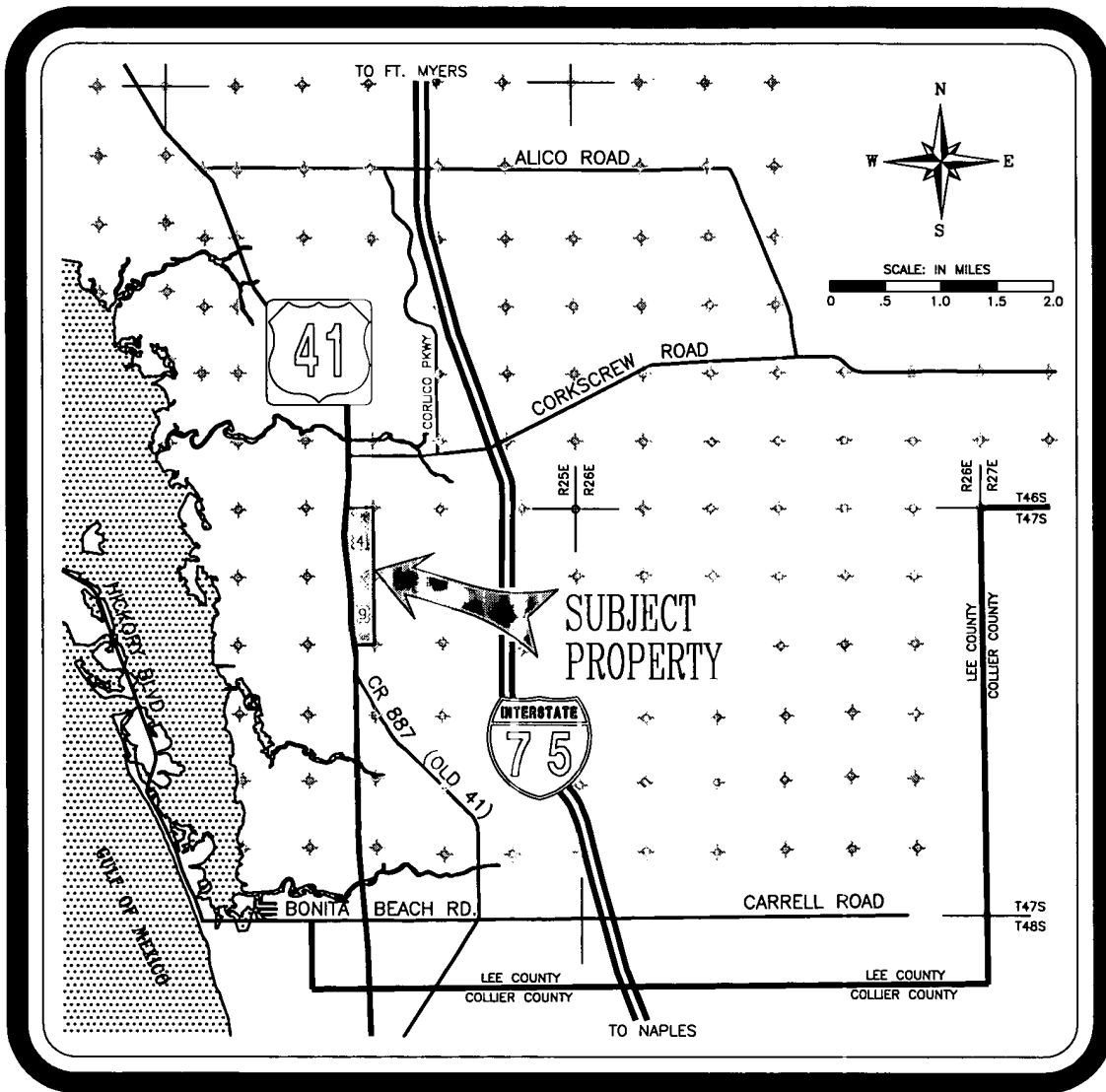
1. Please provide a written statement explaining exactly what is proposed. Include references to any sections of the Land Development Code from which relief is sought including why the relief is necessary and how it will affect the project.
2. Explain what conditions currently exist which warrant this request for relief from the regulations. Explain how approval of the relief will affect the project.

ADDITIONAL SUBMITTAL REQUIREMENTS: Please submit the following:

1. Area Location Map
2. Previous Zoning and Administrative Action approvals/denials
3. Four (4) sets of the APPROVED MASTER CONCEPT PLAN and DETAILED DRAWINGS of any DEVIATIONS OR CHANGES BEING PROPOSED.
4. One (1) copy of the Master Concept Plan REDUCED to a maximum size of 11 inches by 17 inches.

ADD 2004-00060

SITE LOCATION MAP



Sections 4 & 9
Twp. 47 S., Rng. 25 E.
Lee County, Fl.

MAR 18 2004

COMMON PL. DIST. NO. 1007

COCONUT POINT
M.P.D.

AND 2004-00060

PROJECT LOCATION MAP

Exhibit IV-J-1

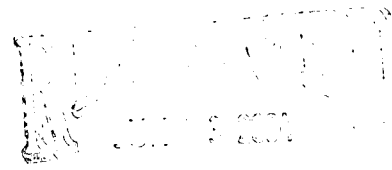
LIST OF DEVIATIONS AND JUSTIFICATION

Deviation #1

Deviation from LDC Section 10-329(d)(1)a.2. which states that no excavations will be allowed within 50 feet of any existing or proposed right of way line or easement for a collector or arterial street unless granted an administrative in accordance with LDC section 10-104. The setback may be reduced to not less than 25 feet if the developer provides for the protection of wayward vehicles through the use of guardrails, berms, swales, vegetation or other suitable methods as determined by the director. And from from LDC Section 10-329(d)(1)a.3. which states that no excavations will be allowed within 50 feet of any private property line under separate ownership unless granted an administrative in accordance with LDC section 10-104. This request is to allow a 30 feet lake setback from U.S. 41 (S.R. 45), a 25 feet lake setback from the proposed Sandy Lane Extension and existing Coconut Road and a 25 feet lake setback from a private property line under separate ownership.

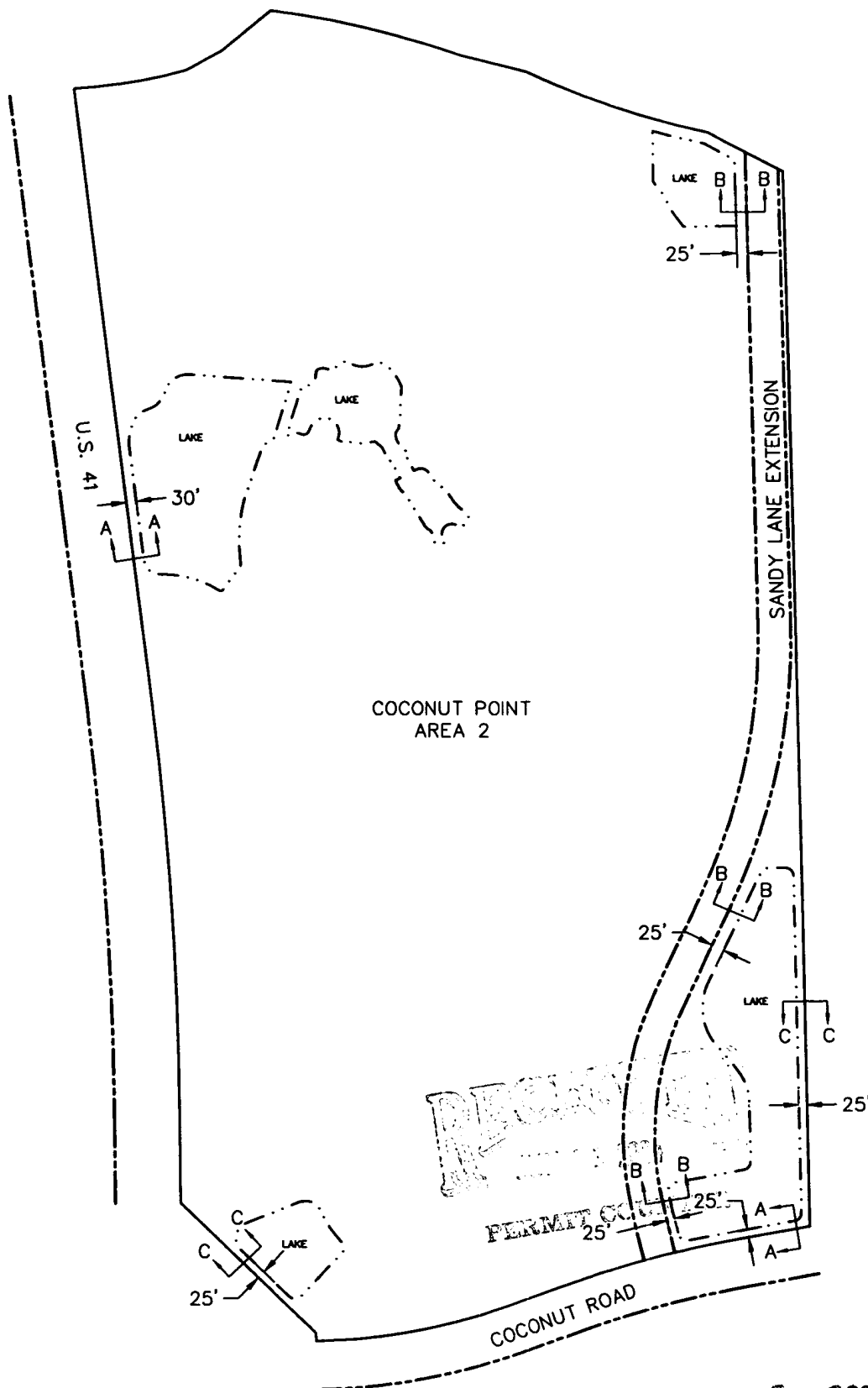
Justification for Deviation #1

Justification for the deviation will be in the form of alternate provisions for protection of wayward vehicles as mentioned in the code section. At the U.S. 41 location, a surface water management berm 30 feet buffer/vegetation will be provided at the right of way line per Coconut Point Zoning Resolution #Z-02-009. In addition, a detention swale is located within the U.S. 41 right of way between the travel lanes and the eastern right of way line. At the Sandy Lane locations, a surface water management berm and 15' street tree planting area along with type "F" non-mountable curb and gutter will be utilized to provide protection of vehicles. At the private property line locations, a surface water management berm will be provided.



PERMANENT RECORDS

ADD 2004-00060



ADD 2004-00300 SCALE: 1" = 500'



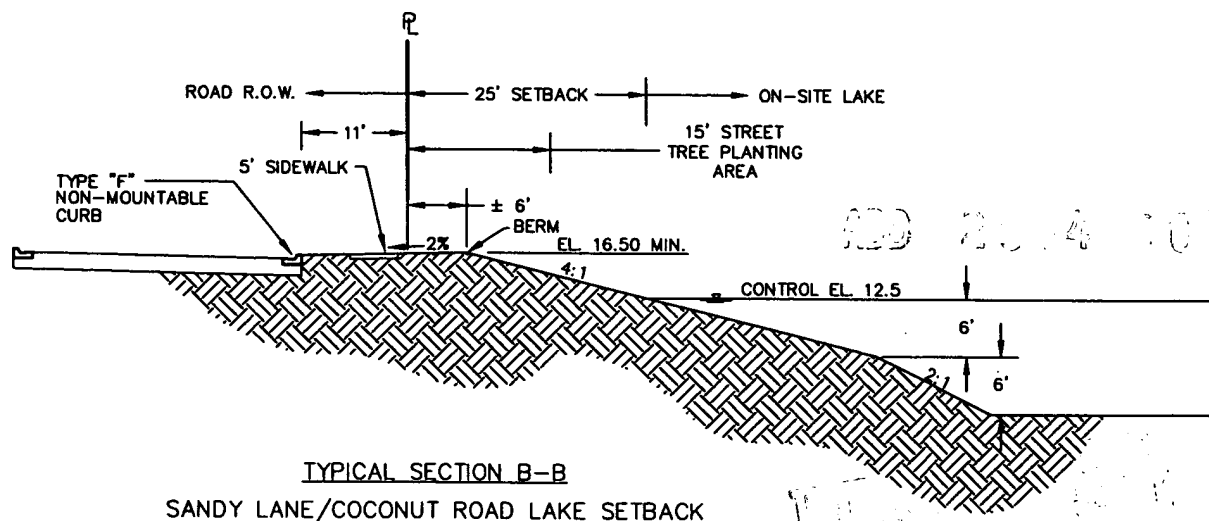
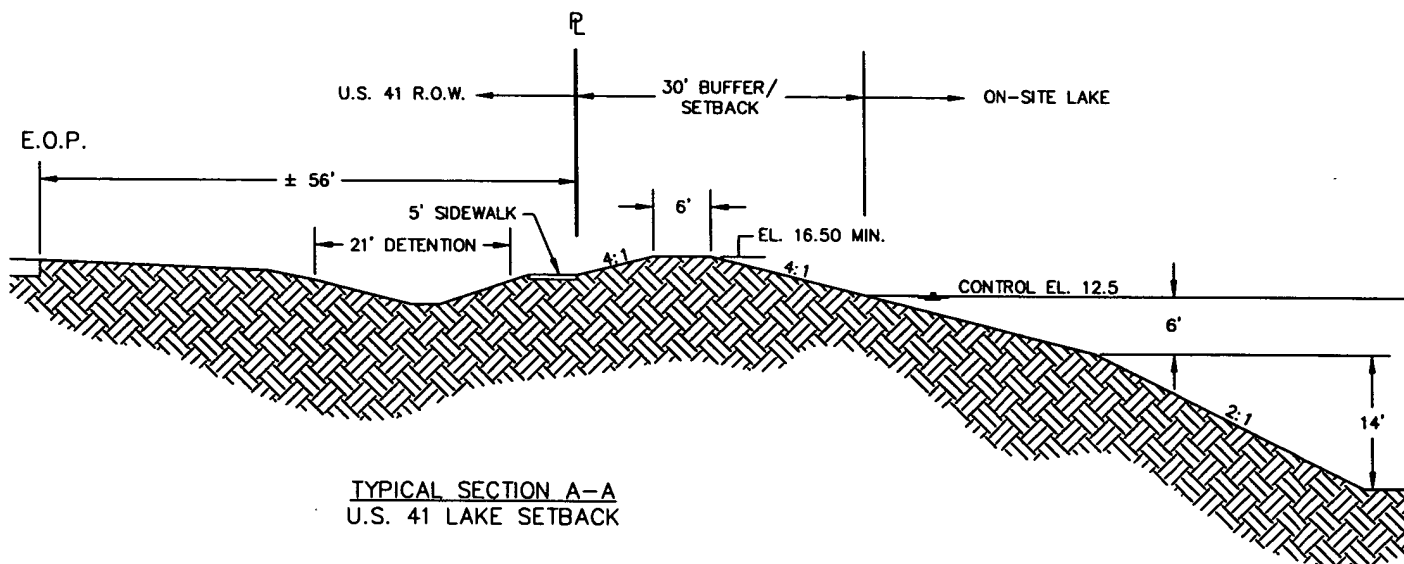
**6202-F Presidential Court
Fort Myers, FL 33919
Phone : (941) 985-1200
Professional Registration No.1772
Naples · Fort Myers · Venice · Englewood**

COCONUT POINT

LAKE SETBACKS - PLAN

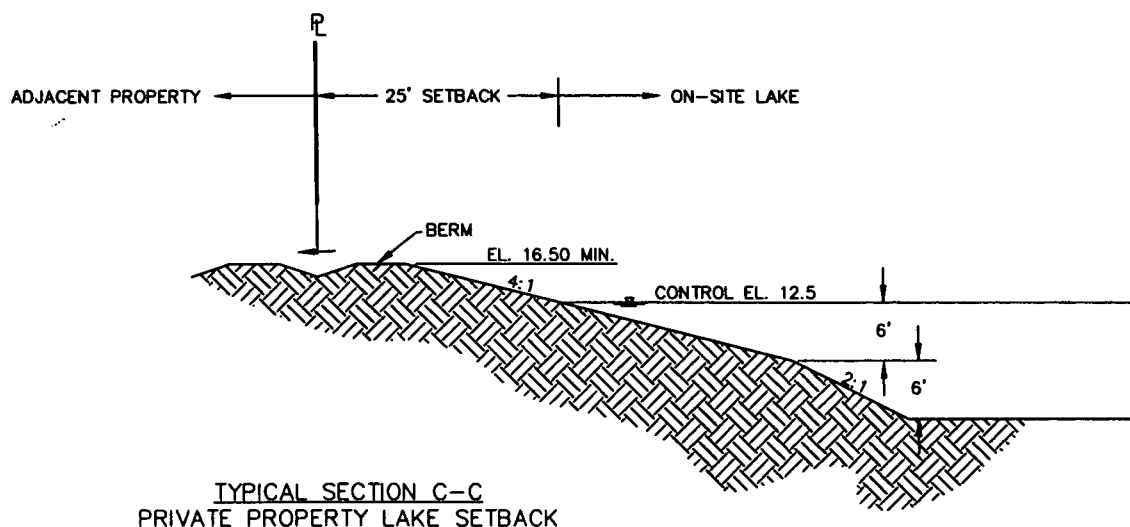
FIGURE
NO.

EX 1

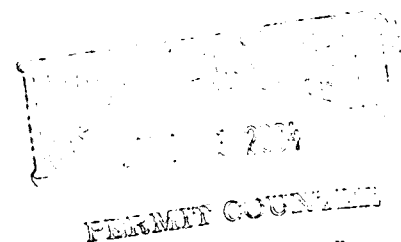


PERMIT COUNTY

SCALE: 1" = 20'



APP 2004-00060



SCALE: 1" = 20'

Proposed Plantings for Upland Portion of the Conservation Area

Within the southern portion of the Conservation Area in Area 1 of Coconut Point lies a 3.6 acre "upland" portion that has been previously disturbed and is now being revegetated naturally, however, sparsely. In meeting the LDC requirements for developing Area 1, it has been calculated that 416 General Trees will be required and will need to be planted in this area. In order to buffer possible future compatibility issues between the undeveloped residential Tract 1F and the proposed commercial uses within Tract 2B, the overall proposed landscape palette for the upland area will include Pine, Cypress, Bay and Cedar species with understory shrubs of Wax Myrtle, Myrsine and other appropriate species at 4' OAH min. in a random/natural pattern. While this area is considered upland, there will be extended periods where it may be inundated with standing water. Thus, particular species and varieties will be selected accordingly. Detailed landscape plans will be provided for review/approval at the time of the Area 2/ Phase I local Development Order.

ADD 2004-00060

RECEIVED
JUL 13 2004

PERMIT COUNTER

ITE TRIP GENERATION COMPARISON

PM Peak Hour External Trips

<u>Time Period</u>	<u>Drive-In Bank</u>	<u>U.S. Post Office</u>		<u>Day Care Center</u>	
	<u>Number</u>	<u>Number</u>	<u>% Change</u>	<u>Number</u>	<u>% Change</u>
Total Trips	153	87		83	
Pass-By Trips	<u>72</u>	<u>0</u>		<u>0</u>	
External Trips	81	87	1.07	83	1.02

Assumed land uses:

- Drive-in Bank: bank with 3 drive-in lanes
- U.S. Post Office: 8,000 sq. ft.
- Day Care Center: 8,000 sq. ft.

Source:

- ITE Trip Generation, Seventh Edition

RECEIVED

MAY 24 2004

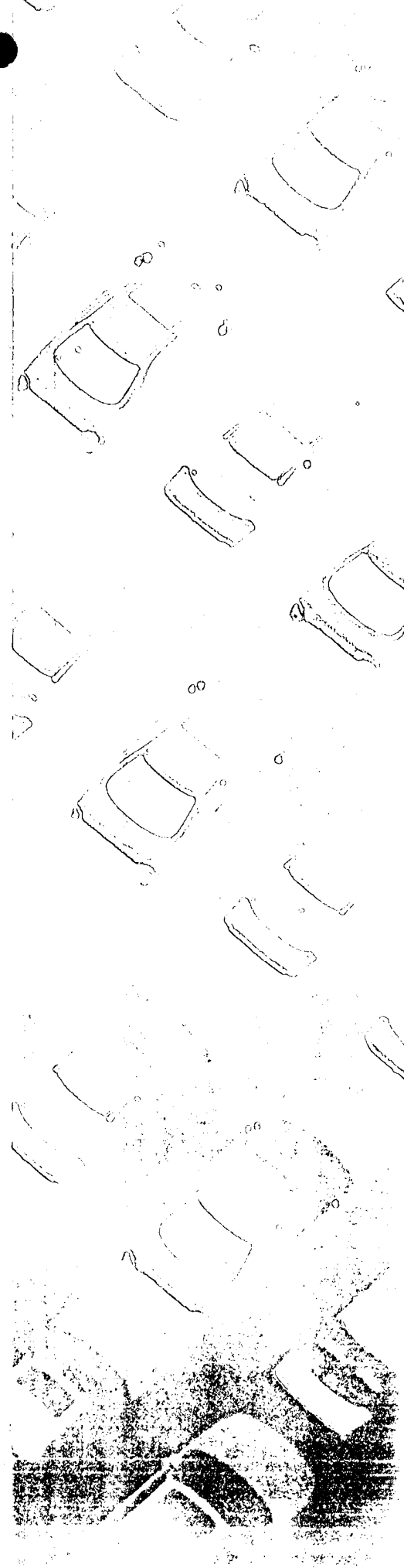
COMMUNITY DEVELOPMENT

dpa

ADD 2004-00060

Parking Requirements for Shopping Centers

Summary Recommendations
and Research Study Report
Second Edition



1

Introduction

The Changing Face of Shopping Centers

The face of the regional shopping center in the United States has been changing. Retail shopping centers are getting larger. According to the International Council of Shopping Centers (ICSC) publication *Shopping Centers Today*, in 1965, only 73 shopping centers in the United States exceeded 800,000 square feet of gross leasable area (GLA), "the total floor area designed for the tenants' occupancy and exclusive use."¹ By 1974, that number had grown to 249. In 1998, more than 714 centers exceeded 800,000 square feet. In fact, 395 centers exceeded 1 million square feet—almost twice the size of shopping centers that were once considered large.

Not only is the size of centers changing. The mix of land uses within regional shopping centers also is different today. Retail entertainment centers are becoming more common. Retail centers of all sizes contain larger proportions of restaurant service, cinema, and entertainment venues. Moreover, relatively new types of shopping centers have evolved, such as power centers, theme centers, and fashion/specialty centers.

Nearly 20 years have passed since ICSC and the Urban Land Institute collected data for their 1980 study, also entitled

Parking Requirements for Shopping Centers. Since then, there have been a number of changes in shopper and industry characteristics that have affected parking needs. These include: increased labor force participation among women; higher levels of traffic congestion; growing specialization of the shopping center industry and the emergence of new retail formats; and the addition of entertainment to traditional centers. In light of these many changes, now is an appropriate time to update the study.

The primary goal of this current study is to recommend parking demand ratios for shopping centers in the United States, based upon observations of parking at existing centers. To achieve this objective, the study collected and evaluated data on a wide range of factors influencing travel behavior and parking demand at shopping centers. The findings were prepared in a format usable for all those interested in shopping center parking managers, owners, developers, designers, planners, and local officials.

This analysis updates two extensive studies on parking demand at shopping centers. The first study measured parking demand from 1973 to 1975 during the holiday peaks (the month of December). The results were reported

in the May 1977 issue of *Urban Land*. The second study analyzed data collected in 1980; it was sponsored by ICSC and published by ULI in 1982. Data from both of these studies will be compared with data collected during the holiday shopping season of 1998.

This Report

Data for this report were collected in two parts. First, an extensive questionnaire was distributed to shopping centers across the United States. Responses to the questionnaire were received from 490 centers. Second, responding centers were asked to participate in parking accumulation counts during the 1998 holiday season. Parking counts were conducted at 169 centers.

Every effort was made to obtain a reasonable sample size for each type and size of shopping center that was analyzed. Where data are limited, a word of caution is noted. For example, a very limited amount of data was collected for factory outlet centers, power centers, and fashion/specialty centers, so parking demand was not reported. Moreover, a limited amount of parking accumulation data was collected for neighborhood and community centers. Consequently, the recommendations contained in this report err on the con-

ADD 2004-00069

RECEIVED

MAY 24 1998

servative side for neighborhood and community centers.

This study features significantly more data for regional and super regional centers, for which parking is more of an issue. Survey data indicate that 18 percent of centers with less than 400,000 square feet reported that they experienced "ten or more" days annually in which parking occupancy exceeded 85 percent. In comparison, 45 per-

cent of centers containing 600,000 to 1,499,999 square feet reported parking occupancies that exceeded 85 percent ten or more days of the year.

Chapters 3 and 4 of this report provide detail on the methodology used. Chapter 5 describes the general data collection results. In Chapters 6 and 7, the parking ratio recommendations are presented. The results of the General Questionnaire are provided in Chapters

8 and 9. Chapter 10 summarizes a series of case studies, and the appendices include all of the survey forms, in addition to the comprehensive matrix of recommended parking ratios.

Notes

- ¹ ULI—the Urban Land Institute, *Shopping Center Development Handbook* (Washington D.C.: ULI—the Urban Land Institute, 1985).

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

RECEIVED

MAY 24 2004

Key Recommendations

COMMUNITY DEVELOPMENT

This report presents a set of base recommendations for parking supply based on center size and makeup. An analysis of the survey data shows that these independent variables do not significantly affect the required parking supply:

- Geographic area
- Urban versus suburban setting
- Large city versus small city.

On the other hand, the amount of parking needed at a shopping center is affected by these variables:

- Proportion of restaurant, cinema, and entertainment land uses
- Percent of nonauto travel to the center
- Treatment of employee parking during shopping peaks
- Size of the center.

Adjustment factors for these variables will be discussed later in the report.

Parking Ratio Recommendations

Table 1 shows the recommended number of parking spaces per 1,000 square feet of gross leasable area (GLA).

The table located in Appendix A provides a comprehensive matrix of rec-

ommended ratios. This recommended provision of parking spaces will provide the typical shopping center with sufficient parking to serve the parking needs of customers and employees at the 20th busiest hour of the year. Moreover, these recommended ratios provide for a surplus of parking spaces during all but 19 hours of the more than 3,000 hours per year during which a shopping center is open. During 19 hours of each year, which are typically distributed over four peak shopping days, some patrons will not be able to find vacant spaces when they first enter the center. The recommended parking ratios are applicable for centers in which retail shops occupy at least 80 percent of the GLA.

The recommended parking ratios in Table 1 exclude centers in which 20 percent or more of occupied GLA is composed of restaurants, entertainment, and/or cinema space. The appropriate number of spaces for these centers should be determined using methodology such as that described in the Urban Land Institute's 1983 publication entitled *Shared Parking*. It defines shared parking as "parking spaces that can be used to serve two or more individual land uses without conflict or encroachment." Also, the data analyzed in this study suggest that for neighborhood and community centers, the recommended ratio may be as low as 3.7 spaces per 1,000 square feet of GLA provided

Table 1
Recommended Parking Ratios^a

Center Size (GLA in Square Feet)	Percentage of GLA in Restaurant, Entertainment, and/or Cinema Space		
	0-10%	11-20% ^b	>20%
Less than 400,000	4.0	4.0	Shared parking ^d
400,000-599,999	4.0-4.5 sliding scale ^c	4.0-4.5 sliding scale ^c	Shared parking ^d
600,000 and over	4.5	4.5	Shared parking ^d

- a Parked cars per 1,000 square feet of gross leasable area
- b For each percent above 10 percent, a linear increase of 0.03 spaces per 1,000 square feet should be calculated
- c Recommended parking ratio increases/decreases proportionally with center's square footage
- d Shared parking is defined as parking spaces that can be used to serve two or more individual land uses without conflict or encroachment.

ADD 2004-00060

RECEIVED

MAY 12 4 2004

COMMUNITY DEVELOPMENT

that additional spaces are available for restaurants, entertainment, and/or cinema use. However, because of limited parking data from these centers, the recommended parking ratio of 4.0 spaces per 1,000 square feet from the 1980 study should still be used.

As shown in Table 1, when restaurants, entertainment, and cinema space combine to equal 11 to 20 percent of the total GLA, a linear increase of 0.03 spaces per 1,000 square feet for each percent above 10 percent should be calculated. For instance, a 300,000-square-foot center in which restaurants, entertainment, and cinema space account for 14 percent of the total GLA would require 4.12 parking spaces per 1,000 square feet.

Base Level: 4.0 (Spaces)
+ 4% excess restaurant, entertainment, cinema x .03 = .12
Estimated ratio: 4.12

For recommended ratios with a sliding scale, the parking ratio increases or decreases proportionally with the center's square footage. For example, a 500,000-square-foot center with restaurant, entertainment, and cinema space constituting 10 percent or less of the total GLA would require 4.25 spaces per 1,000 square feet (halfway between the 400,000- and 599,999-square-foot ratios).

Method of Travel

The method of travel influences parking demand at a center. Employees or customers who arrive by modes of transportation other than private automobile reduce the demand for parking.

The parking ratio recommendations contained in this report are for centers that are primarily auto dependent, with minimal walk-in or transit use.

Employee Parking Requirements

Parking demand for employees continues to account for approximately 20 percent of the total parking demand during the peak period. Thus, centers that require employees to park off site during the peak season could see up to a 20 percent reduction in the parking demand. However, this adjustment should be utilized with caution since centers with uncontrolled free parking often have difficulty completely enforcing employee parking.

Parking Supply Ratios

It is important in recommending parking ratios to determine the current parking supply. A series of parking supply ratios was calculated for centers with parking accumulation counts based on the number of parking spaces per 1,000 square feet. As seen in Table 2, the parking supply exceeded demand for the

survey period for all center sizes. Therefore, parking demand during the design hour was not constricted by the availability of parking.

Parking Space Design

In the 1970s and 1980s, there was a trend toward smaller vehicle sizes. As stated in the 1980 *Parking Requirements for Shopping Centers*, the expectation was "that by 1990, most automobiles (60 to 95 percent) in use nationwide would be compacts." However, according to the National Parking Association (NPA), vehicles became increasingly larger in the 1990s. This trend has accelerated with the increased sales of sport utility vehicles. The NPA's last report that detailed trends in car size was published in 1996. It stated that only 39 percent of vehicles on the road were considered compact. *Dimensions of Parking*, published by ULI, provides historical automobile sales data by size of vehicle.

Given the declining number of compact vehicles, a one-size-fits-all ("universal" stall) parking space design is recommended.

Table 2
Parking Supply and Demand Ratios for Centers with Car Counts

Center Size (GLA in Square Feet)	Number of Responses	Parking Ratio (Parking Spaces per 1,000 Square Feet of Occupied GLA)	
		Supply	Demand
Less than 400,000	49	5.8	3.7
400,000-599,999	15	5.6	4.0
600,000-1,499,999	96	5.8	4.5
1,500,000-2,500,000	9	4.7	3.8
Total	169		

ADD 2004-00060

A Comparison of 1980 and 1998 Studies

The recommended parking ratios for centers under 400,000 square feet are consistent in the 1980 and the 1998 studies. However, larger centers require lower parking ratios today than those recommended in 1980. This is particularly evident in centers with 600,000 square feet or more. Table 3 compares the findings of the 1980 and 1998 studies.

Table 3
Recommended Parking Ratios: 1980 and 1998 Studies

Center Size (GLA in Square Feet)	Parking Ratio (Parking Spaces per 1,000 Square Feet of Occupied GLA)	
	1980 Study	1998 Study
Less than 400,000	4.0	4.0
400,000-599,999	4.0	4.0-4.5 (sliding scale)
600,000 and over	4.0-5.0 (sliding scale)	4.5

Note: See Table 1 explanation of sliding scale.

RECEIVED
MAY 24 2004
COMMUNITY DEVELOPMENT

ADD 2004-00060

**STAFF REPORT
FROM
DEPARTMENT OF COMMUNITY Y DEVELOPMENT
DIVISION OF ENVIRONMENTAL SCIENCES**

Date: June 8, 2004 REVISED June 11, 2004

To: Alvin "Chip" Block, Principal Planner
From: Kim Trebatoski; Principal Environmental Planner
Phone: (239) 479-8183
E-mail: trebatkm@leegov.com



Project: Simon Suncoast MPD
Case: ADD2004-00060
STRAP: 04-47-25-00-00001.0000

The Division of Environmental Sciences (ES) staff have reviewed the proposed administrative amendment requests for case ADD2004-00060, and have the following recommendations:

Item #1: Master Concept Plan (MCP) Revisions

The applicant is requesting a change in the uses within Tract 2B. The previously approved MCP delineated a residential component on the north side of Tract 2B. The proposed revision extends commercial use up to the indigenous preserve area.

Staff met with the applicant to discuss how the change to commercial use may impact the residential use within Tract 1F. The native vegetation within the preserve area consists mainly of herbaceous marsh plants and scattered trees. The applicant has indicated that 416 native trees (minimum 10-foot height) will be planted within the upland portion of the preserve as part of the Area #1 development phase. Additionally, the applicant has committed to installing native shrubs within the upland preserve to enhance the buffering between the commercial and residential uses. A detailed landscape plan will be provided for review and approval at the time of the Area 2/Phase I local development order.

ES staff have recently discussed the preserve with Jim Beaver, Florida Fish and Wildlife Conservation Commission (FWC). He has indicated that FWC wants to insure this preserve area is maintained as a large mammal corridor as Florida black bear have been documented in the Halfway Creek basin.

There fore ES staff recommend the following condition:

Prior to local development order approval, the development order plans must include a detailed planting plan for the upland preservation area north of Tract 2B that provides the specifications

for the native shrubs (species, size and number) to be installed prior to issuance of a Certificate of Compliance. A minimum of 500 shrubs must be planted provided this does not contradict the preserve management plan per Florida Fish and Wildlife Conservation Commission requirements of the Development of Regional Impact Development Order. The shrubs must be planted in a random manner to mimic a natural system. The shrubs must be native species tolerant of periodic flooding such as wax myrtle, myrsine, and cocoplum. Fifty percent of the shrubs must be a minimum 4-foot height, and fifty percent must be a minimum 3-gallon container size at time of installation. All shrubs must be mulched with a pine straw (3-inch layer; 24-inch radius).

Item #2: Schedule of Uses

No ES issues with this request.

Item #3: Generalized Pedestrian Plan

No ES issues with this request.

Item #4A: Proposed Parking Ratios

No ES issues with this request.

Item #4B: Parking Ratios for Restaurant/Lake Area

No ES issues with this request.

Item #5: Site Lighting Plan

No ES issues with this request.

Item #6: Parking Bumpers

The applicant clarified the proposed medians will be landscaped per LDC. The use of the term "enhanced" landscaping should not have been used. The LDC allows for the use of parking medians instead of parking islands. Therefore, ES staff does not have any issues with this request.

Item #7: Temporary Project Signage

Conditions previously recommended.

Item #8: Clarification of the Schedule of Permitted Uses for Tract 1D

No ES issues with this request.

Item #9: Clarification of Open Space for Residential Uses above/over Commercial

The applicant is requesting clarification of the open space requirement for the mixed-use portion of the project. ES staff did clarify that the open space will be based on the ground floor use. Therefore, if residential uses are proposed within buildings with commercial uses on the ground floor, the open space requirement is 30%.

Item #10: Clarification of Non-vertical Infrastructure Improvements and Revised Zoning Conditions

Previously addressed and approved May 10, 2004.

Deviation from LDC Section 10-329(d)(4) - Excavation Bank Slopes

The applicant is requesting the use of bulkheads along portions of the lakes as delineated in the Bulkhead Exhibit (Attachment 'O'). The justification for the request is to create a unique retail/restaurant/outdoor amenity experience around a large, central lake feature, which will allow pedestrians close access to the water. The applicant recommends a condition to provide a compensatory littoral zone to offset the use of bulkheads.

ES staff recommend APPROVAL with CONDITIONS of this deviation as follows:

If bulkheads are utilized in the final site design, then the Paving and Grading, and Landscape Plans must delineate the location of the bulkheads in substantial compliance with the attached Bulkhead Exhibit (attached hereto). The design of the lake adjacent to the bulkheads must include a compensatory littoral zone with a 4:1 slope with a 5-foot littoral shelf equivalent to the linear footage of the bulkhead along the bulkhead, or an alternative compensatory littoral zone reviewed and approved by the Division of Environmental Sciences. The littoral planting requirements within any lake utilizing bulkheads must be calculated as two (2) herbaceous littoral plants per linear foot of shoreline for the lakes delineated on the Bulkhead Planting Exhibit (attached hereto), and the placement of the littoral vegetation must be concentrated within the compensatory littoral zone. Native wetland trees and/or shrubs may be used to meet the littoral planting requirement with one 7-gallon tree or two 3-gallon shrubs credited as 10 herbaceous littoral plants.

Design Review Guidelines

ES staff does not have any issue with the Design Review Guidelines as revised.

NUMBER	1	2	3	4	5	6
1						
2						
3						
4						
5						
6						



HOLE MONTES
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED	DATE
DRAWN	DATE
C.R.B.	05/21/04
CHECKED	DATE
T.A.	05/21/04
VERT. SCALE	HORIZ. SCALE
	As Shown
DRAWING NO.	
REFERENCE NO.	
Exhibit 'O'	
PROJECT NO.	SHEET NO.
03.116-B	1 of 1

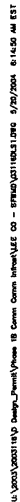
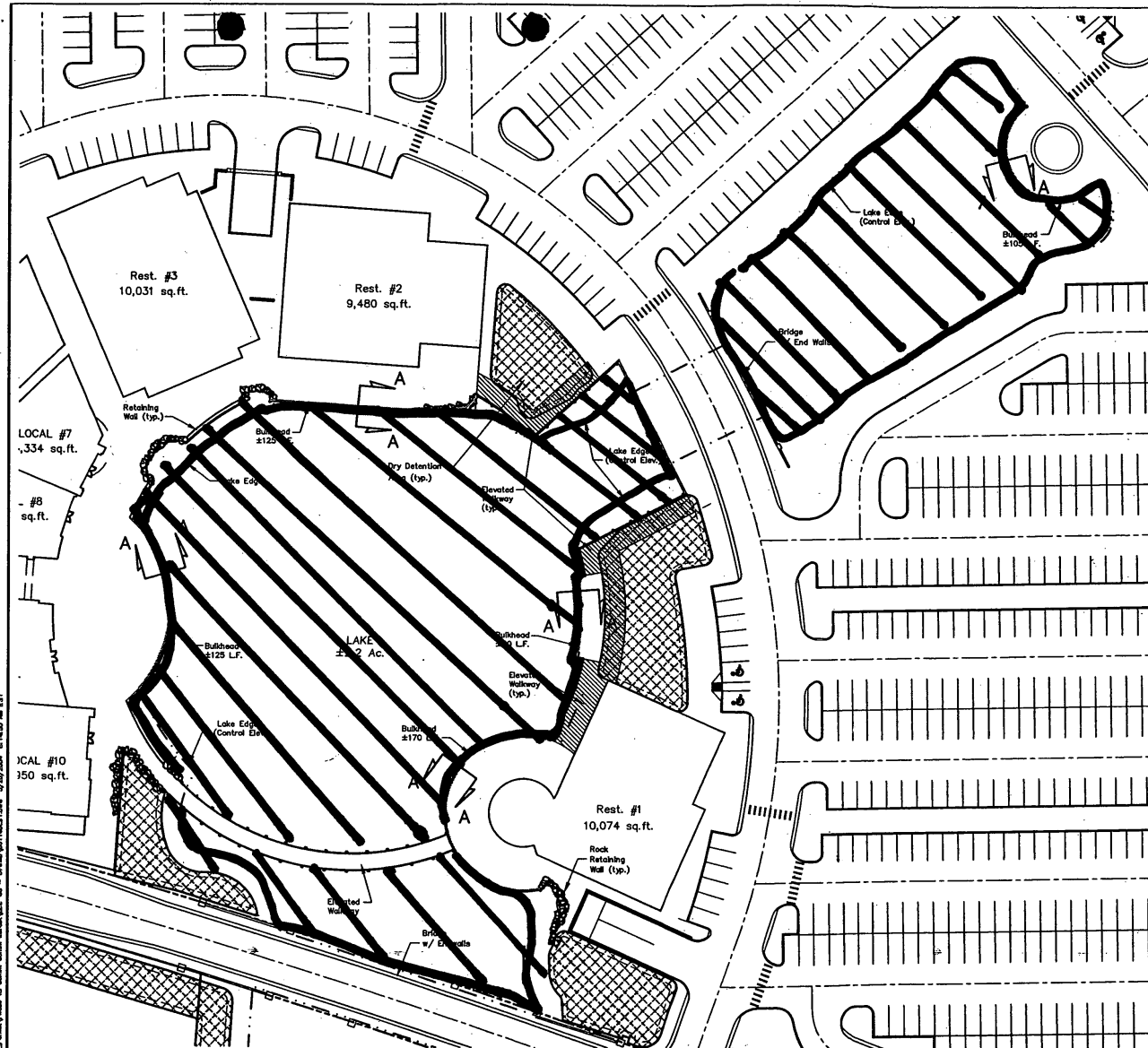
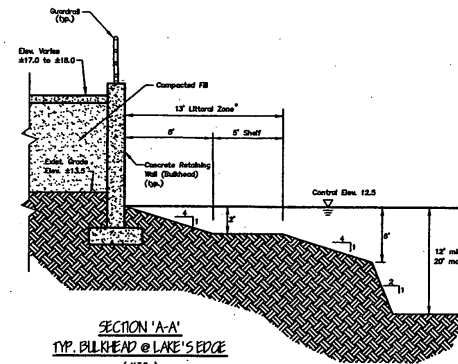


EXHIBIT 'O'



NOTE:
 TOTAL LENGTH OF LAKE SHORELINE: ±2,035 lin.ft.
 TOTAL LENGTH OF CONCRETE BULKHEAD: ±575 lin.ft.
 LENGTH of BULKHEAD / LENGTH of LAKE SHORELINE: 28.3%

Bulkhead Planting Exhibit



* LITTORAL ZONE TO BE PLANTED WITH HERBACEOUS SPECIES AT THE RATE OF TWO (2) PLANTS PER L.F. PLANTS TO BE INSTALLED IN CLUSTERS.

Lakes Requiring 2 herbaceous plants per linear foot per condition

Res. No.: Z-02-009
 Approval Date: 21st October 2002
 Case No.: DR12000-00015 & DC12001-00005
 State DRI No.: 09-2001-153



EXHIBIT 'O'

DATE	
REVISIONS	
Δ	Δ
Δ	Δ
Δ	Δ
Δ	Δ
Δ	Δ
Δ	Δ
6202-F Presidential Court Fort Myers, FL 33919 Phone: (813) 435-1772 Professional Seal: No. 1772 Hialeah - Fort Myers - Valrico - Englewood	
COCONUT POINT M.P.D. BULKHEAD DETAILS	
DESIGNED BY	DATE
C.R.B.	05/21/04
CHECKED BY	DATE
T.A.	05/21/04
IN CHARGE	DATE
As Shown	
EXHIBIT 'O' 03.116-B 1 of 1	

From: Alvin Chip Block
To: Dewhirst, Ned
Date: 6/1/04 10:11AM
Subject: Coconut Point Note 2

Also, I see on the proposed Master Concept Plan the location of Temporary Sales Facility at access point #2.

Will the developer comply with the Design Review Guidelines for this facility?

Alvin Block, AICP
Principal Planner
Department of Community Development
blockah@leegov.com
239-479-8371
239-479-8313 (fax)

CC: Eckenrode, Pete; Gibbs, Mary; Hoskins, Kim; Houck, Pam; Rentz, Robert

May 21st, 2004

Mr. Alvin 'Chip' Block
Principal Planner
Lee County Department of Zoning
PO Box 398
Ft. Myers, FL 33902

RECEIVED
MAY 24 2004
am kw
COMMUNITY DEVELOPMENT

RE: Coconut Point MPD – Administrative Amendment Request
ADD2004-00060
1st Sufficiency Response Letter
HM Project No.: 2003.116-B

Dear Mr. Block,

In response to your letter dated May 4th, 2004 and as a follow-up to our discussions at our meeting on Wednesday, May 12th, 2004 please see the following:

Item #1: (Master Concept Plan revisions)

Attached is the revised Coconut Point MPD Master Concept Plan, previously submitted as **Attachment 'A'**. Please note the following:

a) The previously approved Tract 2A now shows a continuation of the north-south internal roadway, which runs from Coconut Road northward to an intersection with Sandy Lane Extension at a point ±675' south of Williams Road. The Master Concept Plan now provides further detail as to the proposed development of Tracts 2D, 2E-1 and 2E-2, with essentially the same types of commercial uses as were previously approved within Tract 2A. Previously approved Tracts 2C and 2D have been combined into one (1) tract (Tract 2C) with, again, essentially the same types of commercial uses as were previously approved. Tract 2E has been reconfigured to now only front on Sandy Lane Extension, and has been re-labeled as Tract 2F.

Previously approved Tracts 2B-1 and 2B-2 have been re-configured into one (1) tract (Tract 2B). The residential component previously planned for Tract 2B-2 has been relocated to the south within Tract 2A.

As discussed at our meeting on May 12th, enhanced upland plantings within the southern Conservation Area of the flow-way will buffer possible future compatibility issues between the undeveloped Residential Tract 1F and the proposed commercial uses within Tract 2B. The details of these plantings are being discussed with the Division of Environmental Sciences and will be submitted under separate cover. Therefore, the only proposed change on the MCP in Area #2 that is located along the perimeter which may have an impact will be offset by proposed enhanced buffering.

b) The changes to the "Maximum Development Tract Intensity" table, as shown on the Master Concept Plan, are only a direct result of the revised tract areas within Area #2, and are still

limited by the note which prohibits intensities exceeding the previously approved densities of the project.

c) The elimination of the previously shown internal east-west road, connecting US 41 with Sandy Lane Extension, is inconsequential in terms of the project's off-site traffic impacts. Attached is a copy of correspondence from David Plummer & Associates, dated May 10th, 2004 which documents this conclusion, and is labeled as **Attachment 'B'**. In addition, we have added note #3 to the Master Concept Plan, as discussed at our meeting, which provides for an alternative design for traffic movement between US 41 and Sandy Lane Extension.

d) The previously submitted proposed Schedule of Uses is a direct result of the reconfiguring of tracts within Area #2, and with the exception of Tract 2B, which is discussed in a) above, no new uses have been added. The proposed Development Regulations previously submitted simply clarified proposed Development Regulations for previously approved residential uses within Tract 2A. See attached copy of previously submitted proposed Schedule of Uses and Development Regulations for all tracts within Area #2 as **Attachment 'C'**. You will note the highlighted red portions, which represent the changes to the approved list of uses and development regulations.

Item #3: ***(Generalized Pedestrian Circulation Plan)***

As was requested in Condition #14 of Res. #Z-02-009, Coconut Point DRI, which stated, in part, that "a generalized pedestrian circulation plan for the entire property must be submitted to the County for Administrative Approval prior to the approval of the first local development order for the project, the Generalized Pedestrian Circulation Plan was previously submitted as part of this application for Administrative Action, as well as being a part of the submittal for DOS2004-00038. To date, we have not received comments regarding this plan. Please see **Attachment 'D'** for an additional copy for your review / approval.

Item #4A: ***(Proposed Parking Ratios)***

a) The intent of our request is simply to verify our interpretation of the Lee County LDC Section 34-2020(5) for Multiple-occupancy complexes. The Coconut Point Area #2 is made up of three (3) separate and distinct commercial phases, each under 600,000 sf of building area; therefore each phase would require a parking ratio of 4.5/1000 sf. All outlots would provide additional parking based upon their proposed land use per the LDC.

b) Please see revised **Attachment 'E'**, which adds a note, as we discussed, which clarifies that each phase will not exceed the 600,000 sq.ft. threshold associated with the 4.5 spaces per 1,000 sq.ft. parking ratio. As requested at our meeting, we are attaching the parking ratio study for The Avenues Mall (**Attachment 'F'**) and the U.L.I. Study on Parking Requirements for Shopping Centers (**Attachment 'G'**) as additional support information for the proposed parking ratio.

Item #4B: ***(Parking Ratios for Restaurant/Lake Area)***

a) Again, the intent of our request is to verify our interpretation of the Lee County LDC Section 34-2020(5) for Multiple-occupancy complexes, specifically the part of the code for retail buildings and restaurants located outside of the shopping center area. Due to the unique design of the Coconut Point Area #2, certain commercial components will not be attached to other commercial buildings. Within the Phase One Community Center, retail buildings and restaurants are grouped around a central lake/boardwalk amenity area separate from the main center; however are tied together by vehicular and pedestrian circulation connections, and serves as the "heart" of the Phase One area. Similarly the theater and other retail buildings within Phase Two are grouped together into a towncenter concept, but are separated in many places by vehicular and pedestrian corridors.

2004-00067

2004-00067

RECEIVED
MAY 24 2004

COMMUNITY DEVELOPMENT

We contend that these types of uses, even though separate, are not "located outside the shopping area". Therefore these types of uses would also provide parking at a ratio of 4.5/1000 sf.

Also, it should be noted that all Outlots, due to their proximity to the surrounding arterial/collector roadways, shall be required to provide additional parking per the Lee County LDC based upon their proposed uses.

Per our discussion, we have revised the previously submitted Community Center/Lake Area parking exhibit to add a note which defines the proposed parking ratio for this area. (**See Attachment 'H'**)

Item #5: (Site Lighting)

Request for a deviation from LDC Sec. 34-625(d)(4)a. - The maximum height of light poles for parking lots and vehicular use areas may not exceed 25 feet measured from the ground level directly below the luminaire to the bottom of the lamp itself.

This is a request for a deviation from LDC Sec. 34-625(d)(4)a. which states, in part, that *the maximum height of light poles for parking lots and vehicular use areas may not exceed 25 feet measured from the ground level directly below the luminaire to the bottom of the lamp itself*, to allow the maximum height of light poles for parking lots and vehicular use areas to not exceed 30 feet, as measured from the ground level directly below the luminaire to the bottom of the lamp itself.

The justification for this request is as follows:

As discussed in our meeting on May 12th, we are reducing our earlier proposed light pole height from 35' to 30', which exceeds the code requirement of 25' by 5'. Copies of the revised Site Lighting Layout Plans, which reflect this change in pole height from 35' to 30', are attached as **Attachment 'I'**. These exhibits show the reduction of light poles within the parking area from 268 to 165, while maintaining the same level of light intensity at the project perimeter. As discussed at our meeting, the justifications for this deviation are that higher poles provide a more uniform light spread per pole resulting in more uniform light levels across the parking areas; the esthetics of fewer poles cluttering up large parking areas; the remoteness for a majority of the site from any adjacent land uses; and maintaining the same light intensity at the project boundary.

RECEIVED

MAY 24 2004

Item #6: (Parking Bumpers)

Request for a Deviation from LDC Sec. 34-2016 (2) a.2. - Delineation of Spaces, Paved Parking Lots.

This is a request for a deviation from LDC Sec. 34-2016 (2)a.2. which states that *parking spaces which do not abut a curb, fence, wall or other structure must be provided with a parking block set two (2) feet from the end of the parking space*, to allow those spaces within Area #2 shown on the Proposed Site Parking / Landscaping Plan which do not abut the curbed landscaped medians or islands to not provide a parking block.

The justification for this request is as follows:

ADD 2004-00060

a) The parking fields for the Coconut Point MPD - Area #2 have been specifically designed to break up parking fields into smaller pods defined by large, well-landscaped medians and islands that prohibit significant travel distances by vehicles across parking areas and force customers to use the drive aisles as intended to circulate through the fields and from pod to pod. These enhanced landscaped medians/islands, located no more than 176 feet apart, are a significant deterrent to high

speed "cross-country" travel through the parking area and enforce a slower, safer, more organized circulation pattern. This layout of interior parking lot/enhanced landscaping is unique from most typical retail projects in Lee County, which usually consists of small/isolated islands scattered through out the parking areas.

In addition, where the proposed parking fields abut adjacent roadways, rights-of-way, and/or other land owners at locations along the parking perimeter, curbed landscaped islands have been created to further enhance the regulatory nature of the parking field landscaping features.

b) Other jurisdictions' regulations regarding regional shopping centers and other locations featuring similar large shopping centers (i.e. Cities of Cape Coral and Jacksonville) have not required the installation of parking bumpers in standard spaces (9' x 18'). When the spaces abut either a landscaped area or a sidewalk, concrete curbing is typically utilized as wheel stops, with a 2 ft. vehicular overhang area at the end of the parking space.

c) The issue of liability for injury to shoppers and pedestrians is of great concern, as the leading cause for litigation against shopping center developers has been for injury due to falls. This request would remove one of the leading causes of such accidents, and greatly reduce the developer's liability for damages due to injury from falls. In fact, it should be noted that the City of Hurst, Texas, home of a ± 1.7 million sq.ft. Regional Mall specifically banned the installation of parking bumpers throughout the city as a safety hazard due to pedestrian trip and fall problems.

d) It is more desirable, in a community center of this size, to afford customers the ability to maneuver their vehicles in such a manner that would allow them to exit the parking space in a forward motion, if they so desire. This will reduce the risk of accident due to poor visibility when backing up to exit a parking space. In the current market, with the abundance of SUV's and Minivans being driven by a wide variety of shoppers, this option would allow for easier exiting of spaces when parked between vehicles of such a size. Turning and looking over one's shoulder to see potential vehicles behind you is not always possible, and could create an undue vehicular hazard condition.

e) The developers of Coconut Point MPD Area #2 seek to create and maintain a unique shopping experience for all patrons, and one of the many ways of doing this is to employ street sweepers to maintain the surrounding parking lots in a clean, debris-free manner. The Coconut Point DRI Development Order specifically requires regularly scheduled vacuum sweeping as a stormwater Best Management Practice (BMP) (Section C11.- Stormwater Management). The requirement of parking bumpers would not allow the sweepers full access to the parking area, which would create potential areas where dirt/debris can gather and cause unsightly/unsafe conditions for shoppers, and contribute to poor stormwater quality.

A copy of the Proposed Site Parking / Landscaping Plan (**Attachment 'J'**) is attached. This plan highlights the enhanced landscaped parking medians and shows a typical section of these enhanced median areas. We feel that all of the above justifications, when considered collectively, offset the requirement for parking bumpers and, in light of the enhanced landscaping features enumerated above, pose no threat or endangerment to the public health, safety and/or welfare, or to adjacent property owners.

RECEIVED
MAY 24 2004

Item #7: **(Temporary Project Signage)**

This item has been subsequently addressed since our meeting on May 12. Please see the attached revised "Project Announcement Sign Exhibit" (**Attachment 'K'**). In particular, please note that:

COMMUNITY DEVELOPMENT
ADD 2004-00060

a) the size of the face of the sign is now 10' wide by 14' high, with a maximum height from ground elevation of 18'.

b) the enumeration of the proposed tenants has been removed, and

c) the proposed landscaping to be provided has been enumerated (i.e., locations, sizes and quantities) along with timing of plant installation with construction of sign

Due to it's location, being situated along US 41 between Coconut Road and Williams Road in South Lee County, the Applicant is requesting Deviations from the following portions of Section 30 of the Lee County Land Development Code:

A Deviation from LDC Sec. 30-151(1)a.2., which states that *"sign area may not exceed 32 sq.ft., and signs (including the support structure) may not exceed ten (10) feet in height above the crown of any abutting street"*, to allow a 14 ft. high by 10 ft. wide two-panel sign, to be mounted at a height of 4 ft. above existing grade. Graphic illustrations of the proposed sign, proposed landscaping, and proposed location are included with this application.

A Deviation from LDC Sec. 30-151(1)a.3., which states, in part, that *"a sign announcing a project to be under construction or an intended use of the premises in the immediate future may include only the project name, the nature of development (e.g., professional office, villas, townhouses, condominiums, etc.), the name of the owner or agent, and one telephone number"*, to allow the proposed sign to contain the targeted opening dates, the name of the project, the name and phone numbers of the leasing agents for both the Community Center and the Town Center, and a graphic illustration of a portion of the project.

A Deviation from LDC Sec. 30-151(1)a.3., which states, in part, that *"such sign may be posted for a 180-day period, at the end of which time continued use of the sign would be subject to the approval of the Building Department official"*, to allow the time period to be extended to 12 months, at the end of which time continued use of the sign would be subject to the approval of the Building Department officials.

Justification for Deviation Request

We are proposing to construct **one (1) temporary** real estate/announcement sign along US 41 which would be a two panel sign, each 14' high and 10' wide, having a total of 280 square feet of signage. As shown in the following calculation, we are below the allowable limits:

US 41, Area #2 $3,500/330 \text{ If} = 10 \text{ signs} \times 32 \text{ sf} = 320 \text{ sf}$

Given the location along this heavily traveled roadway, the vertical height of this sign is needed for visibility to vehicles in relation to their driving speed. It is the intent of the applicant to regulate the size and location of the sign so as to provide information to travelers while encouraging safe traveling conditions at this location. The applicant is proposing only **one** larger/enhanced landscaped sign along US 41 which will provide an identification landmark for Coconut Point Area #2, as opposed to the 10 smaller signs along US 41 and numerous others along Coconut Road and Sandy Lane Extension the developer could construct without any deviations. The applicant requests approval of this **one temporary** sign in accordance with the attached plans. The applicant believes that the requested signage meets the intent of LDC Section 30 by providing visual information to the traveling public in an efficient, attractive, and safe manner while minimizing the number of signs along this heavily traveled roadway.

Item #8: **(Clarification of the Schedule of Permitted Uses for Tract 1D)**

Per our meeting on May 12th, please note the following:

- a) This request will allow for Banks and Financial Establishments, Group I and Group II (limited to SIC Codes 604, 621, 672, 673 and 674), along with drive thru facility which is consistent with the uses approved for neighboring Tracts 1A, 1B and 1C per Res. No. #Z-02-009.
- b) A traffic analysis of this scenario was prepared by David Plummer & Associates, and was previously submitted. A copy is included with this response (**Attachment 'L'**). Based upon this analysis and limiting the proposed use to three (3) drive-thru teller lanes, the peak pm trips for the proposed use would be less than other uses currently approved for the tract.
- c) An exhibit depicting the proposed development parcel Tract 1D-1 which is the location of the proposed bank use, along with the future Estero Fire District Station location is attached (**See Attachment 'M'**). Based on this exhibit, there will be no exterior impacts to surrounding areas by the proposed bank use. Again note the Tract 1C location which also contains an approved bank with drive thru use.

Item #9: **(Clarification of Open Space for Residential Uses above/over Commercial Uses:**

As of this date, no comments regarding this clarification have been received. Previous discussions with Lee County Environmental Sciences Staff indicated agreement with the interpretation that where there is a mixed use within a building of more than one story, it is the use on the first floor that determines the required open space calculation.

Item #10: **(Clarification of Non-vertical Infrastructure Improvements and Revised Zoning Conditions)**

This request was subsequently approved, per ADD2004-00060, on May 10th, 2004. A copy is attached (**See Attachment 'N'**)

ADDITIONAL ITEMS ADDED

1.) Request for a Deviation from LDC Sec. 10-329(d)(4) – Excavation Bank Slopes

This is a request for a deviation from LDC Sec. 10-329(d)(4), which states that *the design of shorelines of retention and detention areas must be sinuous rather than straight, as described in Division 6 of this article. The banks of excavations permitted under this section must be sloped at a ratio not greater than 4 horizontal to 1 vertical (4:1) from the top of the excavation to a water depth of four feet below the dry season water table. The slopes must not be greater than 2 horizontal to 1 vertical (2:1) thereafter, except where the Director of Development Services determines that geologic conditions would permit a stable slope at steeper than a two to one (2:1) ratio. Excavation bank slopes must comply with the shoreline configuration, slope requirements and planting requirements for mimicking natural systems specified in LDC Sec. 10-418; to allow that:*

"if bulkheads are utilized in the final site design, then the Paving and Grading, and Landscape Plans must delineate the location of the bulkheads in substantial compliance with the attached Bulkhead Exhibit (**See Attachment 'O'**). The design of the lake adjacent to the bulkheads must include a compensatory littoral zone with an 8:1 slope or 4:1 slope with 5' littoral shelf equivalent to the linear footage of the bulkhead along the bulkhead, or an alternate compensatory

littoral zone reviewed and approved by the Lee County Division of Environmental Sciences. The littoral planting requirements within this lake must be calculated as two (2) herbaceous littoral plants per linear foot of shoreline, and the placement of the littoral vegetation must be concentrated within the compensatory littoral zone. Native wetland trees or shrubs may be used to meet the littoral planting requirement with one (1) 7-gallon tree or two (2) 3-gallon shrubs credited as 10 herbaceous littoral plants".

The purpose for this deviation request is to create a unique retail/restaurant/outdoor amenity experience around a large, central lake feature, which will allow pedestrians close access to the water.

2.) Request for copies of revised Design Review Guidelines, as approved by the Estero Design Review Committee.

Copies of the revised Design Review Guidelines (DRG) are included with this response. **(See Attachment 'P')** To date, we have received written comments from Lee County Division of Environmental Science and the Estero Design Review Committee. The attached revised DRG have addressed these comments. We are requesting approval of these DRG as required by conditions 3 and 5 of the Coconut Point zoning resolution #Z-02-009.

If you should have any questions, or require additional information, please contact me.

Very truly yours,

HOLE MONTES, INC.



Ned E. Dewhirst, P.E.
Sr. Vice President/Principal

NED/crb

Enclosures

cc.: Chuck Schneider
Tom Schneider
Eric Evans
Matt Doelger
Ron Dillon

ADD 2004-00060

5/21

Chip -
FYI
Pete

Estero Design Review Committee
Public Informational Session Summary and Design Review Comments

May 10, 2004

Ron Dillon
Vice President
Oakbrook Properties, Inc.
P.O. Box 366879
Bonita Springs, Florida 34136

RE: Coconut Point Design Review Guidelines
Public Informational Session Summary and Design Review Comments
Estero Design Review Committee Meeting of April 14, 2004
Location: Estero Country Club and The Vines - Perry Room

Dear Applicant and County Staff:

The above referenced project was presented to EDRC on April 14, 2004, and has satisfied the public informational session as required per LDC, Sect.34-1042. The EDRC recommends development order approval with the following suggestions/comments.

- Recommend required façade wraparound building corners be written into design guidelines
- Recommend fence in rear of commercial buildings (or plantings: the fence would be unnecessary with sufficient landscape buffering)
- Any solid walls shall require sufficient landscaping; presenters agreed to this being "required" rather than "suggested"
- Plant-materials list in book to be simplified (Mr. Dillon)
- Oakbrook Properties asked to have internal design review supercede EDRC review as long as design guidelines meet or exceed Estero Community Plan and EDRC requirements
- Suggest that Ron Dillon reports back to EDRC periodically during construction of this project and/or a committee member be allowed to be involved in the design review process as structured by the developer

The following attendees were present at the EDRC meeting where the above referenced project was presented and reviewed by the EDRC members: Dan Hennelly, Tires Plus, Keith May, Spring Engineering, Clark D. East, Central Development, and Wilbur Brantley, Central Development.

Estero Design Review Committee

Public Informational Session Summary and Design Review Comments

Per LDC Sect. 34-1042, the applicant must provide a proposal for how the applicant will respond to any issues that were raised. The EDRC recommends the applicant attach a response letter explaining how the EDRC suggestions/comments may or may not be addressed with revisions/changes to the Development Order submittal.

The EDRC would like to thank the applicant for the submittal and cooperation with the design review procedures.

Sincerely,

Wayne E. Robinson Jr., ASLA, RLA
Chair, Estero Design Review Committee

CC: County Review Staff

DAVID PLUMMER & ASSOCIATES

TRANSPORTATION • CIVIL • STRUCTURAL • ENVIRONMENTAL

1531 HENDRY STREET
FORT MYERS, FL 33901
239 332-2617 FAX: 239 332-2645
E-mail: dplm@peganet.net

May 10, 2004

Mr. Ned Dewhirst
Hole Montes
6202-F Presidential Court
Fort Myers, FL 33919

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

RE: Coconut Point Area 2 TIS, #03659

Dear Ned,

As we discussed, the County Staff has questioned the modification in the Coconut Point Area 2 site plan that eliminates a direct connection through Area 2 between US 41 and Sandy Lane. Based on the methodologies used for the DRI traffic study, I've concluded that this change in the site plan is inconsequential in terms of the Project's off-site traffic impacts.

In the original DRI traffic study, the intersections of this internal road with US 41 and Sandy Lane were treated like all other site access points. In other words, the travel model assignment assumed that this would be an internal road for the use of Coconut Point traffic and not a through road that would be used by non-project traffic. Therefore, no background traffic used this road to pass through the development between US 41 and Sandy Lane in the original DRI traffic study.

Furthermore, the updated traffic study that was prepared in support of the Local Development Order applications for Coconut Point Areas 1, 2 and 3 utilized the same traffic analysis zone structure and the same network connections that were utilized previously for the original DRI traffic study. Therefore, this modification of the Area 2 site plan has no affect on DPA's off-site traffic projections and our conclusions regarding Coconut Point's off-site traffic impacts.

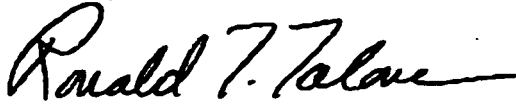
With this modification, it is still possible that some background traffic could cut through the development between US 41 and Sandy Lane. However, it's anticipated that such cut-through traffic would be minimal with or without this modification because there is no continuity with streets west of US 41 or east of Sandy Lane.

ADD 2004-00060



I hope that this explains why this modification in the Area 2 site plan is inconsequential in terms of the Project's off-site traffic impacts. Please let me know if you have any further questions.

Very truly yours,



Ronald T. Talone

RTT:sw

03659:Dewhirst_051004

cc: Tom Schneider
Chuck Schneider
Eric Evans
David Plummer

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060



From: Kim Trebatoski
To: Dewhirst, Ned
Date: 5/7/04 10:26AM
Subject: Coconut Point ADD2004-00060

Ned - Please find ES staff comments attached. One more clarification please. I have two MCP's submitted with this review. One is stamped received Mar 18, 2004 and one is stamped received Apr 30, 2004. There are notes on the open space table on the Mar 18, 2004 that are not on the Apr 30, 2004 plan, specifically the ** referring to mixed-use in the commercial tract. Which plan is to be reviewed? My comments on the mixed-use note are from the Mar 18, 2004 plan. The Apr 30, 2004 plan also accurately reflects the LDC required open space.

Kim Trebatoski
Principal Environmental Planner
DCD - Environmental Sciences
trebatkm@leegov.com
239-479-8183
FAX 239-479-8319

CC: Artuso, Theresa; Block, Alvin Chip

**MEMORANDUM
FROM
DEPARTMENT OF COMMUNITY DEVELOPMENT
DIVISION OF ENVIRONMENTAL SCIENCES**

Date: May 7, 2004
To: Alvin "Chip" Block, Principal Planner
From: Kim Trebatoski, Principal Environmental Planner
Subject: Coconut Point MPD
Case: ADD2004-00060
STRAP: 04-47-25-00-00001.0000

The Division of Environmental Sciences (ES) staff have reviewed the requested administrative amendments.

Design Review Guidelines

Please provide the following information or revise the Design Review Guidelines per the following comments:

1. **Page 1, Part 1, I. Introduction, 5th Paragraph states "The Design Guidelines are not to be considered a commitment to a particular design or designs on the part of the developer."**

This statement appears to negate any commitments made with the DRG. Please clarify what is meant by the statement, and revise the DRG to clearly indicate what is being committed as part of the landscaping standards.

2. **Page 45, Part 3, I. Introduction - Site Planning and Landscape Design**

- a. **Paragraph 1 states "through grand features such as tall, rhythmically spaced skyline palms..."**

Please define tall in feet of clear trunk.

- b. **Paragraph 3 states "a 30' informal landscape buffer will be provided adjoining the US 41 right-of-way for the full extent of the site. A series of "Green" windows enhance the view to many different site features such as lakes, open space parkways, and naturally landscaped pre-treatment areas."**

Condition 6 of Resolution Z-02-009 sets the required standard for the buffer along US 41. Please include a reference to this condition within this paragraph, so it is clear that there is a minimum standard set for the buffer along US 41.

3. **Page 47, A. Pedestrian Circulation, Sidewalks, and Paving, Paragraph 6 states "Sidewalks through parking lots are to be a minimum of 4'-0" and must provide a minimum 3'-0" clear to the edge of the island where car overhangs are allowed. The design of these walkways is to take account of the tree requirements within the parking fields, and sufficient dimension needs to be provided for the planting of these trees."**

LDC Section 10-416(c)(1) requires walkways to be designed with a minimum of five feet width that is clear of any vehicle overhang. Please revise this paragraph to meet this LDC Standard.

Please add the LDC minimum width standards for tree planting areas to this paragraph. A minimum 10-foot wide planting area is required for parking canopy trees, and a minimum 5-foot wide planting area is required for general trees. ES staff recommends that only smaller trees (mature height 20-feet or less) and palm trees be planted in an area less than 10-feet wide.

4. **Page 53, E. Screening Devices, Paragraph 4 states "Walls must be properly landscaped, and do not take the place of required landscaping."**

Please clarify what "properly landscaped" means including type of vegetation, and minimum sizes and spacing.

5. **Pages 54-57 include a number of illustrations and photos.**

These illustrations and photos do not provide any details to planting widths or type, size and number of plants. Therefore, ES staff will only use them for illustrative purposes. If these are meant to provide standard requirements, then please revise the illustrations to detail the planting area and materials.

6. **Pag 59, Column 2, Paragraph 2 states shrubs must be a minimum 30" height.**

Please revise to include a minimum container size. Also, ES staff note that the LDC was revised to require a minimum 24-inch height 3-gallon container size due to the lack of availability of quality 36-inch shrubs (i.e. these shrubs are typically lanky and pushed to that height).

7. **Page 59, Column 2, Paragraph 4 states vines shall have a minimum of 30" trailers.**

Please revise to include a minimum container size.

8. **Page 59, Column 2, Last Paragraph states "Ample clear trunk must be provided over pedestrian areas."**

The LDC requires a minimum 8-foot clear trunk be maintained in pedestrian areas. Please revise to include this standard.

9. **Page 60, Column 1, Paragraph 1 discusses earth berming.**

Please revise this paragraph to include a minimum width of the berm.

10. **Page 60, Column 1, Paragraph 3 states include cypress mulch.**

Please revise to PROHIBIT cypress mulch.

11. **Page 61, Column 1, Paragraph 1 discusses pruning.**

This paragraph is contrary to Chapter 14 Tree Protection regulations. Please delete this paragraph or revise to meet LDC standards.

12. **Page 72, Vegetation Not Permitted, states "Also prohibited - any plant on the State's list of invasive species."**

Please delete the following species from the Plant Materials List on pages 64-71 which are listed on the Florida Exotic Pest Plant List:

Terminalia catappa (Tropical Almond)
Bauhinia blakeana (Hong Kong Orchid)
Koelreuteria spp. (Golden Rain Tree)
Psidium littorale (Strawberry Guava)
Livistona chinensis (Chinese Fan Palm)
Phoenix reclinata (Senegal Date Palm)
Phoenix spp. (Date Palm)
Eleaguns pungens (Silverthorn)
Eugenia uniflora (Surinam Cherry)
Jasminum spp. (Jasmine)
Lantana camara (Lantana)
Ligustrum spp. (Privet)
Murraya paniculata 'Lakeview' (Orange Jasmine)
Nandina compacta (Heavenly Bamboo)
Nephrolepis spp. (Fern)
Pennisetum setaceum (Green Fountain Grass)
Wedelia trilobata (Wedelia) [also prohibited by LDC]

Please also remove Pinus elliotii (Slash Pine) from the list as the south Florida subspecies P.e.densa must be used to insure survival.

**MEMORANDUM
FROM
DEPARTMENT OF COMMUNITY DEVELOPMENT
DIVISION OF ENVIRONMENTAL SCIENCES**

Date: May 7, 2004
To: Alvin "Chip" Block, Principal Planner
From: Kim Trebatoski, Principal Environmental Planner
Subject: Coconut Point MPD
Case: ADD2004-00060
STRAP: 04-47-25-00-00001.0000



The Division of Environmental Sciences (ES) staff have reviewed the requested administrative amendments.

Design Review Guidelines

Please provide the following information or revise the Design Review Guidelines per the following comments:

1. **Page 1, Part 1, I. Introduction, 5th Paragraph states "The Design Guidelines are not to be considered a commitment to a particular design or designs on the part of the developer."**

This statement appears to negate any commitments made with the DRG. Please clarify what is meant by the statement, and revise the DRG to clearly indicate what is being committed as part of the landscaping standards.

2. **Page 45, Part 3, I. Introduction - Site Planning and Landscape Design**

- a. **Paragraph 1 states "through grand features such as tall, rhythmically spaced skyline palms..."**

Please define tall in feet of clear trunk.

- b. **Paragraph 3 states "a 30' informal landscape buffer will be provided adjoining the US 41 right-of-way for the full extent of the site. A series of "Green" windows enhance the view to many different site features such as lakes, open space parkways, and naturally landscaped pre-treatment areas."**

Condition 6 of Resolution Z-02-009 sets the required standard for the buffer along US 41. Please include a reference to this condition within this paragraph, so it is clear that there is a minimum standard set for the buffer along US 41.

3. **Page 47, A. Pedestrian Circulation, Sidewalks, and Paving, Paragraph 6 states "Sidewalks through parking lots are to be a minimum of 4'-0" and must provide a minimum 3'-0" clear to the edge of the island where car overhangs are allowed. The design of these walkways is to take account of the tree requirements within the parking fields, and sufficient dimension needs to be provided for the planting of these trees."**

LDC Section 10-416(c)(1) requires walkways to be designed with a minimum of five feet width that is clear of any vehicle overhang. Please revise this paragraph to meet this LDC Standard.

Please add the LDC minimum width standards for tree planting areas to this paragraph. A minimum 10-foot wide planting area is required for parking canopy trees, and a minimum 5-foot wide planting area is required for general trees. ES staff recommends that only smaller trees (mature height 20-feet or less) and palm trees be planted in an area less than 10-feet wide.

4. **Page 53, E. Screening Devices, Paragraph 4 states "Walls must be properly landscaped, and do not take the place of required landscaping."**

Please clarify what "properly landscaped" means including type of vegetation, and minimum sizes and spacing.

5. **Pages 54-57 include a number of illustrations and photos.**

These illustrations and photos do not provide any details to planting widths or type, size and number of plants. Therefore, ES staff will only use them for illustrative purposes. If these are meant to provide standard requirements, then please revise the illustrations to detail the planting area and materials.

6. **Pag 59, Column 2, Paragraph 2 states shrubs must be a minimum 30" height.**

Please revise to include a minimum container size. Also, ES staff note that the LDC was revised to require a minimum 24-inch height 3-gallon container size due to the lack of availability of quality 36-inch shrubs (i.e. these shrubs are typically lanky and pushed to that height).

7. **Page 59, Column 2, Paragraph 4 states vines shall have a minimum of 30" trailers.**

Please revise to include a minimum container size.

8. **Page 59, Column 2, Last Paragraph states "Ample clear trunk must be provided over pedestrian areas."**

The LDC requires a minimum 8-foot clear trunk be maintained in pedestrian areas. Please revise to include this standard.

9. **Page 60, Column 1, Paragraph 1 discusses earth berming.**

Please revise this paragraph to include a minimum width of the berm.

10. **Page 60, Column 1, Paragraph 3 states include cypress mulch.**

Please revise to PROHIBIT cypress mulch.

11. **Page 61, Column 1, Paragraph 1 discusses pruning.**

This paragraph is contrary to Chapter 14 Tree Protection regulations. Please delete this paragraph or revise to meet LDC standards.

12. **Page 72, Vegetation Not Permitted, states "Also prohibited - any plant on the State's list of invasive species."**

Please delete the following species from the Plant Materials List on pages 64-71 which are listed on the Florida Exotic Pest Plant List:

Terminalia catappa (Tropical Almond)
Bauhinia blakeana (Hong Kong Orchid)
Koelreuteria spp. (Golden Rain Tree)
Psidium littorale (Strawberry Guava)
Livistona chinensis (Chinese Fan Palm)
Phoenix reclinata (Senegal Date Palm)
Phoenix spp. (Date Palm)
Eleaguns pungens (Silverthorn)
Eugenia uniflora (Surinam Cherry)
Jasminum spp. (Jasmine)
Lantana camara (Lantana)
Ligustrum spp. (Privet)
Murraya paniculata 'Lakeview' (Orange Jasmine)
Nandina compacta (Heavenly Bamboo)
Nephrolepis spp. (Fern)
Pennisetum setaceum (Green Fountain Grass)
Wedelia trilobata (Wedelia) [also prohibited by LDC]

Please also remove Pinus elliotii (Slash Pine) from the list as the south Florida subspecies P.e.densa must be used to insure survival.

Open Space

The revised MCP adjusts the acreages of uses slightly from the BOCC approved MCP, and accurately states the LDC required open space. ES staff does concur that where residential units are placed above commercial, retail, and office uses that the open space for those tracts must be 30% as stated on the MCP through the use of ** on the Conceptual Open Space table.

Additionally, ES staff does not have any issue with revising condition 9 of Z-02-009 to add the language "approving vertical construction." The use of "permanent" in this statement is not acceptable.

From: Alvin Chip Block
To: Dewhirst, Ned
Date: 5/7/04 7:25AM
Subject: RE: FW: Coconut Point DRI and MPD Design Guidelines

Since the 12th is only 4 work days away, I think we can address all of the issues at that time. I have very little open time between now and then. I will be out of the office today at the City of Bonita Springs for hearings. You can have Debbie Carpenter check my calendar to see what is open.

In the mean time I will try to get to the new language before then for Area 1 excavation.

Parking and lighting are not just a Development Services issue, these are also zoning issues with the potential for life, health, and safety issues. Items which may not be able to be granted administratively. Remember the LDC says the Director may grant administrative amendments, it is a permissive rule not a mandatory one.

Based on the current drawings and information submitted for justification of the sign deviation. As I stated in my response of May 4th, "The proposed sign has no specifications concerning the proposed landscaping of the sign. The sign advertises businesses not existing on the property. This proposed sign is not a "Temporary Sign" as described by this Section of the Land Development Code. Although a deviation has been requested in sign size, no change is sought in the sign height. The sign exceeds the allowed height and cannot be approved. With the sign design, advertising content, landscaping, and height not being acceptable, staff will not support this request." Additionally, the submitted justification for the sign deviation, provide no basis for the approval under LDC Section 34-412. Even with those in hand, the sign may not be approved and would have to go through a public hearing amendment.

Alvin Block, AICP
Principal Planner
Department of Community Development
blockah@leegov.com
239-479-8371
239-479-8313 (fax)

>>> "Ned Dewhirst" <NedDewhirst@hmeng.com> 05/06/04 04:48PM >>>

Chip: I don't want to take up your time from reviewing the project; we need your attention to the Area #1 excavation issues so we can get our DO for that part. However once you have gotten thru with that, I would suggest we sit down prior to the 12th mtg so we could maybe whittle down the issues. I really think if we took 30 minutes, we could address the MCP revisions and the bank use. That would leave us with the parking and lighting issues, which is really a Dev services' thing, and the temp sign which I believe is workable if we know what staff can live with.

Let me know what you think. He natives are getting restless.

-----Original Message-----

From: Alvin Chip Block [<mailto:BLOCKAH@leegov.com>]
Sent: Thursday, May 06, 2004 3:08 PM
To: Ned Dewhirst
Subject: Re: FW: Coconut Point DRI and MPD Design Guidelines

Just finished a DRI staff report. After my hearings in Bonita tomorrow I may be able to work on it.

Alvin Block, AICP
Principal Planner
Department of Community Development
blockah@leegov.com
239-479-8371
239-479-8313 (fax)

>>> "Ned Dewhirst" <NedDewhirst@hmeng.com> 05/06/04 03:02PM >>>
Chip: Any more progress re the earthwork portion for Area #1?

-----Original Message-----

From: Ned Dewhirst
Sent: Wednesday, May 05, 2004 2:07 PM
To: 'Alvin Chip Block'
Subject: RE: Coconut Point DRI and MPD Design Guidelines

My question was re your part of the admin amend in order to get the Area #1 excavation DO. I think Pete is ready to issue the DO subject to your part.

Can we get your part out soon?; we were hoping for a DO approval by this Friday.

-----Original Message-----

From: Alvin Chip Block [<mailto:BLOCKAH@leegov.com>]
Sent: Wednesday, May 05, 2004 1:00 PM
To: Ned Dewhirst
Subject: RE: Coconut Point DRI and MPD Design Guidelines

Thanks for the Attachment. I'll keep this saved with the case.

I'll let the Development Services staff respond to the DO question.

Chip

Alvin Block, AICP
Principal Planner
Department of Community Development
blockah@leegov.com
239-479-8371
239-479-8313 (fax)

>>> "Ned Dewhirst" <NedDewhirst@hmeng.com> 05/05/04 09:18AM >>>
See my previous e-mail attachment. I have not received a hard copy yet. Estero is usually pretty slow getting these things out.

How is the review of items submitted for the Area#1 DO going?

-----Original Message-----

From: Alvin Chip Block [<mailto:BLOCKAH@leegov.com>]
Sent: Wednesday, May 05, 2004 8:03 AM
To: Ned Dewhirst; Tom McLean
Cc: Pete Eckenrode; Kim Hoskins; Pam Houck; Kim Trebatoski
Subject: Coconut Point DRI and MPD Design Guidelines

In looking through the application, I now realize that the records do not include a set of minutes that show that the Estero Community Planning Panel has reviewed and commented on the submitted Design Review Guidelines.

I do recall that you have mentioned that they have been reviewed and the Panel comments on them, but I have no confirmation of this and what their comments were.

Please submit documentation showing that they have been reviewed and accepted.

Thanks
Chip

Alvin Block, AICP
Principal Planner
Department of Community Development
blockah@leegov.com
239-479-8371
239-479-8313 (fax)



BOARD OF COUNTY COMMISSIONERS

Writer's Direct Dial Number: 479-8371

Bob Janes
District One

Douglas R. St. Cerny
District Two

May 4, 2004

Ray Judah
District Three

Andrew W. Coy
District Four

John E. Albion
District Five

Donald D. Stilwell
County Manager

James G. Yaeger
County Attorney

Diana M. Parker
County Hearing
Examiner

Mr Ned E. Dewhirst, P.E.
HoleMontes, Inc.
6202 Presidential Court
Fort Myers, Florida 33919

Subject: Case ADD2004-00060, Coconut Point MPD

Dear Mr. Dewhirst:

In summary, staff at this time is only able to support the proposed waiver for the Fire District. All other changes either have not been adequately supported, lack detail, or are items that cannot be approved administratively.

Concerning the proposed changes, staff has reviewed each of the requested items as described in the Correspondence of March 18, 2004. The following are staff's current findings, based on LDC Section 34-380:

- Item 1: The changes proposed to Area 2 are not located interior to the project, but are found along the perimeter of the development. There have been changes to the "Maximum Development Tract Intensity" which do not reflect the original zoning approval. It appears that the "Maximum Development Tract Intensity" on the proposed Master Concept Plan changes the proposed density of the project. An administrative amendment increasing the approved intensity or density of the project cannot be approved administratively. A significant change has occurred with the loss of an east/west road connecting Sandy Lane and US 41 near Area 2. This will have an impact on the surrounding road network and is not a change internally to the project. When staff previously met with the applicant's agent it was understood that although Area 2 was to be redesigned, the approved Schedule of Uses and where these uses would be allowed would not be substantially changed. However, the proposed Schedule of Uses adds uses to areas where they were not previously approved. This could have an impact on surrounding lands. The application indicates that the Development Regulations were to be changed and could be found in Attachment A. However, no Attachment A was provided so staff cannot analyze this.
- Item 2: The proposed waiver for the fire district is supportable.
- Item 3: This item is being reviewed at this time and these comments will be sent out under separate cover.
- Item 4: Staff will not commit through this requested Administrative Amendment whether the proposed parking calculations or parking ratios are appropriate. These will need to be separated calculated during the local development order process for compliance with the Land Development Code.
- Item 5: It is not possible to determine if the proposed lighting plan is acceptable. The plan is only on an 11 by 17 sheet of paper and the numbers are not legible. It is not possible to determine whether the higher lighting poles will be acceptable or if they will have any impacts. Staff will not accept this proposed change.

Mr Ned E. Dewhirst, P.E. - HoleMontes, Inc.
Subject: Case ADD2004-00060, Coconut Point MPD
May 4, 2004
Page 2

- Item 6: Staff will not support the elimination of the required parking bumpers. This could have an adverse impact on surrounding land uses and on uses interior to the project. This could adversely impact the public health, safety, and welfare and will not be approved administratively.
- Item 7: The proposed temporary signage will not be supported administratively. The proposed sign has no specifications concerning the proposed landscaping of the sign. The sign advertises businesses not existing on the property. This proposed sign is not a "Temporary Sign" as described by this Section of the Land Development Code. Although a deviation has been requested in sign size, no change is sought in the sign height. The sign exceeds the allowed height and cannot be approved. With the sign design, advertising content, landscaping, and height not being acceptable, staff will not support this request.
- Item 8: Staff cannot accept the change to allow Bank and Financial Establishments Groups I and II as limited in this request. The application notes that a traffic impact statement was prepared with a copy included in this application to support this request. Staff is not able to find this TIS in the application file. A more detailed plan for the development should be submitted for this project, since it could have an impact on the internal and external road network. At this time, staff will not be able to support this change due to the potential impacts.
- Item 9: This item is being reviewed at this time and these comments will be sent out under separate cover.
- Item 10: Staff will not be able to support this change since no specific wording has been provided offering a change in the language of these conditions of the current zoning approval that will help the applicant achieve the intent of this portion of the amendment.

Additionally, I am in receipt of your two e-mails providing changes to the request. These have not been accepted as official submittals. These also indicate that a official submittal was to be provided on the morning of the e-mails (May 3, 2004). As of 12:00 PM (noon) of this date, no submittal has been received at my desk.

If you have any questions, please feel free to contact me.

Sincerely,

DEPARTMENT OF COMMUNITY DEVELOPMENT



Alvin Block, AICP
Principal Planner

cc: Zoning File
Kim Hoskins, Development Services
Kim Trebatoski, Environmental Sciences

April 30, 2004

Mr. Alvin 'Chip' Block
Principal Planner
Lee County Department of Zoning
PO Box 398
Ft. Myers, FL 33902

RE: Coconut Point MPD
Case #: ~~DCI 2000-00015~~
~~DCI 2001-00005~~
Res. No.: Z-02-009
Request for an Administrative Amendment
HM Project No. 2003.116B

Dear Chip:

Per our meeting yesterday regarding the Coconut Point Area #1 Lake Excavation Development Order, we are submitting the following:

- Suggested revised Zoning Conditions #3, #5 and #9 (See attached – six (6) copies) We assume the proposed language change would also allow the temporary Sales Facility as discussed.
- Revised Zoning MCP (six (6) copies), showing only the Tract 1E changes and associated acreage breakdown and open space calcs. This includes identifying the location of the proposed temporary Sales Facility.

Please supplement our previous Administrative Amendment Application with this information. Call me if you have any questions.

Very truly yours,

HOLE MONTES, INC.

Ned E. Dewhirst, P.E.
Sr. Vice President/Principal

NED/kc

Enclosures

c.c.: Ron Dillon

ADD 2004-00060

~~DCI 2000-00015~~

~~DCI 2001-00005~~
RECEIVED
APR 30 2004

ZONING COUNTER

**COCONUT POINT MPD
SUGGESTED REVISED ZONING CONDITIONS**

3. The development of the subject property must include a regional shopping center, which incorporates a shopping center and commercial and residential tracts all developed with a common architectural theme. The entire project must include a common landscaping and graphic theme throughout the project. The architectural theme, landscaping and graphic design theme must be reviewed and approved by the Lee County Department of Community Development prior to the issuance of any local development order **approving permanent vertical construction** for the property. Any change from the proposed "regional mall" development will necessitate an amendment to the MPD zoning approval through the public hearing process.

5. This development, including the proposed regional shopping center, must incorporate a common architectural theme on all sides of all buildings that are visible from the Brooks MPD, YU.S. 41, Coconut Road, Williams Road and Sandy Lane Extension rights-of-way to ensure an equally attractive architectural elevation for all facets of the development. The common architectural theme must include streetscape landscaping and enhanced building architectural features. This condition is applicable to the entire development including any proposed outparcels within the MPD. A plan reflecting the design standards required by this condition must be submitted for review and approval by the Lee County Department of Community Development prior to the issuance of any local Development Order **approving permanent vertical construction** for the property within the MPD.

9. Prior to local development order **approving permanent vertical construction**, open space must be provided as detailed in the open space table on the Master Concept plan with the condition that any residential dwelling units requiring open space per LDC§10-415(a) must provide 30 percent common open space within Tracts 1-E, 1-F, 2-B2, 3-B, and 3-D.

ADD 2004-00060

~~DATE 2004-00015~~

~~DATE 2001-00000~~

~~DATE~~

RECEIVED
APR 30 2004

Alvin Chip Block - RE: Coconut Point

From: "Ned Dewhirst" <NedDewhirst@hmeng.com>
To: "Kim Trebatoski" <TREBATKM@leegov.com>, "Alvin Chip Block" <BLOCKAH@leegov.com>
Date: 4/20/2004 10:15 AM
Subject: RE: Coconut Point
CC: "Pete Eckenrode" <ECKENRPJ@leegov.com>, "Pam Houck" <PHOUCK@leegov.com>, "Mary Zettel" <ZETTELMS@leegov.com>

Kim: Our amendmt includes a request to waive this requirement for the Fire station only, subject to their building design being reviewed prior to building permit.

-----Original Message-----

From: Kim Trebatoski [mailto:TREBATKM@leegov.com]
Sent: Tuesday, April 20, 2004 9:55 AM
To: Ned Dewhirst; Alvin Chip Block
Cc: Pete Eckenrode; Pam Houck; Mary Zettel
Subject: Re: Coconut Point

What does this mean in relation to the Fire Dept DOS that is currently under review? The zoning condition requires the Design Review Guidelines be approved prior to issuance of any DO.

Kim Trebatoski
 Principal Environmental Planner
 DCD - Environmental Sciences
 trebatkm@leegov.com
 239-479-8183
 FAX 239-479-8319

>>> Alvin Chip Block 04/20/04 07:49AM >>>

The case was originally assigned to one planner in the office, but at his request was re-assigned. I am now reviewing the case. The re-assignment occurred last week so I am just beginning to get up to speed. Since you advise that you will have changes to the Design Review Guidelines, I will hold action on this application

The current design guidelines have been copied to Kim Trebatoski for her comments. There are elements in this document that relate to buffering, landscaping, and open space. I have copied Kim on this response so she knows that a new set of guidelines are being prepared for submittal.

As explained to your office last week one element that staff will not be acting on will be anything related to the signs. The planned development approval is very specific noting that all signs must conform to Chapter 30 of the Land Development Code. If this application is approved, you can expect a condition that states this. I suggested to your staff that they contact Mary Zettel in Codes to have her review the signs as part of a sign permit. Although I am not responsible for approval of signs in Lee County, the signs presented in the guidelines do not appear to comply with requirements of Chapter 30 and might have to be revised.

I'll keep you office advised of the status of the application, but at

file:///C:/Documents%20and%20Settings/blockah/Local%20Settings/Temp/GW}00002.HTL... 4/20/2004

this time based on your comments that there will be revisions to the submittal action is on hold until this new submittal has been made.

Chip Block

Alvin Block, AICP
Principal Planner
Department of Community Development
blockah@leegov.com
239-479-8371
239-479-8313 (fax)

>>> "Ned Dewhirst" <NedDewhirst@hmeng.com> 04/19/04 02:44PM >>>
Pete: Any word on the administrative amendment? Just to update you, we presented the Design Review Guidelines (DRG) to the Estero group last week and were well received. They had a few comments, which we will incorporate into the DRGs and submit to you along with their approval letter.

On another note, Simon would like to proceed with a building permit for the sign. Is there any way we can get an approval on that part if the rest of items are still being reviewed?

Let me know. Thanks.

HOLE MONTES

Voice (239) 985.1200

Fax (239) 985.1259

From: Mary Gibbs
To: Eckenrode, Pete; Houck, Pam
Date: 4/20/04 8:40AM
Subject: Re: Fwd: Coconut Point

hmmm, is the sign taller than allowed by ordinance? if so, someone better get back to Ned asap Chip.

>>> Pete Eckenrode 04/19/04 05:51PM >>>

Here's another sign thing with a DRI. I wonder if this one will be right out of "The Jetsons"Pam, could you have Chip get back to Ned? Thanks!

CC: Block, Alvin Chip

ESTERO DESIGN REVIEW COMMITTEE

April 14, 2004

5:00 P.M.

The Vines Country Club – The Perry Room

Meeting Time: 5:10 P.M.

Members in Attendance: Wayne Robinson, Ron Dillon, Bob Flato, Gordon Lyons, Al O'Donnell, Bill Prys

Members Absent: Diane Ferrando, Dwight Oakley

Minutes by: Scott Wickett

Meeting Minutes of April 14, 2004

Applicant: Coconut Point Design Guidelines

Fee: UNKNOWN

Presentation by: Ron Dillon, AND OTHERS

Comments/Suggestions:

- Recommend façade-wraparound feature (building corners) be written into design parameters
- Recommend fence in rear of commercial buildings (or plantings: the fence would be unnecessary with sufficient landscape buffering)
- Any solid walls shall require sufficient landscaping; presenters agreed to this being "required" rather than "suggested"
- Plant-materials list in book to be simplified (per Ron)
- Ron intends to have internal rules supercede
- Suggest that Ron Dillon reports back to EDRC periodically during construction of this project

Applicant: THE SATELLITE TOWER THAT LOOKS LIKE A TREE

Fee: UNKNOWN

Presentation by: Bill Prys, John SOMEBODY, Banks Engineering

The EDRC made the following Comments/Suggestions:

- Recommend more and taller sabal palms around tower
- Recommend different selections of low shrubs (cocoplum will die)

- ***Requested additional trees in road right-of-way to buffer dishes from the north-west***
- Recommend moving dishes for reduced visibility
- Presenters request that storage unit (hidden behind berm) not be held to roof standard of Corkscrew overlay; committee agrees, but seeks to avoid establishment of precedent after this ruling

Old Business

RICK JOHNSON TIRE THE BANNERS WERE ALREADY TAKEN DOWN I
DON'T KNOW IF I SHOULD MENTION THIS PLEASE ADVISE

**Next EDRC Meeting Will be Held on Wednesday, May 12, 2004 at
5:00 P.M. at The Vines Country Club – The Perry Room**

From: Kim Hoskins
To: Frazier, Tyler
Date: 4/9/04 2:13PM
Subject: Coconut Point (ADD2004-00048, DOS2004-00053, DOS2004-00038)

Tyler,

Both Bob and I are reviewing DO's for the Phase I infrastructure (Tract 1E in resolution). Bob is reviewing Ring Rd. and the lake excavation within the multifamily tract, and I am reviewing the multifamily tract. As discussed earlier today and can be seen in the amount of zoning related comments in my review, I have concern that too many deviations are being requested administratively, and the site development plans would require even more deviations be submitted for approval. Please let me know if you'd like to discuss this further. FYI: I have faxed the draft (incomplete reviews) comments to the engineer. If they receive approval for the lakes, and the multifamily site plan cannot conform, there will probably be a few more meetings going on.

Thank you.

Kim P. Hoskins
Lee County
Dept. of Community Development
Phone (239) 479-8712
Fax (239) 479-8341

CC: Eckenrode, Pete; Hollingsworth, Susan; Rentz, Robert

From: Wendi Wilkie
To: jackgarris@holemontes.com
Date: 4/1/04 12:03PM
Subject: ADD2004-00060 Coconut Point MPD

Hello Jack-

For the above referenced application, could you please generate and send over the legal description on 8.5x11 pages. This format is more suitable for scanning into the public records.

Also, the planner for this application may require additional information. I do the property description review and wanted to let you know what was needed in that regard.

Please use the case #ADD2004-00060 when submitting items at the front counter for this application.

Thank you so much!-W

Wendi Wilkie
Planning Tech / Zoning
239.479.8483
AWILKIE@leegov.com

CC: neddewhirst@holemontes.com



6202-F Presidential Court • Fort Myers, Florida 33919 • Phone: 239.985.1200 • Fax: 239.985.1259

March 18th, 2004

Ms. Pam Houck
Director, Division of Zoning
Lee County Department of Community Development
1500 Monroe Street
Ft. Myers, Florida 33901

RECEIVED

MAR 18 2004

COMMUNITY DEVELOPMENT

RE: Coconut Point MPD
Case No.: DRI2000-00015
DCI2001-00005
Res. No.: Z-02-009
Request for an Administrative Amendment Application
HM Project No. 2003.116-B

Dear Ms. Houck,

Hole Montes, Inc. is pleased to submit this application for an Administrative Amendment to a Planned Development. This submittal is for the Coconut Point MPD (Res. No. #Z-02-009, approved 21st October 2002), and seeks to address the following items:

- The revisions to Area #2 of the "Coconut Point MPD" Zoning Master Concept Plan.
- Waivers of zoning conditions to facilitate approval of the Estero Fire Station Local Development Order.
- The submission of a pedestrian plan for staff review / approval, per Zoning Condition #14.
- The overall calculations for parking for the community center, the town center, and the anchor parcel, and parking ratios for restaurants and general retail, when not attached to, but incorporated into the community center.
- Site Lighting Standards
- The requirement for Parking Bumpers, per LDC Sec. 34-2016 (2) a.2.
- Temporary Site Signage.
- The revision of the Schedule of Permitted Uses for Tract 1D to allow for a Banking Facility with drive-thru teller windows, with limitations.
- Clarification of required open space for residential uses above commercial uses.
- Revise Zoning conditions to facilitate approval for non-vertical / infra-structure improvements.

The following is an itemized review of the above-referenced items.

ADD 2004-00060

Item #1: *The revisions to Area #2 of the Coconut Point MPD Master Concept Plan.*

The Master Concept Plan has been revised to reflect the changes in the tract layout for Area #2, along with changes to the associated land use breakdown tables, open space calculations, internal access points previously shown, the Schedule of Permitted Uses, and Development Regulations. (See Attachment 'A')

Item #2: *A waiver to facilitate the approval of the Development Order for the Estero Fire District Fire Station on Tract 1D.*

This request would waive Conditions #3, #5, and #10, to allow for the permitting and development order approval of the Estero Fire Station . The building design for the Fire Station will still be subject to review and approval per the proposed Design Review Guidelines for Coconut Point prior to issuance of building permit.

Item #3: *The submission of a pedestrian circulation plan, as required in Condition #14 of the approved resolution.*

The pedestrian circulation plan, required prior to the approval of the first local development order for the project, is included as Attachments 'B1, B2 & B3'.

Item #4A: *The overall calculation for parking for the Community Center and the Town Center.*

In response to this issue, please consider the following:

a) When considered as a phased project, with the project being planned in three (3) phases, and with no phase exceeding the 600,000 sq.ft. total floor area threshold, this project is in compliance with the requirements for a parking ratio of 4.5 spaces per 1,000 sq.ft. of gross floor area, as outlined in the Lee County LDC. See the Proposed Phasing Exhibit (Attachment 'C') attached to this letter.

Item #4B: *Parking ratios for restaurants and general retail shops when not attached to but incorporated into a Regional Shopping / Community Center.*

It should be pointed out that the unique design of the Coconut Point MPD – The Shops at Coconut Point - incorporates the restaurant and general retail areas around the central lakes into the main body of the Community Center via the proposed system of landscaped pedestrian walks, which create a pleasant, pedestrian-friendly environment and enhance the overall atmosphere being created. The Community Center parking area is of a sufficient size to accommodate parking, at 4.5 spaces per 1,000 sq.ft. (GLA), for both the main body of shops as well as the restaurants and general retail areas around the central lakes. It should also be noted that the Out-parcels along US 41 shall be required to provide parking per the Lee County LDC, but that since the area of the community center in question is not an out-parcel, the standard applied to the community center should be applied to this area as well.

Item #5: *Site Lighting Standards (Condition #18).*

This request is to allow for the use of taller (35'-6") light poles in lieu of smaller (25'-6") light poles. This proposed change will result in appreciably fewer light poles (148 @ 35'-6" vs. 268 @ 25'-6") needed to achieve the same desired level of site lighting. The selection of the proposed light poles will satisfy the intent of all other aspects of Condition #18 of the approving resolution. (See Attachment 'E')

ADD 2004-00060

Item #6: Removal of Parking Bumper requirement, per LDC Sec. 34-2016 (2) a.2.

This request is based upon the following rationale:

a) Other jurisdictions' regulations regarding regional shopping centers and other locations featuring similar large shopping centers (i.e. Collier County – Coastland Mall and the Cities of Cape Coral and Jacksonville) have not required the installation of parking bumpers in standard spaces (9' x 18'). When the spaces abutted either a landscaped area or a sidewalk, concrete curbing is typically utilized as wheel stops, with a 2 ft. vehicular overhang area at the end of the parking space.

b) The parking fields for the Coconut Point MPD have been specifically designed to limit vehicular movement across the parking area. The utilization of over-sized landscaped medians, and the placement of landscaped islands at the ends of parking rows, is intended not only to provide areas for required landscaping, but to also provide for low-speed travel within each parking area by reducing the ability for long, unimpeded travel across the parking area.

c) The issue of liability for injury to shoppers and pedestrians is of great concern, as the leading cause for litigation against shopping center developers has been for injury due to falls. This request would remove one of the leading causes of such accidents, and greatly reduce the developer's liability for damages due to injury from falls. In fact, it should be noted that the municipality of Hurst, Texas banned the installation of parking bumpers at that area's largest regional shopping center, the N.E. Mall because of the anticipated cost of defending such lawsuits to the center's developer.

d) It is more desirable, in a community center of this size, to afford customers the ability to maneuver their vehicles in such a manner that would allow them to exit the parking space in a forward motion, if they so desire. This will reduce the risk of accident due to poor visibility when backing up to exit a parking space. In the current market, with the abundance of SUV's and Minivans being driven by a wide variety of shoppers, this option would allow for easier exiting of spaces when parked between vehicles of such a size. Turning and looking over one's shoulder to see potential vehicles behind you is not always possible, and could create an undue vehicular hazard condition.

The developers of Coconut Point MPD – The Shops at Coconut Point seek to create and maintain a unique shopping experience for all patrons, and one of the many ways of doing this is to employ street sweepers to maintain the surrounding parking lots in a clean, debris-free manner. The requirement of parking bumpers would not allow the sweepers full access to the parking area, and would create potential areas where dirt and debris can gather and cause unsightly and unsafe conditions for shoppers.

Item #7: Temporary Site Signage.

Coconut Point MPD was approved as an MPD by Resolution #Z-02-009 and Development Order for Coconut Point DRI through State DRI #09-2001-153, Case No. #DRI2000-00015 on October 21st, 2002 for a maximum of 1,800,000 gross sq.ft. of retail floor area and 300,000 gross sq.ft. of office floor area. The Coconut Point MPD is currently in the final planning stages, and is filing for an Administrative Amendment to the above-referenced MPD, with development order permitting to commence around June of 2004, and needs to announce the scheduled opening of the Community Center, planned for September of 2005, and the Town Center, planned for October of 2006.

Coconut Point is a unique "Main Street" pedestrian-friendly design with numerous end-user stores and anchors. The applicant is in the process of negotiating with such end-users, all of whom need to be able to easily identify the project site during their visits to the area. Due to its location, being situated along US 41 between Coconut Road and Williams Road in South Lee

County, the applicant is requesting relief from portions of Section 30 of the Lee County Land Development Code, in particular Section 30-151(1)a.2., and Section 30-151(1)a.3.

Section 30-151(1)a.2. states that "sign area may not exceed 32 sq.ft., and signs (including the support structure) may not exceed ten (10) feet in height above the crown of any abutting street." The applicant is requesting approval of a 10 ft. high by 20 ft. wide two-panel sign, to be mounted at a height of 6 ft. above existing grade. Graphic illustrations of the proposed sign, proposed landscaping, and proposed location are included with this application.

Section 30-151(1)a.3. states that "a sign announcing a project to be under construction or an intended use of the premises in the immediate future may include only the project name, the nature of development (e.g., professional office, villas, townhouses, condominiums, etc.), the name of the owner or agent, and one telephone number." The applicant is requesting that the sign's content, as depicted on the attached graphic illustrations, be approved. The proposed sign would contain the targeted opening dates, the name of the project, the name and phone numbers of the leasing agents for both the Community Center and the Town Center, a graphic illustration of a portion of the project, and a sampling of the major tenants already committed to the project.

The applicant also requests that the 180-day time period for display of the sign be extended to 12 months, at the end of which time continued use of the sign would be subject to the approval of the Building Department officials. (See Attachment 'F')

Item #8: *The revision of the Schedule of Permitted Uses for Tract 1D to allow for a Banking Facility with drive-thru teller windows, with imposed limits.*

This request will allow for Banks and Financial Establishments, Group I and Group II (limited to SIC Codes 604, 621, 672, 673 and 674), which is consistent with the uses approved for Tracts 1A, 1B and 1C per Res. No. #Z-02-009. A traffic analysis of this scenario was prepared by David Plummer & Associates, and a copy is included with this application. The proposed use would be limited to three (3) drive-thru teller lanes.

Item #9: *Clarification of required open space for residential uses above commercial uses:*

The tables on the Master Concept Plan have been revised accordingly. In addition, this request was discussed in correspondence with Ms. Kim Trebatoski, of Lee County Environmental Sciences. It was determined that, in scenarios where there is mixed use within a building of more than one (1) story, it is the use on the first floor that determines the required open space calculation. Thus, if residential is placed over commercial, the required open space would be 30% for commercial, instead of 40% for residential. See annotation under Conceptual Open Space Table on the Proposed Master Concept Plan.

Item #10: *Revise Zoning conditions to facilitate approval for non-vertical / infra-structure improvements.*

This request is to revise Conditions #3 and #5 so that non-vertical / infra-structure improvements / earthwork can be undertaken prior to the issuance of local development order approval.

RECEIVED

MAR 18 2004

CC. COUNTY DEVELOPMENT

ADD 2004-00668

A copy of the revised Master Concept Plan is attached, along with the Administrative Amendment filing fee of \$1,500.00. If you have any questions, or require additional information, please contact me.

Very truly yours,


HOLE MONTES, INC.

Ned E. Dewhirst, P.E.
Sr. Vice President / Principal

TWM/crb

Enclosures

c.c. file

RECEIVED
MAR 18 2004
COMMUNITY DEVELOPMENT

ADD 2004-00060

Ned Dewhirst

From: Ronald Talone [Ronald.talone@dplummer.com]
Sent: Monday, February 09, 2004 6:42 PM
To: Ned Dewhirst (E-mail)
Cc: Ron Dillon (E-mail); Matt Uhle (E-mail); Mark Gillis; Adong Xu
Subject: Coconut Point DRI Miscellaneous #04517; Trip Generation Comparison of Bank to Other Allowed Uses in Tract 1D



ITE Trip Generation
Comparison...

Ned,

As requested, we've compared the estimated trip generation of a drive-thru bank with the estimated trip generation of two other uses allowed in Tract 1D: a U.S. post office and a day care center. The PM peak hour trip generation estimates (external trips), which are based on ITE Trip Generation, Seventh Edition, are shown in the attached table.

As you can see, all three of the other uses would generate slightly more traffic than a drive-thru bank.

Please let me know if you have any questions.

Ron

<<ITE Trip Generation Comparison for Bank 021004.XLS>>

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060



Environmental Consulting & Technology, Inc.

RECEIVED

MAY 23 1996

SITE PLANNING

C/DHCC

May 22, 1996

ECT No. 93093-0100

Mr. Thomas J. Presby

Mall of the Avenues Limited Partnership

DeBartolo Properties Management, Inc.

7655 Market Street

Youngstown, Ohio 44513

Re: Conclusion of 5-Year Parking Evaluation for The Avenues, Jacksonville, FL

Dear Tom:

I enclose the fifth and final annual parking analysis for The Avenues. As you are aware, the 5-year parking evaluation was initiated as a condition of site plan approval, by the City of Jacksonville (City), to prove that most parking standards are higher than required to support a regional mall. The data collected for this project do complement similar data presented by Richard C. Gern, *Shopping Demand at the Regionals*, ITE Journal, September 1978. I feel this information is important enough to warrant an overall summary for dissemination to the City staff and council members.

These data are important for two reasons. First, the reduced parking ratio lowers the development costs in land area and paved surface or structured parking. When developers can produce a good project and save money, this will eventually reach the consumer in added savings. Secondly, this reduction will produce an environmental savings to the community. Less parking means less impervious surface with less surface water runoff.

Overall, it isn't often that I have an opportunity to participate in a project that produces a win-win situation for all concerned. The parking ratio for regional shopping centers should be reduced to reflect actual use requirements. A 4.50-parking ratio per 1,000 square feet of gross leasable area is sufficient to support the operation of a regional shopping center. I hope the results of this study will be used to provide similar benefits in other communities.

Sincerely,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

Debra Ousley

Debra Ousley, Esq.

Enclosures

cc: Michael Lebovitz
Mark Gramsberg

G-CBL96.1/DO0522.1

3701 Northwest
98th Street
Gainesville, FL
32606

(352)
332-0444

FAX (352)
332-6722

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

**PARKING ANALYSIS SUMMARY (1991-1995)
THE AVENUES, JACKSONVILLE, FLORIDA**

OVERVIEW

In 1990, the Jacksonville Avenues Limited Partnership (Partnership) requested approval from the City of Jacksonville (City) to construct The Avenues Mall with a reduced parking ratio. The City approved this request subject to annual monitoring for a 5-year period. The basis of the reduced parking ratio stemmed from a study by Richard C. Gern, indicating a much lower parking ratio for regional shopping facilities that exceed 800,000 square feet (ft²) (*Parking Demand at The Regionals*, ITE Journal, September 1978, pp. 19-24). The tentative reduced parking ratio and monitoring methodology was approved by the City per The Avenues PUD Ordinance No. 89-1083-667.

The existing City parking requirements for a commercial retail land use is 5.5 parking spaces per 1,000 ft² of gross leasable area (GLA). The reduced parking ratio for The Avenues is 4.75. The City regulations define GLA as all leasable floor area inside the building perimeter wall (1 foot), less storage and common areas. The Avenues Mall presently supports a total gross building area of 1,310,195 ft², and a total of 1,081,311 GLA. This facility includes five anchor stores, small retail shops, and a food court in the mall commons.

RECEIVED

MAY 24 2004

METHODOLOGY

The study conducted by Gern first isolated the peak season parking requirements for regional shopping centers. This occurs from the day after Thanksgiving through Christmas, focusing specifically on Saturdays. Secondly, Gern collected parking data by use of vertical aerial photography on each peak day at 10 a.m., 12 p.m., 2 p.m., and 4 p.m. The methodology adopted by Gern was generally employed for The Avenues, with some modification for this specific facility. The Avenues PUD requires monitoring of two Saturdays during the peak shopping season, weather permitting. Annual data for each of the two days studied were collected at specific time periods: 10 a.m., 12 p.m., 2 p.m., and 4 p.m. Both vertical aerial photography and manual counts were conducted to accommodate ongrade and structured parking.

SUMMARY

The results of the data collected for The Avenues from 1991 through 1995 are included in Table 1. The summary findings indicate that 4.75 parking spaces for 1,000 ft² of GLA is more than adequate to accommodate the highest peak time period during the highest peak shopping season which occurs at 2 p.m. on one Saturday per year.

~~However, considering the overall data collected, it appears that 4.50 would be a more~~
~~appropriate ratio.~~ During the 36 documented time periods, 33 of these events reflected that less than 4.50 parking spaces per 1,000 ft² GLA were occupied during the entire peak shopping season analysis period.

The use of a 4.50-parking-space ratio for regional centers is best illustrated by comparison of community parking requirements for other seasonal events (i.e., golf tournaments, football games, outdoor concerts). Most communities do not require parking lots and road systems to accommodate the very highest peak use for seasonal events. This would be cost prohibitive and certainly a waste of valuable land area. Like other seasonal events, regional shopping centers also experience a limited peak season. But unlike other seasonal events, regional shopping center developers are often required to accommodate the very highest time period on the very highest peak shopping day to accommodate parking demand. In this day and age of environmental sensitivity and fiscal responsibility, it makes sense to consider this change in parking requirements as an opportunity for both the community and the consumer.

The minimal exceedance of 4.75 during two time periods at the 2 p.m. is due to employee shift changes, shift overlap, and employee lunch hour. All anchor stores presently operating at The Avenues reported a large influx of employees between 1 p.m. and 3 p.m. for the holiday shopping season. This condition can be remedied by improving scheduling techniques.

RECEIVED
MAY 24 2004

CONCLUSION

For 11 months of the year, the majority of paved parking area surrounding the larger regional shopping centers remains unused. During 1 month of the year, specifically for

three Saturdays during each year, this space is occupied, but still not to capacity if following the standard community parking ratios of 5.00 to 5.50 per 1,000 ft² GLA. It appears that Gern is correct; the parking standards used by most communities for regional shopping centers is generally higher than needed to reasonably accommodate parking demands. As indicated by the results of The Avenues parking study, the 4.50-parking-space ratio will accommodate 362 of the 363 shopping days and warrants consideration as a new industry standard.

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

Table 1. 1991, 1992, 1993, 1994, and 1995 Parking Analyses Summary

Day	Retail/Employee Occupied Spaces			
	10 a.m.	12 p.m.	2 p.m.	4 p.m.
Friday, November 29, 1991	2.18	3.77	4.18	3.58
Saturday, December 14, 1991	1.15	3.02	4.42	3.79
Saturday, December 12, 1992	1.67	3.50	4.69	4.36
Saturday, December 11, 1993	2.15	3.75	4.76	4.37
Saturday, December 18, 1993	2.19	3.70	4.88	4.48
Saturday, November 26, 1994	1.63	2.85	3.35	3.16
Saturday, December 24, 1994	2.57	3.23	3.11	2.39
Saturday, December 16, 1995	2.22	3.89	4.83	4.47
Saturday, December 23, 1995	2.11	3.54	4.40	4.13
Average Peak Demand	1.99	3.47	4.29	3.86

Sources: PBS&J, Inc., 1992.
 ECT, 1993.
 ECT, 1994.
 ECT, 1995.
 ECT, 1996.

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

ADD 2004-00060

COMMUNITY DEVELOPMENT

MAY 24 2004

RECEIVED

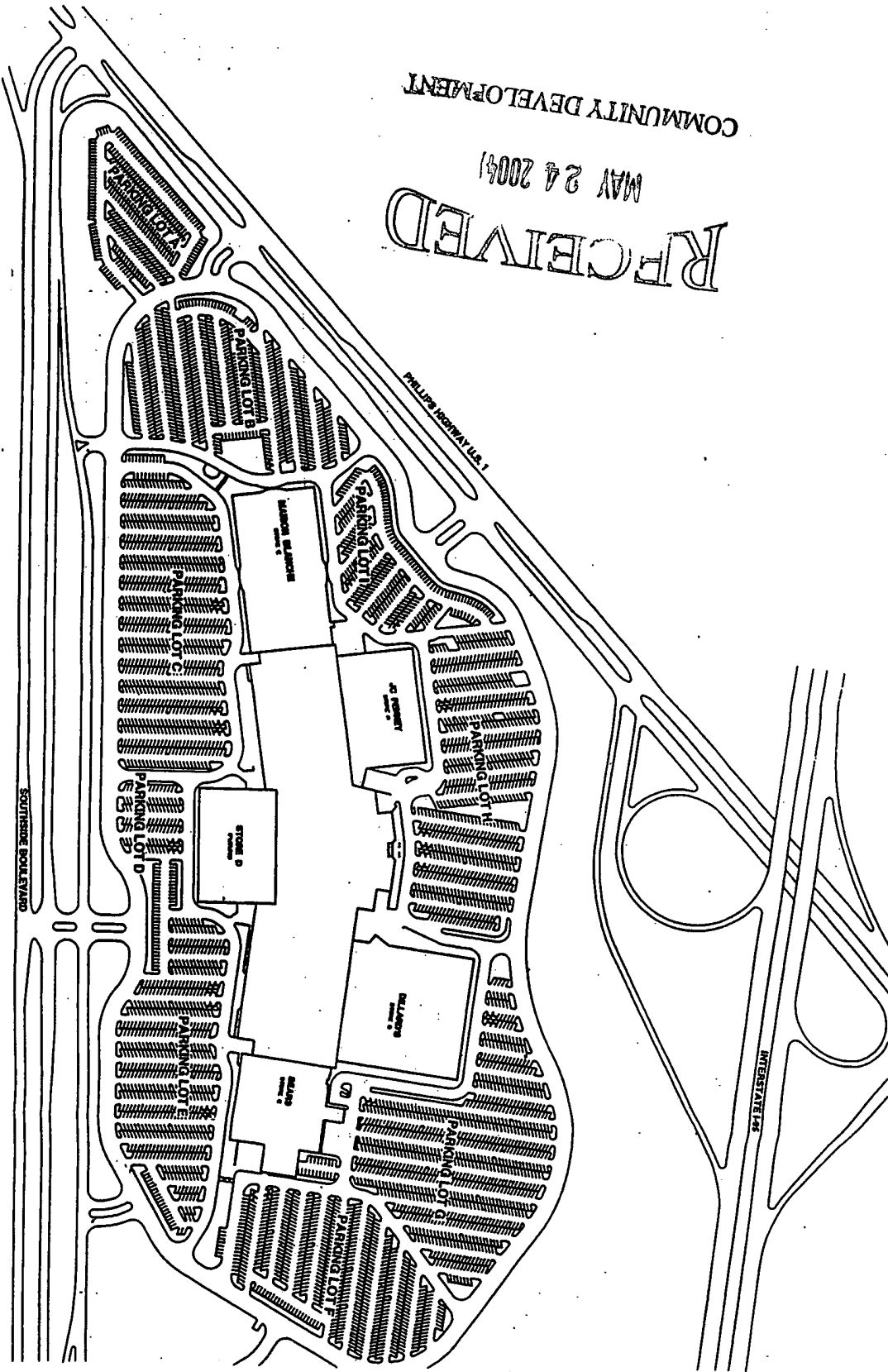


FIGURE 2.1-1.

THE AVENUES PARKING LOT LAYOUT

Source: Peat, Markey, Main & Jensen, Inc., 1992.

ADMINISTRATIVE AMENDMENT (PD) ADD2004-00060

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD to amend Conditions 3, 5, and 9 of Resolution Z-02-009 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District for property located on US 41 between Williams and Coconut Roads in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in case number Z-02-009 (with subsequent amendments in case numbers DRI2000-00015; DCI2001-00005); and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application has been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for to amend the existing Mixed Use Planned Development to amend Conditions 3, 5, and 9 of Resolution Z-02-009 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District is APPROVED.

Approval is subject to the following conditions:

1. The only change approved to the approved Master Concept Plan is the arrangement of the lakes in Phase 1. Development must be in compliance with the originally approved Master Concept Plan attached to Resolution Z-02-009.

In Phase 1, the lakes may be developed in accordance with the amended Master Concept Plan for Coconut Point, stamped received APR 30, 2004. Master Concept Plan for ADD2004-00060 is hereby APPROVED and adopted. A reduced copy is attached hereto. The terms and conditions of the original zoning resolutions remain in full force and effect.

2. Condition 3 of Resolution Z-02-009 is hereby amended as follows:

3. The development of the subject property must include a regional shopping center, which incorporates a shopping center and commercial and residential tracts all developed with a common architectural theme. The entire project must include a common landscaping and graphic theme throughout the project. The architectural theme, landscaping and graphic design theme must be reviewed and approved by the Lee County Department of Community Development prior to the issuance of any local development order **approving permanent vertical construction the first local development order for vertical development of any buildings** for the property. Any change from the proposed "regional mall" development will necessitate an amendment to the MPD zoning approval through the public hearing process.

The only exception to the above language is the development of a building for the Estero Fire District.

3. Condition 5 of Resolution Z-02-009 is hereby amended as follows:

5. This development, including the proposed regional shopping center, must incorporate a common architectural theme on all sides of all buildings that are visible from the Brooks MPD, Y.U.S. 41, Coconut Road, Williams Road and Sandy Lane Extension rights-of-way to ensure an equally attractive architectural elevation for all facets of the development. The common architectural theme must include streetscape landscaping and enhanced building architectural features. This condition is applicable to the entire development including any proposed outparcels within the MPD. A plan reflecting the design standards required by this condition must be submitted for review and approval by the Lee County Department of Community Development prior to the issuance of any local Development Order **approving permanent vertical construction the first local development order for vertical development of any buildings** for the property within the MPD.

The only exception to the above language is the development of a building for the Estero Fire District.

4. Condition 9 of Resolution Z-02-009 is hereby amended as follows:

RECEIVED

CASE NO. ADD2004-00060

MAY 24 2004
Page 2 of 2

ADD 2004-00060 COMMUNITY DEVELOPMENT

9. Prior to local development order ~~approving permanent vertical construction~~ the first local development order for vertical development of any buildings, open space must be provided as detailed in the open space table on the Master Concept plan with the condition that any residential dwelling units requiring open space per LDC§10-415(a) must provide 30 percent common open space within Tracts 1-E, 1-F, 2-B2, 3-B, and 3-D.

The only exception to the above language is the development of a building for the Estero Fire District.

5. No other changes to the approved planned development have been authorized as part of this administrative amendment.

DULY SIGNED this 10th day of May, A.D., 2004.

BY: _____

Pam Houck
Pam Houck, Director
Division of Zoning
Department of Community Development

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

EXHIBIT A

RECEIVED

MAY 24 2004

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF 3

COMMUNITY DEVELOPMENT

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E., FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

ADD 2004-00060

RETURNED

MAY 24 2004

COMMUNITY DEVELOPMENT

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 2 OF 3

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

ADD 2004-00060

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF **X3**

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 388.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84. INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked
by THH 01 APRIL 04

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

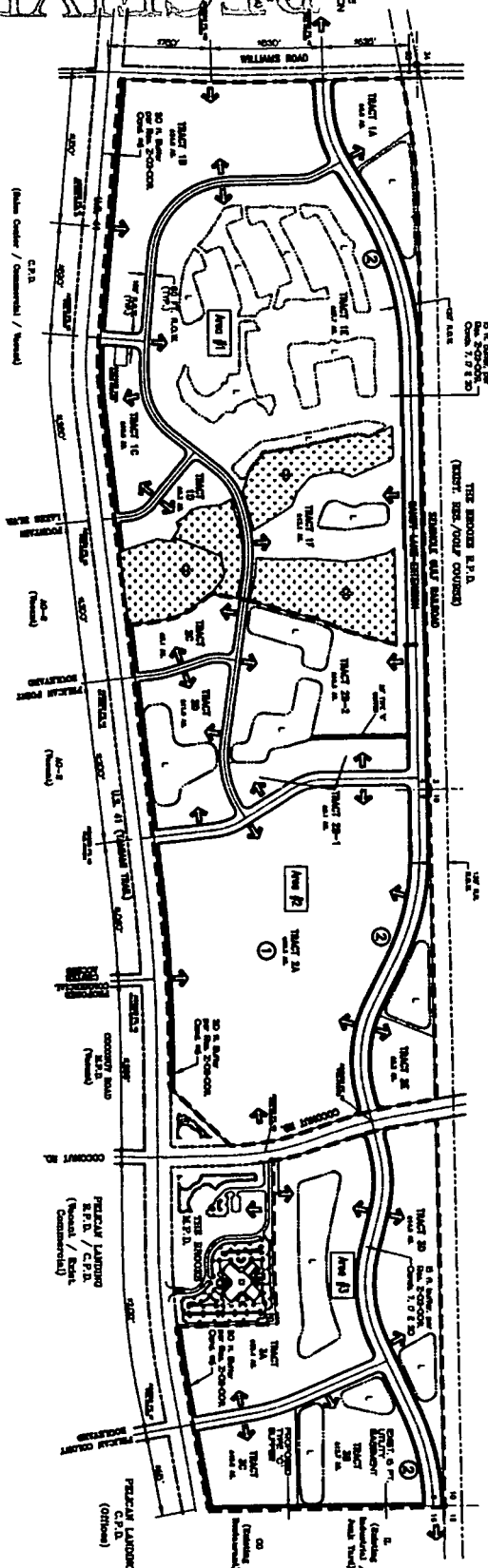
W:\1997\1997079\LEGAL\DEBA904-3.doc

ADD 2004-00060

ADD 2004-00060

13007 72. 1943

RECEIVED



PROJECT SUMMARY

1.) **ACQUIRE** A Receding from AG-2 to show the Planned Development (MPO)

GENERAL COMMENTS: PROCEED AS FOLLOWS

CONSERVATION AREAS	4,327 ACRES
LANDS	4,581.3 ACRES
NATIONAL (PRIORITY) R.O.W.	1,202 ACRES
NATIONAL (PRIORITY) R.O.W.	3,500 ACRES
GREEN AREAS / OPEN SPACE	48.1 ACRES
DEVELOPMENT TRACT AREAS	4,304 ACRES

TOTAL **£442.4 M000**

a) **CONTEMPORARY ARTISTS:**

Development Area B1: Residential - 60 Acre / Sub - Comm. 2,000,000 Sq. Ft.	2,000,000 Sq. Ft.
Proposed Lakeside - 2,000,000 Sq. Ft.	2,000,000 Sq. Ft.
Proposed Public E.R.T. (County Lane Extension)	2,000,000 Sq. Ft.
Corporation Area	2,000,000 Sq. Ft.
Open Area / Open Space	2,000,000 Sq. Ft.
Development Area C1: Commercial - 10 Acre / Sub - 100,000,000 Sq. Ft.	100,000,000 Sq. Ft.
Development Area B1: Residential - 60 Acre / Sub - Comm. 2,000,000 Sq. Ft.	2,000,000 Sq. Ft.
Proposed Lakeside - 2,000,000 Sq. Ft.	2,000,000 Sq. Ft.
Proposed Public E.R.T. (County Lane Extension)	2,000,000 Sq. Ft.
Corporation Area	2,000,000 Sq. Ft.
Open Area / Open Space	2,000,000 Sq. Ft.
Development Area C1: Commercial - 10 Acre / Sub - 100,000,000 Sq. Ft.	100,000,000 Sq. Ft.

[illegible]

ADD 2004-00060

2) MATERIAL DEVELOPMENT TASK STRATEGIES

FOR EACH DEVELOPMENT AREA

Continued on p. 11

Development Area #2:	
Tract 18	250,000 a.l. Retail / 20,000 a.l. Office
Tract 19	40,000 a.l. Retail / 20,000 a.l. Office
Tract 1C	40,000 a.l. Retail / 20,000 a.l. Office
Tract 10	15,000 a.l. Retail / 20,000 a.l. Office
Tract 1E	800 a.l. Bu's
Tract 1F	100 a.l. Bu's

Firm Size 1,000,000 U.S. Dollars / 100 B.C. D/C / 200 Small Firms
Firm Age 50,000 U.S. Dollars / 50,000 U.S. Dollars / 750 Small Firms

[illegible]

	1991	1992	1993	1994
2001 - 2004	1,200 ^a	1,800,000	300,000	800

^aU.S. / A.L. UNITS MAY BE REPLACED WITH S.F. / T2 / T4 / DUPLEX UNITS SO LONG AS THE TOTAL NO. OF PAPER MOUNT WORDSEARCH PAGES COMPLETED BY THE DEVELOPERMENT IS 400. REPLACEMENT AND APPROVAL IS OBTAINED BY ACCORDANCE WITH RESOLUTION 2-00-000.

RECEIVED
APR 30 2004

ZONING COUNCIL

RECEIVED
APR 30 2004

a) CONSTITUTIONAL SERVICE

Development Area ft:

食部

Development Area 1b2		
(1255 Sandy Lane, Est. & Tract 25-12)	107.0 Ac. ± 203	± 44.1 Ac.
(Tract 25-12)	10.8 Ac. ± 405	± 7.8 Ac.
Development Area 1b3		
(1255 Sandy Lane, Est. & Tract 25-12)	60.3 Ac. ± 203	± 18.1 Ac.
(1255 Sandy Lane, Est. & Tract 25-12)	37.8 Ac. ± 405	± 11.0 Ac.

THE

Year	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	








2) SPENDING ON THE SPACE:
 due to the current agricultural land use and the entry of agriculture season when the housing period ends, no housing on space is required.

3) NOTES:

Locations / configurations of proposed land uses, such as urban, suburban, rural, wooded, and open space are indicated by shading and subject to change during the design / permitting.

The subdivision of proposed commercial tracts 1B and 2A for existing residential buildings is subject to LDC Sec. 35-2227(f)(2).

Legend

PROPERTY: SOLUBLE		
HOW AQUEOUS		
CONFORMATION: AQUEOUS		
PROPERTY: ELASTIC		
CONFORMATION: ELASTIC		
PROPERTY: TENSILE		
CONFORMATION: TENSILE		

A P P R O V E D

Master Concept Plan
Subject to Case # AND2004-0
Date 5/10/04

EXHIBIT IV-E

COCONUT POINT
MASTER CONCEPT PLAN



HOLE MONSTER

6202-F Presidential Court
Fort Myers, FL 33919
Phone : (941) 985-1200
Professional Background No.1772

⚠		
⚠		
⚠	Revised for Administrative Attachment	01/20/04
⚠	Revised per County History's Office Memo	12/08/04
⚠	Revised Trade / G.S. Code / Permitted Uses	12/14/04
⚠	Revised per County Staff for S.A.	01/06/05

97798MNC
97.798 1 -

LEE COUNTY
RECEIVED

12 DEC 20 AM 8:57

COMM. DEV/
PUB. WORKS. CNTR.
SECOND FLOOR

716
RESOLUTION NUMBER Z-02-009

RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

WHEREAS, Simon Property Group and Oakbrook Properties, Inc. filed an application on behalf of the property owner, Edward J. McArdle, Trustee, to consider an Application for Development Approval (ADA) for a Development of Regional Impact (DRI) and rezone from Agriculture(AG-2) to a Mixed Use Planned Development (MPD), in reference to Coconut Point DRI (f/n/a Simon Suncoast DRI); and

WHEREAS, the initial public hearing was advertised and held on January 30, 2002, and continued to January 31, 2002, March 19, 2002, March 20, 2002, and March 22, 2002 before the Lee County Zoning Hearing Examiner, who gave full consideration to the evidence in the record for Case #DRI2000-00015 and DCI2001-00005; and

WHEREAS, a second public hearing was advertised and held on October 21, 2002 before the Lee County Board of Commissioners, who gave full and complete consideration to the recommendations of the staff, the Hearing Examiner, the documents on record and the testimony of all interested persons.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS:

SECTION A. REQUEST

The applicant filed a request to:

- a) consider an Application for Development Approval for a Development of Regional Impact known as Coconut Point DRI (f/n/a Simon Suncoast DRI); and
- b) rezone a 482.4± acre parcel from AG-2 to MPD to permit a regional mall development consisting of 1,800,000 square feet of retail floor area, 300,000 square feet of office floor area, 1,200 dwelling units and 600 hotel units, all not to exceed 60 feet in height.

The property is located in the Rural and Wetlands Land Use Category and legally described in attached Exhibit A. The request is APPROVED, SUBJECT TO the conditions specified in Section B below.

SECTION B. CONDITIONS:

All references to uses are as defined or listed in the Lee County Land Development Code (LDC).

1. The development of this project must be consistent with the two-page Master Concept Plan entitled "Simon Suncoast," prepared by Hole Montes, dated October 9, 2000, last revised

CASE NO: DRI2000-00015 & DCI2001-00005

Z-02-009
Page 1 of 18

ann 2004-00060

December 9, 2002, and stamped "Received Dec 12 2002 Community Development." The development must also be consistent with the approved DRI Development Order for Coconut Point DRI (DRI#09-2001-153). This development must comply with all requirements of the Lee County LDC at time of local development order approval, except as may be granted by deviation as part of this planned development. If changes to the Master Concept Plan are subsequently pursued, appropriate approvals will be necessary.

2. The following limits apply to the project and uses:

a. Schedule of Uses

Permitted uses within Tracts 1A, 1B and 1C:

Accessory Uses and Structures permitted ancillary to a permitted principal use
Administrative offices
Animal clinic
ATM (automatic teller machine)
Auto parts store
Auto repair and service, Group I, limited to one
Banks and financial establishments, Group I
Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674
Business services, Groups I and II
Car wash (limited to one)
Cleaning and maintenance services
Clothing stores, general
Contractors and Builders, Groups I and II
Convenience Food and Beverage Store (limited to one with attendant service station: however, the entire site is limited to a maximum of two)
Consumption on premises in compliance with LDC §34-1264 (limited to and in conjunction with a standard restaurant)
Cultural facilities, excluding zoos
Day care center, adult, child
Department Store
Drive thru facility for any permitted use
Drugstore (limited to one total, however, the entire site is limited to two)
Entrance gates and gatehouse, in compliance with LDC §34-1748
Essential services
Essential service facilities, Group I
Excavation, water retention (as shown on the Master Concept Plan)
Fences, walls
Food Stores, Groups I and II
Gift and souvenir shop
Hardware store
Health care facility, Group III
Hobby, toy, and game shops
Household and office furnishings, Groups I, II, III (no outdoor display)
Insurance companies

MAR 18 2004

COMMUNITY DEVELOPMENT

Ann 2004-0006Q

Laundromat
 Laundry or dry cleaning Group I
 Lawn and garden supply store
 Medical office
 Nonstore retailers, all groups
 Paint glass and wallpaper store
 Parking lot: Accessory
 Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
 Pet services
 Pet shop
 Pharmacy
 Printing and publishing
 Real estate sales office
 Recreation facilities, commercial, Groups I and IV
 Rental or leasing establishments Groups I & II (excluding passenger car pick up and drop off)
 Repair shops, Groups I, II and III
 Research and development laboratories Groups II and IV
 Restaurant, fast food (limited to two, however, the entire site is limited to a maximum of four outside of the Regional food court/service area)
 Restaurants, Groups I, II, III, and IV
 Self service fuel pumps (limited to one in conjunction with a Convenience Food and Beverage Store, however entire site is limited to a maximum of two)
 Signs, in accordance with Chapter 30
 Social Services, Groups I and II
 Specialty retail shops, Groups I, II, III and IV
 Storage: Indoor only §34-3001 et seq.
 Used merchandise stores, Group I
 Variety store

Permitted uses within Tract 1D

Accessory Uses and Structures permitted ancillary to a permitted principal use
 Administrative offices
 Business services, Group I
 Cultural facilities, excluding zoos
 Day care center, adult, child
 Emergency medical services station
 Entrance Gate and Gatehouse, in compliance with LDC §34-1748
 Essential Services
 Essential Service Facilities, Group I
 Fences, walls
 Fire station
 Health care facility, Group III
 Hobby, toy, and game shops
 Household and office furnishings, Groups I, II, III (no outdoor display)
 Insurance companies

MAR 18 2004

ADD 2004-00060

Library
Medical office
Parks, Group II, limited to community park
Parking lot: Accessory
Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
Place of worship
Police or sheriff's station
Post office
Real estate sales office
Religious facilities
Restaurants, Groups I, II, and III
Signs, in compliance with LDC Chapter 30
Social Services, Groups I and II
Specialty retail shops, Groups I and II
Storage: Indoor only §34-3001 *et seq.*

Permitted uses within Tracts 1E and 1F

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Club, private

Dwelling Units:

*Single-family

*Duplex

Multiple-Family Building

Townhouse

*Two-family attached

*Zero lot line

*(may be approved administratively upon findings that the use is compatible with other uses in the tract and consistent with the Traffic Conversion Table)

Entrance Gate and Gatehouse, in compliance with LDC §34-1748

Essential Services

Essential Service Facilities, Group I

Excavation, water retention (as shown on the Master Concept Plan)

Fences, walls

Home occupation, with no outside help

Model display center

Model home

Model unit

Parking lot, accessory only

Parks, Group I, limited to neighborhood park

Parks, Group II, limited to community park

Recreation Facilities, Private on-site, Personal

Residential Accessory Uses

Signs, in compliance with LDC Chapter 30

Permitted uses within Tract 2A (Regional Mall Parcel)

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Animal clinic

ATM (automatic teller machine)

Auto parts store

Auto repair and service, Group I, if accessory to a department store

Banks and financial establishments, Group I

Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674

Business services, Groups I and II

Cleaning and maintenance services

Clothing stores, general

Convenience Food and Beverage Store (limited to one, however, the entire site is limited to a maximum of two)

Consumption on premises in compliance with LDC §34-1264 (limited to and in conjunction with a standard restaurant)

Cultural facilities, excluding zoos

Day care center, adult, child

Department Store

Drive thru facility for any permitted use

Dwelling Units:

*Single-family

*Duplex

Multiple-Family Building

Townhouse

*Two-family attached

*Zero lot line

*(may be approved administratively upon findings that the use is compatible with other uses in the tract and consistent with the Traffic Conversion Table)

Entrance gates and gatehouse, in compliance with LDC §34-1748

Essential services

Essential service facilities, Group I

Excavation, water retention (as shown on the Master Concept Plan)

Fences, walls

Food Store, Group I

Gift and souvenir shop

Hardware store

Hobby, toy, and game shops

Hotel/motel

Household and office furnishings, Groups I, II, III (no outdoor display)

Insurance companies

Laundry or dry cleaning Group I

Lawn and garden stores

Nonstore retailers, all groups

Paint glass and wallpaper store

CASE NO: DRI2000-00015 & DCI2001-00005

MAR 18 2004

Z-02-009

Page 5 of 18

COMMUNITY DEVELOPMENT

ann 2004-0006U

Parking garage
Parking lot: Accessory
Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
Pet services
Pet shop
Pharmacy
Police or sheriffs station
Real estate sales office
Recreation facilities, commercial, Groups I and IV (limited to indoor theater)
Rental or leasing establishments Groups I & II (excluding passenger car pick up and drop off)
Repair shops, Groups I and II, limited to clocks, jewelry, music, cameras, calculators, computers and optical devices
Restaurant, fast food (limited to one outside of food court/service area and the entire site is limited to a maximum of four outside of Regional Center food court/service area)
Restaurants, Groups I, II, III, and IV
Self service fuel pumps (limited to one in conjunction with a Convenience Food and Beverage Store, however entire site is limited to a maximum of two)
Signs, in accordance with Chapter 30
Specialty retail shops, Groups I, II, III and IV
Storage: Indoor only §34-3001 *et seq.*
Used merchandise stores, Group I
Variety store

Permitted uses within Tract 2B - 1

Accessory Uses and Structures permitted ancillary to a permitted principal use
Administrative offices
Animal clinic
ATM (automatic teller machine)
Banks and financial establishments, Group I
Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674
Business services, Group I
Business services, Group II, limited to parcel and express services and packaging services
Cleaning and maintenance services
Clothing stores, general
Consumption on Premises, only in connection with a Group III restaurant
Day Care Center, adult or child
Drugstores, limited to one and the entire site is limited to a maximum of two
Essential services
Essential service facilities, Group I
Excavation, water retention (as shown on the Master Concept Plan)
Fences, walls
Gift and souvenir shop

Hardware store
Hobby, toy, and game shops
Household and office furnishings, Groups I and II
Insurance companies
Laundry or dry cleaning Group I
Lawn and garden store
Non-store retailers, all groups
Paint glass and wallpaper store
Parking lot: Accessory
Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
Pet services
Pet shop
Pharmacy
Police or sheriffs station
Real estate sales office
Recreational facilities, commercial, Group IV, limited to Health Clubs
Rental and leasing establishments, Groups I and II, passenger car pickup and drop off excluded
Repair shops, Groups I and II
Restaurants, Groups I - IV
Signs, in accordance with Chapter 30
Specialty retail shops, Groups I, II, III and IV
Storage: Indoor only §34-3001 *et seq.*
Used merchandise stores, Group I
Variety store

Permitted uses within Tract 2B - 2

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Club, private

Dwelling Units:

*Single-Family

*Duplex

Multiple-Family Building

Townhouse

*Two-family attached

*Zero lot line

*(may be approved administratively upon finding that the use is compatible with other uses in the tract and consistent with the Traffic Conversion Table)

Entrance Gate and Gatehouse, in compliance with LDC §34-1748

Essential Services

Essential Service Facilities, Group I

Excavation, water retention

Fences, walls

Home occupation, with no outside help

MAR 18 2004
COMMUNITY DEVELOPMENT

Ann 2004-00060

Model display center
Model home
Model unit
Parking lot, accessory only
Parks, Group I, limited to neighborhood park
Parks, Group II, limited to community park
Recreation Facilities, Private on-site, Personal
Residential Accessory Uses
Signs, in compliance with LDC Chapter 30

Permitted uses within Tracts 2C, 2D, and 2E
(Uses on Tract 2E are subject to condition 20)

Accessory Uses and Structures permitted ancillary to a permitted principal use
Administrative offices
Animal clinic
ATM (automatic teller machine)
Auto parts store (Tracts 2C and 2D only)
Auto repair and service, Group I (Tracts 2C and 2D only)
Banks and financial establishments, Group I
Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674
Business services, Groups I and II
Cleaning and maintenance services
Clothing stores, general
Contractors and Builders, Group I
Consumption on premises in compliance with LDC §34-1264 (limited to and in conjunction with a standard restaurant)
Convenience Food and Beverage Stores, limited to one (on either Tract 2C or 2D only), however, the entire site is limited to a maximum of two
Cultural facilities, excluding zoos
Day care center, adult, child
Department Store
Drive thru facility for any permitted use (subject to condition 19)
Drugstores, limited to one (total), however, the entire site is limited to a maximum of two
Entrance gates and gatehouse, in compliance with LDC §34-1748
Essential services
Essential service facilities, Group I
Excavation for water retention (as shown on the Master Concept Plan)
Fences, walls
Fire Station (limited to Tract 2C only)
Food Stores, Groups I and II (prohibited on Tract 2E except for specialty stores such as health food store, vitamin store or similar type stores)
Gift and souvenir shop
Hardware store
Health care facility, Group III
Hobby, toy, and game shops

CASE NO: DRI2000-00015 & DCI2001-00005

MAR 18 2004
Z-02-009
Page 8 of 18

Ann 2004-00060

Hotel/motel (Tract 2D only)
 Household and office furnishings, Groups I, II, III (no outdoor display)
 Insurance companies
 Laundromat (Tracts 2C and 2D only)
 Laundry or dry cleaning Group I
 Lawn and garden supply store
 Medical office
 Nonstore retailers, all groups
 Paint glass and wallpaper store
 Parking lot: Accessory only
 Personal services, Groups I, II, and III ((Tracts 2C and 2D only, excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors and stand alone massage parlors)
 Pet services
 Pet shop
 Pharmacy
 Printing and publishing (Tracts 2C and 2D only)
 Real estate sales office
 Recreation facilities, commercial, Groups I and IV (limited to indoor theater)
 Rental or leasing establishments Groups I & II (excluding passenger car pick up and drop off)
 Repair shops, Groups I, II and III
 Research and development laboratories Groups II and IV
 Restaurants, Fast-food, limited to one (total), however, the entire site is limited to a maximum of four outside of the Regional Center food court/service area
 Restaurants, Groups I, II, III, and IV
 Signs, in accordance with Chapter 30
 Social Services, Groups I and II (Tracts 2C and 2D only)
 Specialty retail shops, Groups I, II, III and IV
 Storage: Indoor only §34-3001 *et seq.*
 Used merchandise stores, Group I
 Variety Store

Permitted uses within Tracts 3A and 3C

Accessory Uses and Structures permitted ancillary to a permitted principal use
 Administrative offices
 Animal clinic
 ATM (automatic teller machine)
 Auto parts store
 Banks and financial establishments, Group I
 Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674
 Business services, Groups I and II
 Cleaning and maintenance services
 Clothing stores, general
 Contractors and Builders, Group I

Ann 2004-00000

Consumption on premises in compliance with LDC §34-1264 (limited to and in
 conjunction with a standard restaurant)
 Convenience Food and Beverage Store, limited to one (total), however, the entire
 site is limited to a maximum of two
 Cultural facilities, excluding zoos
 Day care center, adult, child
 Department Store
 Drive thru facility for any permitted use
 Drugstores, limited to one (total), however, the entire site is limited to a maximum
 of two
 Entrance gates and gatehouse, in compliance with LDC §34-1748
 Essential services
 Essential service facilities, Group I
 Excavation, water retention (as shown on the Master Concept Plan)
 Fences, walls
 Food Stores, Groups I and II
 Gift and souvenir shop
 Hardware store
 Health care facility, Group III
 Hobby, toy, and game shops
 Hotel/motel
 Household and office furnishings, Groups I, II, III (no outdoor display)
 Insurance companies
 Laundromat
 Laundry or dry cleaning Group I
 Lawn and garden supply store
 Medical office
 Nonstore retailers, all groups
 Paint glass and wallpaper store
 Parking lot: Accessory only
 Personal services, Groups I, II, and III (excluding escort services, palm readers,
 fortunetellers, card readers, and tattoo parlors)
 Pet services
 Pet shop
 Pharmacy
 Printing and publishing
 Real estate sales office
 Recreation facilities, commercial, Groups I and IV (limited to indoor theater)
 Rental or leasing establishments Groups I & II (excluding passenger car pick up
 and drop off)
 Repair shops, Groups I, II and III
 Research and development laboratories Groups II and IV
 Restaurants, Fast-food, limited to one (total), however, the entire site is limited to
 a maximum of four outside the Regional Center food court/service area
 Restaurants, Groups I, II, III, and IV
 Signs, in accordance with Chapter 30
 Social Services, Groups I and II
 Specialty retail shops, Groups I, II, III and IV

Storage: Indoor only §34-3001 et seq.
Used merchandise stores, Group I

Permitted uses within Tracts 3B and 3D

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Adult Living Facilities (ALF) (Tract 3B only)

Club, private

Dwelling Unit:

*Single-Family

*Duplex

Multiple-Family Building

Townhouse

*Two-family attached

*Zero lot line

*(may be approved administratively upon findings that the use is compatible with other uses in the tract and consistent with the Traffic Conversion Table)

Entrance Gate and Gatehouse, in compliance with LDC §34-1748

Essential Services

Essential Service Facilities, Group I

Excavation, water retention

Fences, walls

Home occupation, with no outside help

Model display center

Model home

Model unit

Parking lot, accessory only

Parks, Group I, limited to neighborhood park

Recreation Facilities, Private on-site, Personal

Residential Accessory Uses

Signs, in compliance with LDC Chapter 30

b. Site Development Regulations (See also c. below)

Tract 1A, 1B 1C and 1D

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)

Water body 25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

Tracts 1E, 1F, 2B-2, 3D and 3B

Minimum Lot Size: Townhouse

Lot Width Per Unit	25 feet
Lot Depth Per Unit	80 feet
Lot Area Per Unit	2,000 square feet
Maximum Building Height	35 feet / 2 stories
Maximum Lot Coverage	50 percent

Minimum Setbacks:

Front (street, private)	20 feet
Front (street, public)	25 feet
Side	10 feet
Side (interior)	0 feet
Rear	15 feet (5 feet for an accessory structure)
Waterbody	25 feet (10 feet for an accessory structure)

Minimum Lot Size: Multiple Family Building

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	10,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	20 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

MAR 18 2004

ADD 2004-00060

Tracts 2A, 2B-1, 2C, 2D, 3A and 3C

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height for Tract 2B-1, 2C, 2D and 3C: 45 feet / 3 stories

Maximum Building Height for Tract 2A and Tract 3A: 60 feet / 5 stories *

*subject to the following setback from Sandy Lane Extension:

Tract 2A	300 feet
Tract 3A	100 feet

Tract 2E

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 40 feet / 2 stories

- c. **Additional Site Development Regulations for Tracts 1E, 1F, 2A, 2B-2, 3B and 3D**

Single-family, Duplex, Two-family attached and Zero lot line dwelling units consistent with the Master Concept Plan and the following Conversion Table:

<u>From Multi-Family (MF)</u>	<u>To Single-family (SF)</u>
100 MF Apartments	53 SF dwelling units
100 MF Residential condos	40 SF dwelling units
100 ALF units	13 SF dwelling units

3. The development of the subject property must include a regional shopping center, which incorporates a shopping center and commercial and residential tracts all developed with a common architectural theme. The entire project must include a common landscaping and graphic theme throughout the project. The architectural theme, landscaping and graphic design theme must be reviewed and approved by the Lee County Department of Community Development prior to the issuance of any local development order for the property. Any change from the proposed "regional mall" development will necessitate an amendment to the MPD zoning approval through the public hearing process.
4. Subject to Condition 3 above, the development of the subject property is limited to a maximum of 1,800,000 gross square feet of retail floor area and 300,000 gross square feet of office floor area. These limitations are further restricted to the maximum totals allowed for each Development "Area" and the maximum totals allowed for each Development "Tract" as indicated on the approved Master Concept Plan.
5. This development, including the proposed regional shopping center, must incorporate a common architectural theme on all sides of all buildings that are visible from the Brooks MPD, U.S. 41, Coconut Road, Williams Road and Sandy Lane Extension rights-of-way to ensure an equally attractive architectural elevation for all facets of the development. The common architectural theme must include streetscape landscaping and enhanced building architectural features. This condition is applicable to the entire development including any proposed outparcels within the MPD. A plan reflecting the design standards required by this condition must be submitted for review and approval by the Lee County Department of Community Development prior to the issuance of any local development order for property within this MPD.
6. A 30-foot-wide buffer is required along the entire length of U.S. 41. The buffer must be designed to utilize the entire 30-foot width by meandering and clustering plants. The buffer must be planted with a minimum of the following:
 - a) 10 trees per 100 linear foot; minimum 10-foot 2-inch caliper with 4-foot spread -or- minimum 10-foot clear trunk for palms. A minimum of 50 percent of the trees must be canopy type trees (i.e. not palms); and
 - b) Double staggered shrub hedge; minimum 24-inch height 3-gallon container size at planting to be maintained at 36 inches of height.

The buffer must be installed along U.S. 41 for the entire frontage of the development area (#1, #2 or #3) shown on the Master Concept Plan prior to the issuance of a Certificate of

Compliance for any development (excluding public uses mandated by the DRI Development Order) within that development area.

7. Any property abutting the Sandy Lane extension must provide a 15-foot-wide street tree planting area along Sandy Lane. Residential developments must provide five live oak trees per 100 linear feet that must be planted in the street tree planting area. Commercial developments must provide five live oak trees per 100 linear feet and a double staggered hedge within the street tree planting area. Plantings must meet the minimum size standards referenced in LDC §10-420. Utility easements must be located in accordance with LDC §10-421(a).
8. A Type "C" buffer must be provided along the southern boundary of Tract 3B.
9. Prior to local development order approval, open space must be provided as detailed in the open space table on the Master Concept Plan with the condition that any residential dwelling units requiring open space per LDC §10-415(a) must provide 30 percent common open space within Tracts 1-E, 1-F, 2-B2, 3-B, and 3-D.
10. Prior to local development order approval for any development order, a detailed exotic removal plan for the preserved wetland area must be submitted for the Division of Environmental Sciences staff review and approval. Removal methods must not disturb the soil or existing native vegetation.

Prior to the issuance of a Certificate of Compliance for any development order, the exotic vegetation must be removed from the preserved wetlands per an approved exotic removal plan, and a detailed wetland enhancement planting plan must be submitted for the Division of Environmental Sciences staff review and approval. Lee County recognizes that the wetland restoration planting efforts can be utilized as compensatory mitigation for the proposed wetland impacts shown on Exhibit "D" during subsequent permitting review processes with the state and federal regulatory agencies. The wetland restoration planting plan will be subject to the review and approval of the South Florida Water Management District and the Department of the Army Corps of Engineers, and will include:

- a) documentation of existing native vegetation/baseline monitoring with photographs; and
 - b) plant specifications including species, size and number of native wetland plants to be installed. Both herbaceous plants and trees must be included; and
 - c) planting schedule including a starting and completion date; and
 - d) 5-year monitoring plan.
11. The MPD zoning and DRI development order, as conditioned, will only be effective upon the adoption and finding of compliance of the Lee Plan Future Land Use Map and Text amendment that is being concurrently reviewed with this rezoning and DRI application for development approval (Lee County Plan Amendment CPA2000-00030).

12. A minimum of one acre of the property must be provided or set aside for use as an Estero Fire District fire station. The location of the fire station property must be mutually agreed upon by the developer/property owner and representatives of the Estero Fire District.
13. A minimum of five acres of the property, or an equivalent amount of property in this general location must be provided or set aside for use as a Lee County public school. The location of the public school property must be mutually agreed upon by the developer/property owner and representatives of the Lee County School District.
14. The development must provide separate pedestrian connections (i.e., sidewalks or pedestrian paths) between the commercial and residential tracts within the development. A generalized pedestrian circulation plan for the entire property must be submitted to the County for Administrative Approval prior to the approval of the first local development order for the project.
15. Approval of this zoning request does not address mitigation of the project's local vehicular or pedestrian traffic impacts. Additional conditions consistent with the Lee County LDC may be required to obtain a local development order.
16. Approval of this rezoning does not guarantee local development order approval. Future development order approvals must satisfy the requirements of the Lee Plan Planning Communities Map and Acreage Allocation Table, Map 16 and Table 1(b), be reviewed for, and found consistent with, the retail commercial standards for site area, including range of gross floor area, location, tenant mix and general function, as well as all other Lee Plan provisions.
17. A Type "C" buffer, as that term is defined in LDC section 10-416, must be shown on local development order plans and must be installed along the eastern side of Sandy Lane whenever any existing or proposed residences in The Brooks are or would be located within 250 feet of the eastern edge of the pavement of Sandy Lane before Sandy Lane is determined to be substantially complete.
18. Lighting within the project and along Sandy Lane must be designed to prevent direct glare and light spillage on the Brooks.
19. Any drive-thru facility that is constructed on Tract 2E must be oriented towards Sandy Lane or Coconut Road.
20. A 15 foot wide buffer including a berm or berm/wall combination 8 feet in height, 10 trees per 100 linear feet and a hedge is required along the eastern boundary of parcel 2E as a condition of local development order approval for any use on Tract 2E that typically operates prior to 8:00am or after 6:00pm.

MAR 18 2004

Ann 2004-00060

SECTION C. EXHIBITS AND STRAP NUMBER:

The following exhibits are attached to this resolution and incorporated by reference:

- Exhibit A: The legal description of the property
- Exhibit B: Zoning Map (subject parcel identified with shading)
- Exhibit C: The Master Concept Plan
- Exhibit D: Wetlands Map
- Exhibit E: Coconut Point DRI Development Order

The applicant has indicated that the STRAP numbers for the subject property are: 04-47-25-00-00001.0000 & 09-47-25-00-00001.0010.

SECTION D. FINDINGS AND CONCLUSIONS:

1. The applicant has proven entitlement to the MPD rezoning by demonstrating compliance with Florida Statutes Chapter 380, the Lee Plan, the LDC, and any other applicable code or regulation.
2. The rezoning, as approved:
 - a. meets or exceeds all performance and locational standards set forth for the potential uses allowed by the request; and,
 - b. is consistent with the densities, intensities and general uses set forth in the Lee Plan; and,
 - c. is compatible with existing or planned uses in the surrounding area; and,
 - d. will not place an undue burden upon existing transportation or planned infrastructure facilities and will be served by streets with the capacity to carry traffic generated by the development; and,
 - e. will not adversely affect environmentally critical areas or natural resources.
3. The rezoning satisfies the following criteria:
 - a. the proposed use or mix of uses is appropriate at the subject location; and
 - b. the recommended conditions to the concept plan and other applicable regulations provide sufficient safeguard to the public interest; and
 - c. the recommended conditions are reasonably related to the impacts on the public interest created by or expected from the proposed development.
4. Urban services, as defined in the Lee Plan, are, or will be, available and adequate to serve the proposed land use.

MAR 18 2004

Ann 2004-00060

The foregoing resolution was adopted by the Lee County Board of Commissioners upon the motion of Commissioner Ray Judah, seconded by Commissioner Douglas St. Cerny and, upon being put to a vote, the result was as follows:

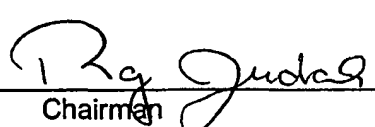
Robert P. Janes	Aye
Douglas R. St. Cerny	Aye
Ray Judah	Aye
Andrew W. Coy	Absent
John E. Albion	Aye

DULY PASSED AND ADOPTED this 21st day of October 2002.

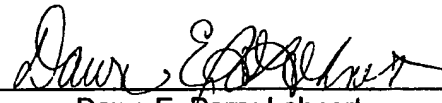
ATTEST:
CHARLIE GREEN, CLERK

BY: 
Deputy Clerk

BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

BY: 
Chairman

Approved as to form by:


Dawn E. Perry-Lehnert
County Attorney's Office



RECEIVED
MINUTES OFFICE

2002 DEC 19 AM 11:40

MAR 18 2004

CC-LEED-2004-00005

CASE NO: DRI2000-00015 & DCI2001-00005

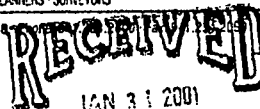
Z-02-009
Page 18 of 18

Ann 2004-00000

EXHIBIT "A"
LEGAL DESCRIPTION
Property located in Lee County, Florida
PAGE 1 OF 3



950 Encore Way - Naples, Florida 34110



PROJECT #1997079
1/17/01
REF. DWG. #A-994-2
PAGE 1 OF 23

PERMIT COUNTER

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

DCI 2001-00005

Naples - Fort Myers - Venice - Estero

ann 2004-00060

MAR 18 2004

HM PROJECT #1997079
1/17/01
REF. DWG. #A-994-2
PAGE 2 OF 23

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°58'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

DRI 2000-00015

NOT TO SCALE

MAR 18 2004

Ann 2004-00060

HM PROJECT #1997079
1/17/01
REF. DWG. #A-994-2
PAGE 3 OF 23

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

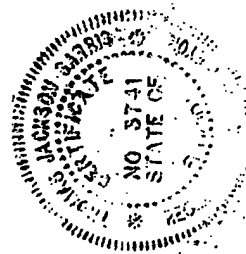
TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84. INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

HOLE, MONTES, INC.
CERTIFICATE OF AUTHORIZATION LB #1772

BY Thomas J. Garriss P.L.S. #3741
THOMAS J. GARRIS STATE OF FLORIDA



Applicant's Legal Checked
by Jim 1/13/02

W:\1997\1997079\LEGAL\DESA994-2.doc

DCI 2001-00005
DRI 2000-00015

MAR 18 2004

ADD 2004-00060

ZONING MAP

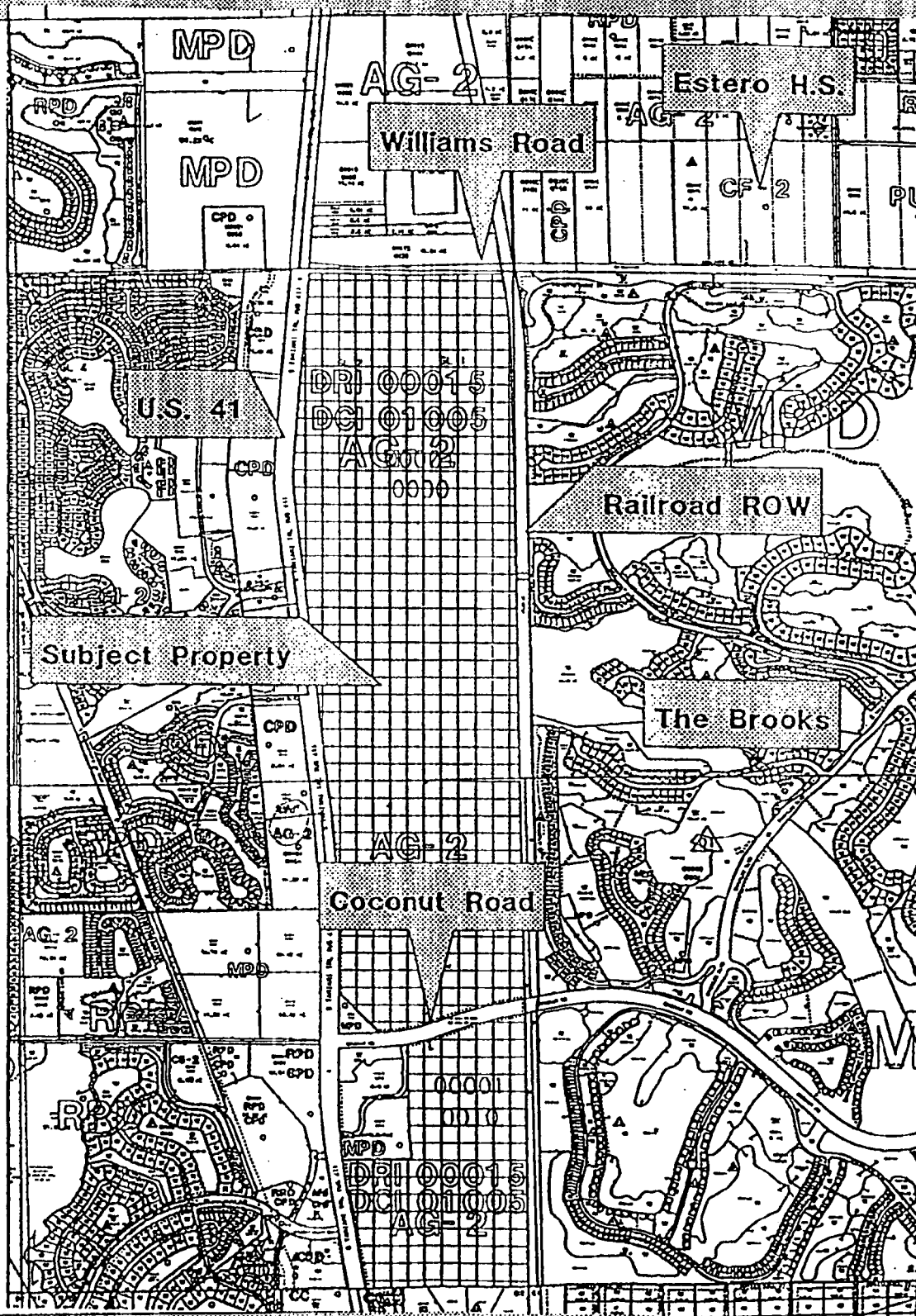


EXHIBIT B

MAR 18 2004

AND 2004-00060

COCONUT POINT S.F.W.M.D. JURISDICTIONAL LANDS & SURFACE WATERS		H.M. HOLE MONTES (HOLEMONTES - HOLEMONTES - HOLEMONTES)		6202-F Presidential Court Fort Myers, FL 33919 Phone: (941) 885-1200 Fax: (941) 885-1200	
9779BNET 97.79-B		9779BNET 97.79-B		9779BNET 97.79-B	

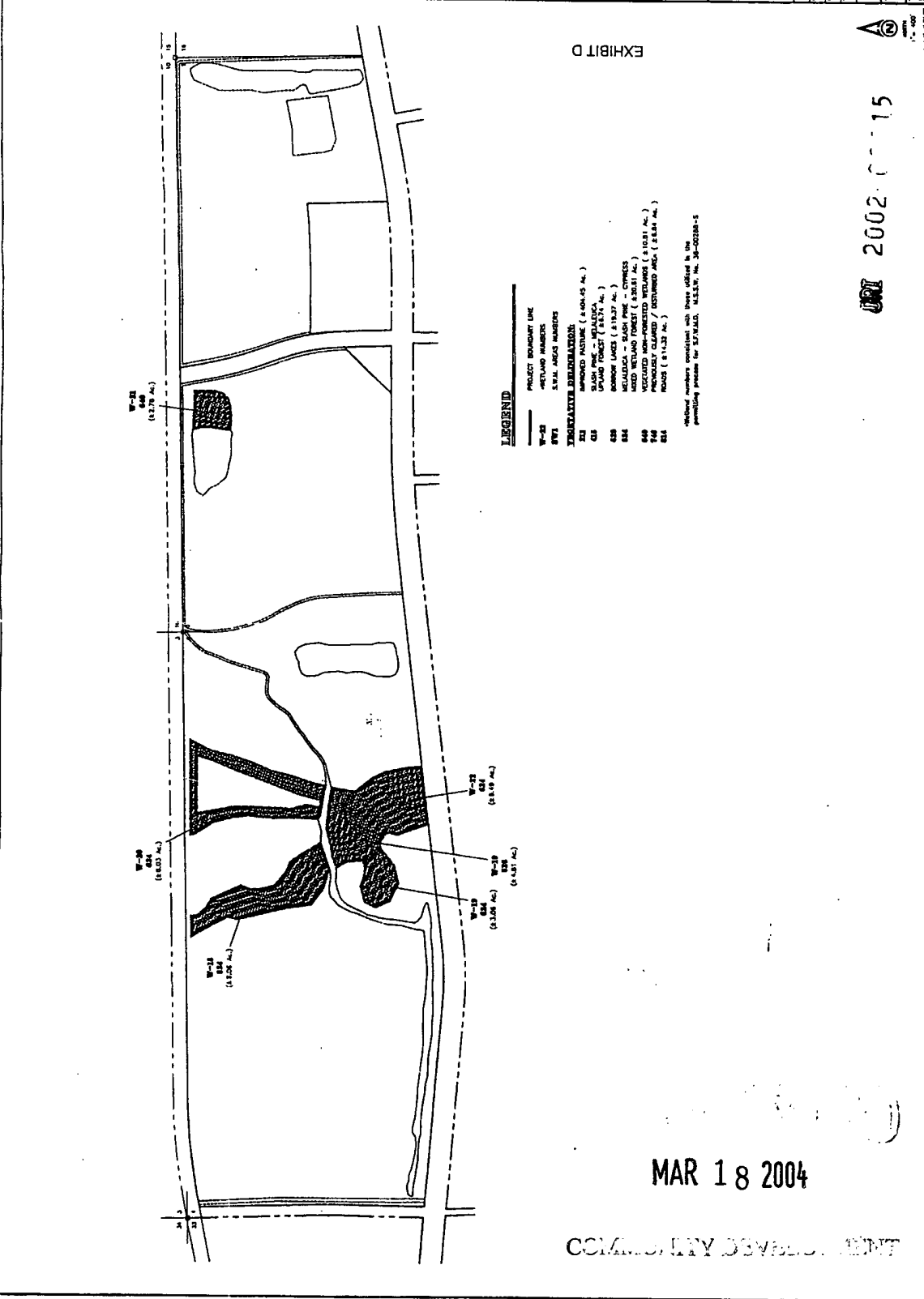


EXHIBIT D

URI 2002-0015

MAR 18 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

GIS Tracking Sheet

Case No.: ADD2004-00060

Intake Date: 3/18/04

Project Name: Coconut Point MPD

STRAP Number(s): 04-47-25-00-00001.0000
09-47-25-00-00001.0010

Planner Name: ~~Tyler Frazier~~ Ext. 8365
TYLER FRAZIER / Chip Block

file on planner's desk

LEGAL DESCRIPTION VERIFICATION and INITIAL GIS MAPPING

Date: 01 APRIL 04

INTAKE: N/A

LEGAL SUFFICIENT

☒ YES

☐ NO

Initials: *tyf*

If not, give brief explanation:

DESCRIPTION APPROVED (but I also requested the description to be sent to us on 8.5x11) - rec'd 8.5x11 ✓

MAP UPDATE following FINAL ACTION

Date: 13 JULY 04

☐ Hearing Examiner Decision

☐

Board of County Commissioner's Resolution

☒ Administrative Approval PD

☐

Blue Sheet

Zoning Notes: ADD2004-00060(B) 08 JULY 04, ADD A DEVIATION FROM LDC FOR EXCAVATION SETBACK; CONDS

ADD2004-00060(A) 27 MAY 04, ADD TWO DEVIATIONS FROM LDC FOR TEMP SIGNS; CONDS.

MAP UPDATED

☒ YES

☐ NO

Initials: *tyf*

If not, give brief explanation:

Note to MPD: 000760

:000761

ADD2004-00060(C) & ADD2004-00187(A), 11 JAN 06, COCONUT POINT MPD, CORRECTIONS TO THE ADMINISTRATIVE APPROVALS TAKEN IN ADD2004-00060, ADD2004-00060A, ADD2004-00060B AND ADD2004-00187.

PROPOSED
SCHEDULE OF PERMITTED USES

Permitted uses within Tract 1D

Accessory Uses and Structures permitted ancillary to a permitted principal use

Administrative offices

Banks and financial establishments, Group I (limited to 3 drive-thru teller lanes)

Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674

Business services, Groups I and II

Cultural facilities, excluding zoos

Day care center, adult, child

Emergency medical services station

Entrance gates and gatehouse, in compliance with LDC §34-1748

Essential services

Essential service facilities, Group I

Fences, walls

Fire station

Health care facility, Group III

Hobby, toy, and game shops

Household and office furnishings, Groups I, II, III (no outdoor display)

Insurance companies

Library

Medical office

Parks, Group II, limited to community park

Parking lot: Accessory

Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)

Place of worship

Police or sheriffs station

Post office

Real estate sales office

Religious facilities

Restaurants, Groups I, II, and III

Signs, in accordance with Chapter 30

Social Services, Groups I and II

Specialty retail shops, Groups I and II

Storage: Indoor only §34-3001 et seq.

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00069

PROPOSED
SCHEDULE OF PERMITTED USES

Permitted uses within Tract 2A and Tract 2B
(Regional Mall Parcel)

Accessory Uses and Structures permitted ancillary to a permitted principal use
Administrative offices
Animal clinic
ATM (automatic teller machine)
Auto parts store
Auto repair and service, Group I, if accessory to a department store
Banks and financial establishments, Group I
Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674
Business services, Groups I and II
Cleaning and maintenance services
Clothing stores, general
Convenience Food and Beverage Store (limited to one, however, the entire site is limited to a maximum of two)
Consumption on premises in compliance with LDC §34-1264 (limited to and in conjunction with a standard restaurant)
Cultural facilities, excluding zoos
Day care center, adult, child
Department Store
Drive thru facility for any permitted use
Dwelling Units: *(Tract 2A only)*
 *Single-family
 *Duplex
 Multiple-Family Building
 Townhouse
 *Two-family attached
 *Zero lot line
 *(may be approved administratively upon findings that the use is compatible with other uses in the tract and consistent with the Traffic Conversion Table)
Entrance gates and gatehouse, in compliance with LDC §34-1748
Essential services
Essential service facilities, Group I
Excavation, water retention (as shown on the Master Concept Plan)
Fences, walls
Food Store, Group I
Gift and souvenir shop
Hardware store
Hobby, toy, and game shops
Hotel/motel *(Tract 2A only)*
Household and office furnishings, Groups I, II, III (no outdoor display)
Insurance companies

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Laundry or dry cleaning Group I
Lawn and garden stores
Nonstore retailers, all groups
Paint glass and wallpaper store
Parking garage
Parking lot: Accessory
Personal services, Groups I, II, and III (excluding escort services, palm readers, fortunetellers, card readers, and tattoo parlors)
Pet services
Pet shop
Pharmacy
Police or sheriffs station
Real estate sales office
Recreation facilities, commercial, Groups I and IV (limited to indoor theater)
Rental or leasing establishments Groups I & II (excluding passenger car pick up and drop off)
Repair shops, Groups I and II, limited to clocks, jewelry, music, cameras, calculators, computers and optical devices
Restaurant, fast food (limited to one outside of food court/service area and the entire site is limited to a maximum of four outside of Regional Center food court/service area)
Restaurants, Groups I, II, III, and IV
Self service fuel pumps (limited to one in conjunction with a Convenience Food and Beverage Store, however entire site is limited to a maximum of two)
Signs, in accordance with Chapter 30
Specialty retail shops, Groups I, II, III and IV
Storage: Indoor only §34-3001 et seq.
Used merchandise stores, Group I
Variety store

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Permitted uses within Tract 2C, 2D, 2E and 2F
(Uses on Tract 2F are subject to Condition #20)

Accessory Uses and Structures permitted ancillary to a permitted principal use
Administrative offices
Animal clinic
ATM (automatic teller machine)
Auto parts store (Tracts 2C, 2D and 2E only)
Auto repair and service, Group I (Tracts 2C, 2D and 2E only)
Banks and financial establishments, Group I
Banks and financial establishments, Group II, limited to SIC Codes 604, 621, 672, 673 and 674
Business services, Group I and II
Cleaning and maintenance services
Clothing stores, general
Consumption on Premises, in compliance with LDC §34-1264 (limited to and in conjunction with a standard restaurant)
Convenience Food and Beverage Stores, limited to one (on either Tract 2C, 2D or 2E only) however, the entire site is limited to a maximum of two.
Cultural facilities (excluding zoos)
Day Care Center, adult or child
Department Store
Drive thru facility for any permitted use (subject to Condition #19)
Drugstores, limited to one and the entire site is limited to a maximum of two
Entrance gates and gatehouse, in compliance with LDC §34-1748
Essential services
Essential service facilities, Group I
Excavation, water retention (as shown on the Master Concept Plan)
Fences, walls
Fire Station (limited to Tract 2C only)
Food Stores, Groups I and II (prohibited on Tract 2F except for specialty stores such as health food store, vitamin store or similar type stores)
Gift and souvenir shop
Hardware store
Health care facility, Group III
Hobby, toy, and game shops
Hotel/motel (Tract 2C only)
Household and office furnishings, Groups I, II, III (no outdoor display)
Insurance companies
Laundromat (Tract 2C only)
Laundry or dry cleaning Group I
Lawn and garden store
Medical office
Non-store retailers, all groups
Paint glass and wallpaper store
Parking lot: Accessory only

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Personal services, Groups I, II, and III (Tract 2C only, excluding escort services,
palm readers, fortunetellers, card readers, and tattoo parlors)

Pet services

Pet shop

Pharmacy

Printing and publishing (Tract 2C only)

Real estate sales office

Recreational facilities, commercial, Groups I and IV (limited to indoor theater)

Rental and leasing establishments, Groups I and II (excluding passenger car
pickup and drop off)

Repair shops, Groups I, II and III

Research and development laboratories, Groups II and IV

Restaurants, Fast-food, limited to one (total), however, the entire site is limited to
a maximum of four outside of the Regional Center food court/service area

Restaurants, Groups I, II, III and IV

Signs, in accordance with Chapter 30

Social Services, Groups I and II (Tract 2C only)

Specialty retail shops, Groups I, II, III and IV

Storage: Indoor only §34-3001 et seq.

Used merchandise stores, Group I

Variety store

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

PROPOSED
DEVELOPMENT REGULATIONS

Tract 1A, 1B, 1C and 1D

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

Tracts 1E, 1F, 3D and 3B
(formerly included Tract 2B-2)

Minimum Lot Size: Townhouse

Lot Width Per Unit	25 feet
Lot Depth Per Unit	80 feet
Lot Area Per Unit	2,000 square feet
Maximum Building Height	35 feet / 2 stories
Maximum Lot Coverage	50 percent

Minimum Setbacks:

Front (street, private)	20 feet
Front (street, public)	25 feet
Side	10 feet
Side (interior)	0 feet
Rear	15 feet (5 feet for an accessory structure)
Waterbody	25 feet (10 feet for an accessory structure)

Minimum Lot Size: Multiple Family Building

Lot Width	100 feet
Lot Depth	100 feet

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Lot Area 10,000 square feet
Maximum Lot Coverage 40 percent

Minimum Setbacks

Front (street) 25 feet
Side 10 feet
Rear 20 feet (5 feet for an accessory structure)
Water body 25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

Tracts 2A, 2B, 2C, 2D, 2E, 3A and 3C
(formerly included Tract 2B-1)

Lot Width 100 feet
Lot Depth 100 feet
Lot Area 20,000 square feet
Maximum Lot Coverage 40 percent

Minimum Setbacks

Front (street) 25 feet
Side 10 feet
Rear 25 feet (5 feet for an accessory structure)
Water body 25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height for Tract 2B and 3C: 45 feet / 3 stories

Maximum Building Height for: Tract 2A and Tract 3A: 45 feet / 3 stories;
above 45 feet / 3 stories, not to exceed 60 feet / 5 stories *

*subject to the following setback from Sandy Lane Extension:

Tract 2A 300 feet
Tract 3A 100 feet

RECEIVED
MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

RESIDENTIAL USES: (Tract 2A only)

Minimum Lot Size: Townhouse

Lot Width Per Unit	25 feet
Lot Depth Per Unit	80 feet
Lot Area Per Unit	2,000 square feet
Maximum Building Height	35 feet / 2 stories
Maximum Lot Coverage	50 percent

Minimum Setbacks:

Front (street, private)	20 feet
Front (street, public)	25 feet
Side	10 feet
Side (interior)	0 feet
Rear	15 feet (5 feet for an accessory structure)
Waterbody	25 feet (10 feet for an accessory structure)

Minimum Lot Size: Multiple Family Building

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	10,000 square feet
Maximum Lot Coverage	40 percent

RECEIVED

MAY 24 2004

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	20 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

COMMUNITY DEVELOPMENT

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

ADD 2004-00060

TRACT 2F: (formerly Tract 2E)

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 40 feet /2 stories

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Lot Area 10,000 square feet
Maximum Lot Coverage 40 percent

Minimum Setbacks

Front (street) 25 feet
Side 10 feet
Rear 20 feet (5 feet for an accessory structure)
Water body 25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

Tracts 2A, 2B, 2C, 2D, 2E, 3A and 3C
(formerly included Tract 2B-1)

Lot Width 100 feet
Lot Depth 100 feet
Lot Area 20,000 square feet
Maximum Lot Coverage 40 percent

Minimum Setbacks

Front (street) 25 feet
Side 10 feet
Rear 25 feet (5 feet for an accessory structure)
Water body 25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height for Tract 2B and 3C:

45 feet / 3 stories

Maximum Building Height for: Tract 2A and Tract 3A:

45 feet / 3 stories;
above 45 feet / 3 stories, not to exceed 60 feet / 5 stories *

*subject to the following setback from Sandy Lane Extension:

Tract 2A 300 feet
Tract 3A 100 feet

Ann 2004-00060

RESIDENTIAL USES: (Tract 2A only)

Minimum Lot Size: Townhouse

Lot Width Per Unit	25 feet
Lot Depth Per Unit	80 feet
Lot Area Per Unit	2,000 square feet
Maximum Building Height	35 feet / 2 stories
Maximum Lot Coverage	50 percent

Minimum Setbacks:

Front (street, private)	20 feet
Front (street, public)	25 feet
Side	10 feet
Side (interior)	0 feet
Rear	15 feet (5 feet for an accessory structure)
Waterbody	25 feet (10 feet for an accessory structure)

Minimum Lot Size: Multiple Family Building

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	10,000 square feet
Maximum Lot Coverage	40 percent

SUPERSEDED

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	20 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 45 feet / 3 stories

MAK 18 2004

Ann 2004-00060

TRACT 2F: (formerly Tract 2E)

Lot Width	100 feet
Lot Depth	100 feet
Lot Area	20,000 square feet
Maximum Lot Coverage	40 percent

Minimum Setbacks

Front (street)	25 feet
Side	10 feet
Rear	25 feet (5 feet for an accessory structure)
Water body	25 feet (20 feet for an accessory structure)

Minimum Building Separation: one-half the sum of the building heights but not less than 20 feet

Maximum Building Height: 40 feet /2 stories

MAR 18 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Coconut Point

ESTERO, FLORIDA

DESIGN REVIEW GUIDELINES







Coconut Point

ESTERO, FLORIDA

A MIXED USE DEVELOPMENT BY
SIMON PROPERTY GROUP, INC.
OAKBROOK PROPERTIES, INC.



COMMUNITY DEVELOPMENT

PREPARED BY THE JRDJ PARTNERSHIP
WITH CONTRIBUTIONS BY
BEAME ARCHITECTURAL PARTNERSHIP

MAY 20, 2004

DESIGN REVIEW GUIDELINES
INTRODUCTION
ARCHITECTURE
SITE PLANNING AND LANDSCAPE
SIGNAGE
LIGHTING

MAY 20, 2004

ADD 2004-00060

TABLE OF CONTENTS

TABLE OF CONTENTS

PART 1
OVERVIEW

- 1 I. INTRODUCTION
- 2 II. GUIDELINE OBJECTIVES
- 3 III. DISTRICT CHARACTERISTICS
 - 1. District 1 - North Village
 - 2. District 2 - Town Center
 - 3. District 3 - South Village
- 6 IV. HOW TO USE THE DESIGN GUIDELINES

PART 2
ARCHITECTURE

- 7 I. INTRODUCTION - ARCHITECTURE
- 8 II. GENERAL ARCHITECTURAL CHARACTERISTICS
 - 8 1. Architectural Language
 - 9 2. Architectural Components
 - Arcades
 - Awnings
 - Balconies
 - Ceramic Tile
 - Chimneys
 - Color Palette
 - Columns

MAY 20, 2004

RECEIVED
MAY 20 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

Cornices and Wall Caps	
Eave Types	
Entryways	
Facades and Exterior Walls	
Fountains	
Lighting at Building Facades	
Massing	
Medallions	
Moldings	
Ornament	
Portals and Pass-Throughs	
Railings	
Roofs - Types and Massing	
Roofs - Clay Tile	
Storefront/ Window Frames	
Stucco Texture	
Towers	
Trellis	
Wall Base	
Window Types	
III. ARCHITECTURE - COMMERCIAL RETAIL	33
1. Characteristics of Commercial Retail Buildings	33
A. Large Format Retail	
B. Secondary and Service Retail	
C. Commercial Retail Façade Articulation by type	
a. Façade Type "A"	
b. Façade Type "B"	
c. Façade Type "C"	
2. Characteristics of Office/Institutional/Hospitality Buildings	38
IV. ARCHITECTURE - RESIDENTIAL	39
1. Characteristics of residential architecture	39
2. Characteristics specific to mixed-use residential architecture	44

RECEIVED
MAY 20 2004
COMMUNITY DEVELOPMENT

ADD 2004-00060

PART 3	
SITE PLANNING AND LANDSCAPE DESIGN	
45	I. INTRODUCTION - SITE PLANNING AND LANDSCAPE DESIGN
46	II. SITE PLANNING
46	1. General Characteristics of Site Planning at Coconut Point
	A. Pedestrian Circulation, Sidewalks, and Paving
	B. Vehicular Circulation
	C. Site Furnishings and Amenities
	D. Parking
	E. Screening Devices
55	2. Characteristics of Site Planning specific to Commercial Retail Zones
56	3. Characteristics of Site Planning specific to Residential Zones
58	III. LANDSCAPE DESIGN
58	1. General Characteristics of Landscape Design at Coconut Point
	A. Planting Points
	B. General Landscape Care
	C. Irrigation
	D. Landscaped Entries
	E. Plant Material List
73	2. Characteristics of Landscape Design specific to Commercial Retail Zones
74	3. Characteristics of Landscape Design specific to Residential Zones

RECEIVED
MAY 20 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

PART 4
SIGNAGE

75	I. INTRODUCTION - SIGNAGE
76	II. GENERAL CHARACTERISTICS OF SIGNAGE AT COCONUT POINT
76	1. Project Identity Signage
	A. Project Identity Tower
	B. Large Scale Monument Signs
	C. Medium Scale Monument Signs
	D. Entry Sign Walls
	E. Project Identity Markers
79	2. Way Finding Signage
	1. Pedestrian signs
	2. Vehicle signs
	3. Bicycle signs
80	III. Characteristics of Signage specific to Commercial Retail Zones
80	1. Commercial Building Sign Types and Criteria
	A. Wall Mounted and Fascia signs
	B. Awning Signs
	C. Projecting Signs
	D. Banners
82	2. Construction of Commercial Building Sign Types and Criteria
	IV. CHARACTERISTICS OF SIGNAGE SPECIFIC TO RESIDENTIAL ZONES

RECEIVED
MAY 20 2004
COMMUNITY DEVELOPMENT

PART 5
LIGHTING

83	I. INTRODUCTION - LIGHTING
84	II. GENERAL CHARACTERISTICS OF LIGHTING AT COCONUT POINT
84	1. Site Lighting
	A. Parking Lots
	B. Pathways and Pedestrian Lighting
85	2. Landscape Lighting
86	III. CHARACTERISTICS OF LIGHTING SPECIFIC TO COMMERCIAL RETAIL ZONES
87	IV. CHARACTERISTICS OF LIGHTING SPECIFIC TO RESIDENTIAL ZONES

RECEIVED
MAY 20 2004
COMMUNITY DEVELOPMENT

ADD 2004-00060

PART I

I. INTRODUCTION

The community of Coconut Point introduces a new lifestyle to Southwest Florida, creating a mixed-use environment for living, working and playing. The development integrates a range of housing types, shopping, office, hotels and recreational facilities into a unified whole, with the sunny ambience that draws millions to Florida every year.

Located in Southwest Florida along U.S. 41 between Williams Road on the north and the Bonita Springs incorporation limit on the south, Coconut Point is well situated in a growing community that is establishing a tradition of quality development and exceptional design. Coconut Point is approximately midway between Fort Myers and Naples enabling it to cater to the retail, cultural and service needs of South Lee and North Collier Counties.

The community of Coconut Point is a hub of activity and a unique regional destination. It features vibrant neighborhoods with attractive streets and sidewalks complemented by varied buildings and courtyards. Providing for a diversity of uses, Coconut Point resonates to the elegant styles of the Mediterranean, embodying a rich architectural heritage in a lush tropical landscape. Supporting the distinctive design and exceptional environmental characteristics of Coconut Point are a comprehensive set of design guidelines.

These guidelines have been created primarily to assist owners, tenants and developers at Coconut Point in working together toward the common objectives of the development. The adjacent communities of Estero and Bonita Springs have already done much to establish a regional identity and high quality of life reflected in their built environments. The Coconut Point Design Guidelines recognize these qualities and strive to further expand on the accomplishments of these communities.

The Design Guidelines aim to establish the character of the overall development and encourage creative solutions that support the project objectives and design intent. While design solutions will always adhere to local building and planning authority requirements, the guidelines are not intended to prescribe any one particular design condition or application, nor are they intended to imply the creation of a redundant, bland or unimaginative environment. Functioning as a framework for owners and tenants to work within, they will enhance the beauty, harmony and livability of Coconut Point.

An important step in implementing the Coconut Point Design Guidelines is the submittal and review process. During this phase, the Design Review Authority (DRA) will review all proposed designs. This process is covered in a separate document.

MAY 20, 2004

RECEIVED

MAY 20 2004

COMMUNITY DEVELOPMENT

ADD 2004-00060

II. GUIDELINE OBJECTIVES

- Create a unifying style for Coconut Point

The character and style of Coconut Point will be based on the Mediterranean Revival vernacular of historic Florida towns. This is a unique interpretation of architectural styles, blending the elegant and splendid European Mediterranean traditions of Italy, Spain and France with references to the closer regions of Mexico and the Caribbean. The thoughtful integration of these visually rich traditions results in a distinctive contemporary identity for Coconut Point.

- Establish a unique sense of character and place through a creative and harmonious use of architecture, landscape, lighting, signage and amenities

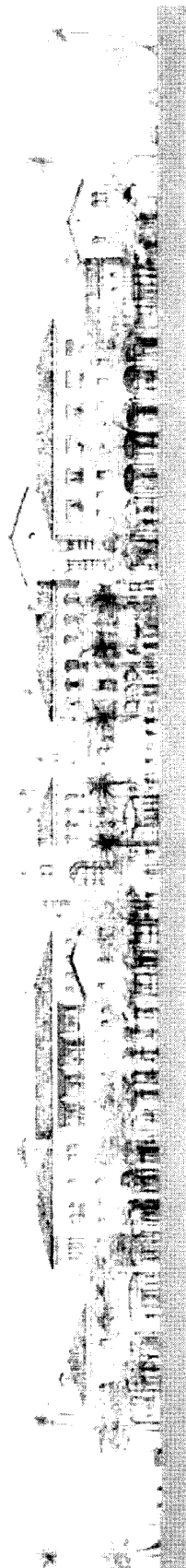
Coconut Point places a heavy emphasis on creating quality communal public spaces with unique focal points and distinctive landscaping. Architecture at Coconut Point employs appropriate building scale, massing and articulation. Attention to detail is encouraged at all areas, and should be further developed at the pedestrian level and at areas of high visibility. Using this same principle, the project augments the natural environment through landscape and site amenities creating pleasing and comfortable outdoor spaces.

- Uphold the sense of quality and commitment established by the growing communities of Estero and Bonita Springs

Coconut Point contributes to the regional identity established by its neighboring communities. By supporting the aesthetic direction and values of the adjacent communities, Coconut Point creates a high quality of life for visitors and residents alike.

- Incorporate the best current design and planning concepts.

Coconut Point enhances the physical environment through high quality design practices. Sound planning principles create fluid and pleasing pedestrian and vehicular circulation patterns. Careful building siting and orientation is further complemented by a studied application of landscaped zones, including charming squares and a park. The sensitive integration of mixed-use and other residential components allows residents to enjoy the benefits of a vibrant community in subdued courtyard settings.

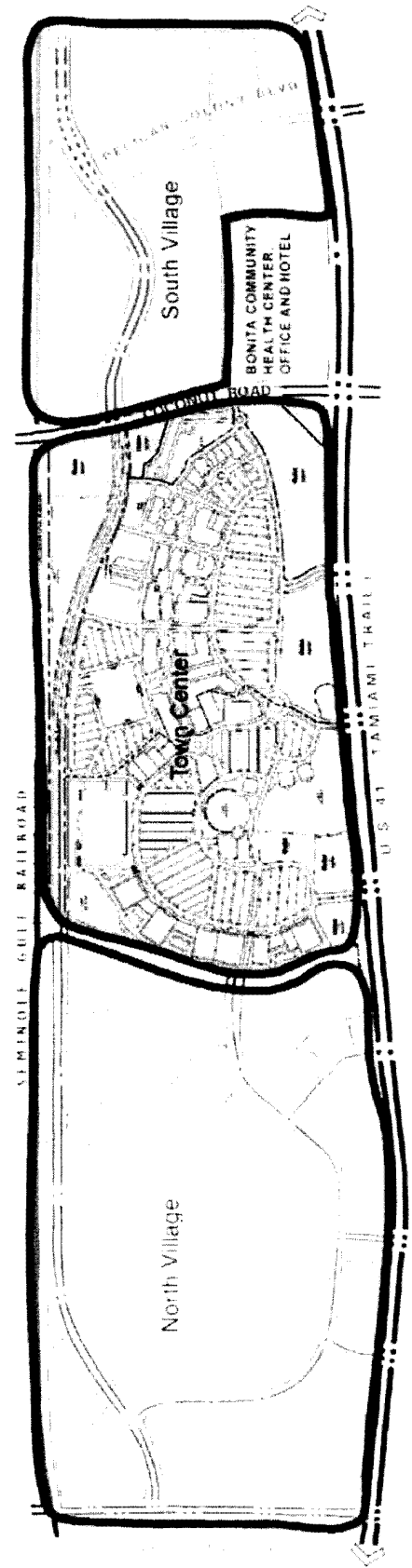


III. DISTRICT CHARACTERISTICS

Coconut Point is made up of three districts: the North Village, the Town Center, and the South Village. Each of these districts maintains a distinct neighborhood character while at the same time contributing thoroughly to a unifying overall identity for Coconut Point. The differences between the districts are characterized primarily by differences in use.

The North Village, with its lower density single and multi-family housing, together with an array of open space, commercial support and recreational activities, projects a decidedly suburban image. The Town Center is a rich mix of commercial activity: shops and restaurants, entertainment venues and public courtyards. This is a gathering place for the community, lively and active because of the urban housing, offices and hotels that are part of the mix. South Village lies directly adjacent to the Town Center and contains a concentration of medical offices, the Bonita Community Health Center, congregate care, convenience shopping and residential neighborhoods. The residential component of the South Village is comprised of moderate density, attached unit housing types.

While the differences in use between the districts gain subtle expression in a variety of factors such as the massing and architecture of the distinct building types and unique site and landscape requirements, the districts remain governed by the design principles and standards outlined in this manual. Further descriptions of the three districts, intended as a means to provide design direction and outline key district features and neighborhood character, are outlined below.

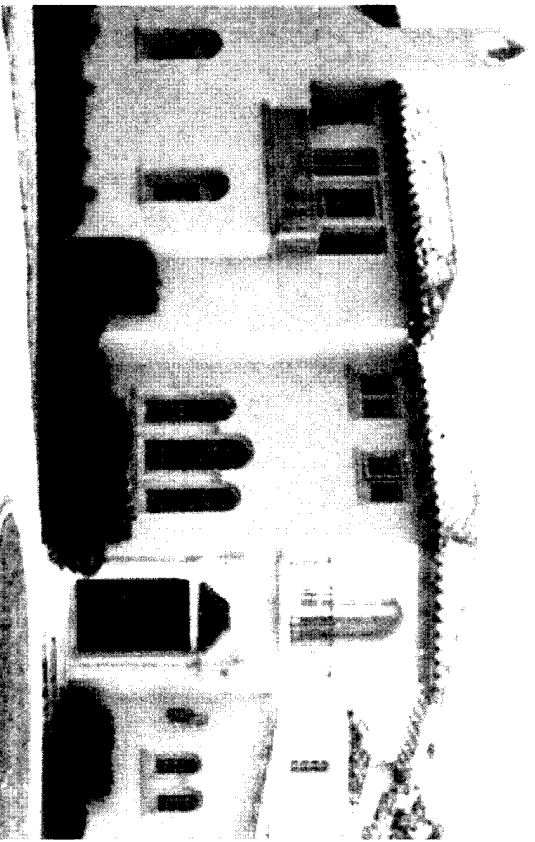


ADD 2004-00060

1. District 1 - North Village

An elegant Mediterranean village located north of the Town Center, North Village Residential includes residential and retail development. The multi-family homes and villas are designed to take advantage of the wetlands that border the North Village and a series of lakes that will connect the different neighborhoods. The neighborhood features intimate open spaces and uses pedestrian scale elements. The North Village also includes shopping, commercial offices, and institutional uses catering to the day-to-day needs of the residents of Coconut Point and the surrounding communities. The architecture of all buildings shall be consistent with the Mediterranean Revival style, incorporating a common palette of soft colors and materials such as tile, stucco, ornamental stone and iron.

A series of bicycle paths and pedestrian sidewalks link the entire Coconut Point community making it convenient for the residents and visitors to travel between villages and the Town Center of Coconut Point.



2. District 2 - Town Center

The Coconut Point Town Center site located at the intersection of US 41 (Tamiami Trail) and Coconut Road is proposed to be a mixture of retail anchor stores, smaller retail stores, entertainment and dining venues located along a main street and within a community retail center. In addition, residential, office uses and a hotel will be located above the retail along the main street. Out parcel development in this district includes financial institutions, home furnishing stores and casual dining restaurants.

Visitors approach the Town Center district by way of a number of connected routes within the community and via a distinctively landscaped boulevard road from U.S. 41. Designed to provide easy access for vehicles, cyclists and pedestrians, the transportation system layout connects the Town Center with the surrounding neighborhoods and the community at large.

Two distinct zones characterize the Town Center. At the north portion of the Town Center lies vibrant community retail with nationally recognized retailers. The focal point of this zone is a large scenic lake that creates a lakefront dining district with notable restaurants. The community retail provides the convenience of shopping with the excitement and pleasure of vibrant night and day entertainment and community gathering at water's edge.



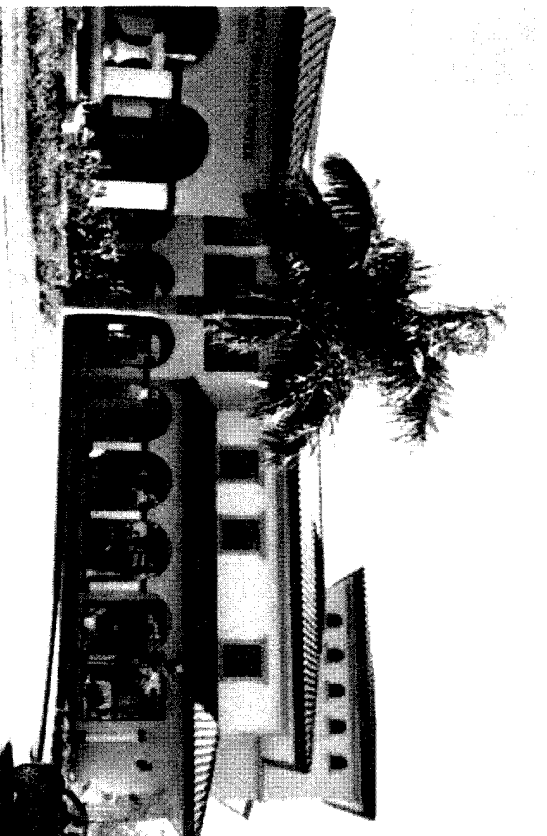
ADD 2004-00060

At the southern portion of the Town Center lies a charming main street. Portals, archways, plazas, covered walkways and arcades link the intimate pedestrian and vehicular streets found here. As visitors meander through the zone with its generous, shady sidewalks and avenues adorned with streetlights reminiscent of Mediterranean Revival architecture, they discover discreet courtyards, colorful fountains, bustling cafes, and lively shopfronts.

In the tradition and splendor of historic Mediterranean public spaces and villages, the Town Center will be the premier retail core of this community and surrounding neighborhoods. It is the setting for community shopping, entertainment and leisurely gathering.

3. District 3 - South Village

Located south of the Town Center and Coconut Road, the mixed-use South Village complements the surrounding community it supports. The South Village includes primarily medical office and adult congregate living apartments. The neighborhood has been planned to provide synergy with the existing Bonita Springs Community Health Center located at U.S. 41 and Coconut Road. Consistent with the design of all of Coconut point, the buildings shall be of a Mediterranean Revival style. Buildings are generally set back from the roadway, tucked into the landscape and accessed through landscaped parking areas. Signage, common landscaping and lighting are consistent with the Coconut Point design criteria. Cohesive design elements will ensure the quality and beauty of the Coconut Point South Village.



5 PART 1 - EXTERIOR VIEW

ADD 2004-00060



IV. HOW TO USE THE DESIGN GUIDELINES

Follow the steps below in the order noted to effectively apply the guidelines outlined in this manual:

1. Review and follow the guidelines in the General Characteristics section for each development aspect (i.e. architecture, landscape, lighting, signage.) This umbrella category establishes the general guidelines that apply to all development and building types at Coconut Point.
2. Determine the building type of your project (i.e. commercial-retail, residential) and check that it conforms to any specific additional guidelines established for that category.
3. Check which district your project is located in and review and apply any district specific guidelines for your project.
4. Follow the design review and submittal procedures.

6

PART I: INTRODUCTION

ADD 2004-00060

COCONUT POINT
DESIGN REVIEW
10/1/04



PART 2
ARCHITECTURE

I. INTRODUCTION

The architecture of Coconut Point serves as the backdrop, the setting within which the everyday activities of the community unfold. Coconut Point's buildings and environment affect the inhabitants' perceptions, outlook, and daily lives through factors such as spatial quality, visual harmony, stylistic references, and comfort and convenience.

Specific building elements and dimensions define the architectural spatial qualities of Coconut Point. Building heights and massing are maintained at an appropriate, often intimate, scale and avoid dwarfing their surroundings. Changes in massing achieved with towers announce tenant location and punctuate the visual landscape. Facade articulation creates light and shadow transitions, visual interest, and further breaks down building scale into the human realm. Courtyards create intimate areas for repose and reflection. Arcades minimize building scale, provide shade and may announce building entries. A combination of hip type, low angled tile roofs and flat parapet rooflines provide visual variety and opportunities for change in material and texture. The internal streets and walkways between buildings encourage strolling and discovery.

Visual harmony at Coconut Point is achieved through thoughtful application of combinations of surface treatments. The warm, earth tone color palette spreads a soothing feeling among the buildings. Changes in color animate facades and groups of buildings. Variety in texture at building or facade transitions differentiates buildings and creates shade and shadow. Ornament activates building facades and reinforces the identity of the community. Accent materials such as clay tile, ceramic tile, stone and cast stone further enliven the environment.

The style and character of an elegant Floridian town with a unique Mediterranean Revival identity is conveyed through Coconut Point's facade and building design, building siting, and ornament and surface treatments. Careful study and integration of this style, characterized by its low pitched

and random clay tile roofs, shady arcades and colonnades, decorative towers, and rational, articulated facades punctuated by arched windows and charming balconies is at the core of Coconut Point's elegant regional identity.

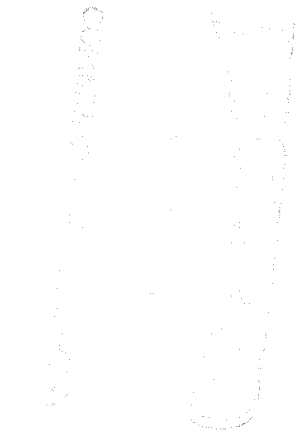
Comfort and convenience round out the architecture of Coconut Point and distinguish it from ordinary commercial retail developments. Awnings, arcades, beautiful greenery and other devices shade the pedestrian; ease of circulation results from well planned building siting and logical building entry locations; and intimate courtyards with site amenities provide places to rest and gather.

8 II. GENERAL ARCHITECTURAL CHARACTERISTICS

1. Architectural Language

PAGE 17 - ARCHITECTURAL

A unique language of Architectural components has been established for Coconut Point. Components have been designed and chosen to support the unique Mediterranean Revival style of the community and the design guidelines objectives overall. Used in combination, they provide a thorough and solid basis for the architecture of all the building types at Coconut Point. While there is no minimum number of required components per building facade, designers are encouraged to creatively employ the examples shown on the following pages to enhance the visual flavor and cohesiveness of Coconut Point. Designers are also encouraged to create variations on the particular components in terms of motif, shape, and groupings of forms (such as window lites and frames), while bearing in mind that designs should always reflect a Mediterranean Revival style. Some architectural components have required features and applications as noted on the following pages.

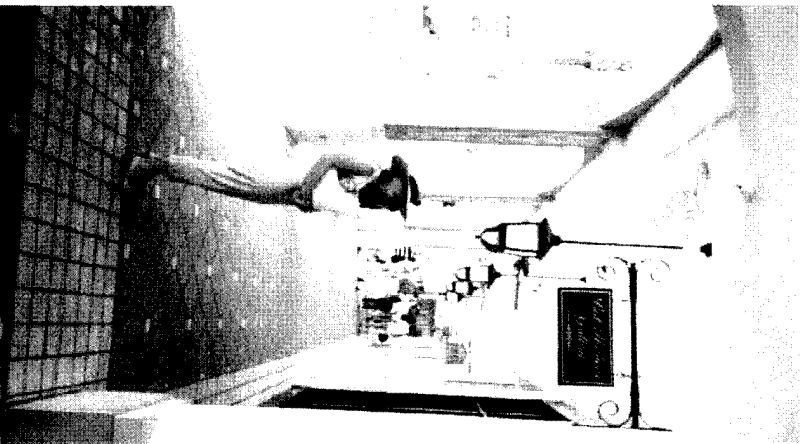
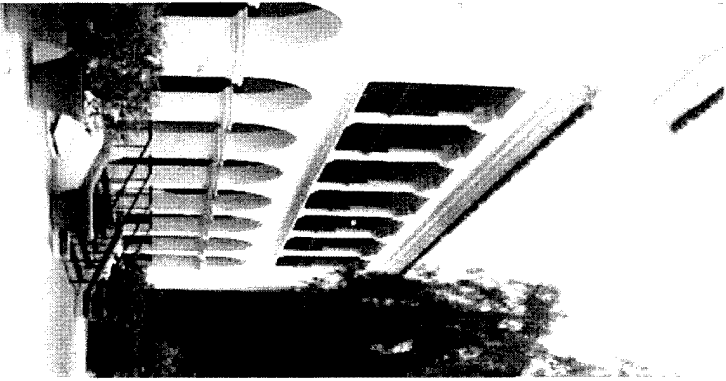


ADD 2004-00060

2. Architectural Components

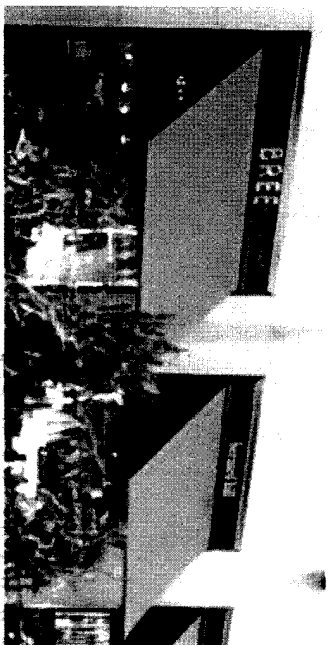
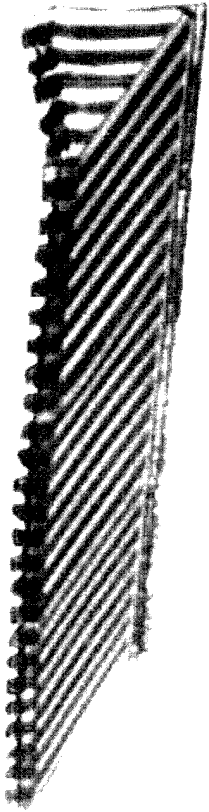
Arcades

Arcades are covered passages in front of or at the side of a building façade. Providing protection from the elements, they also function to break down building massing to a more pedestrian scale through employment of an intermediate roofline. Frequently, they lead to building entrances or are, in fact, part of a storefront or lobby entry condition. Openings in arcades can be either arched or rectangular and establish a rhythm along the building façade.

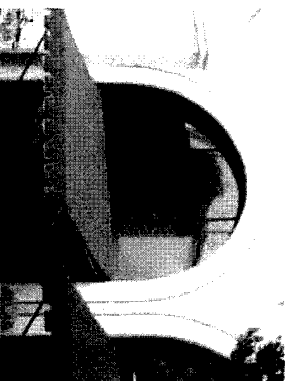
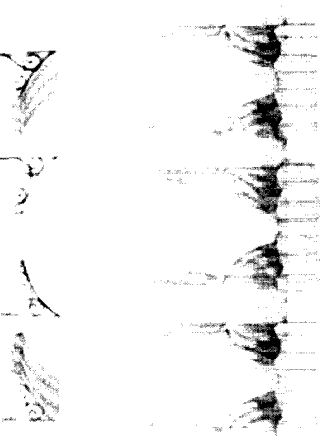
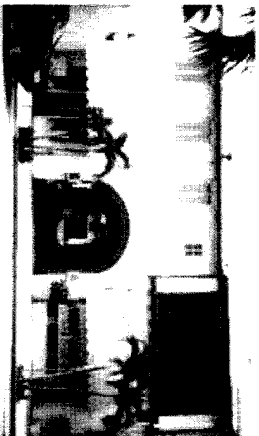
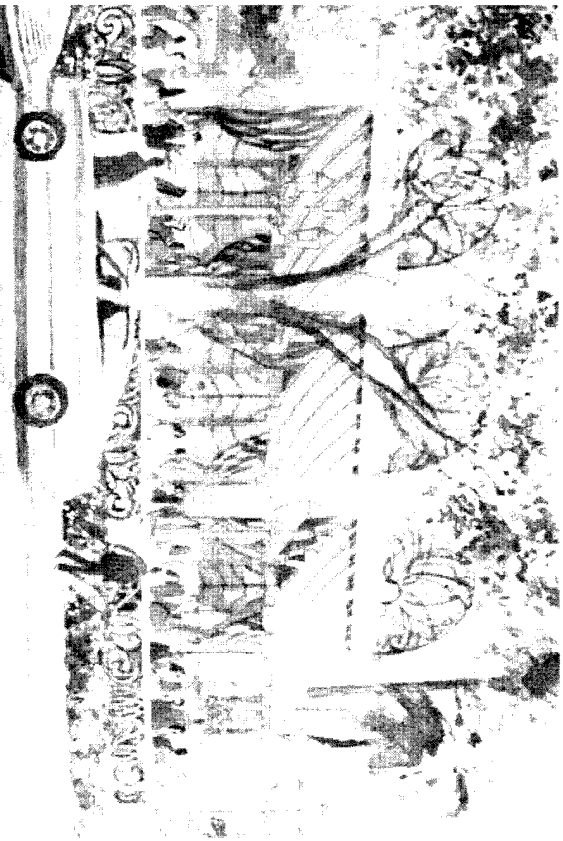


Awnings

Awnings provide sun protection and add color and texture to the building façade. Awning shapes may be curved or rectangular depending on the corresponding window shape. Types of awnings include open-sided, spherical, rectangular, European roll-up, operable, fixed, wood framed, and marquee style. Canvas with metal frame and wood lattice are acceptable materials for awnings at Coconut Point. Materials such as panaflex, plastic, or other vinyls are not permitted.

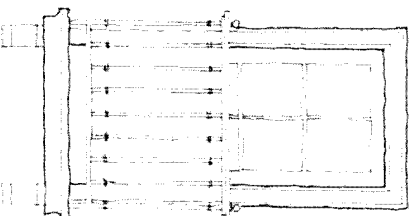
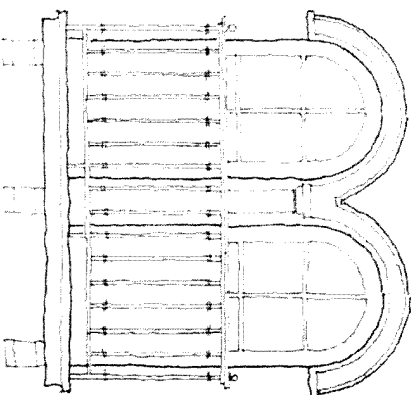
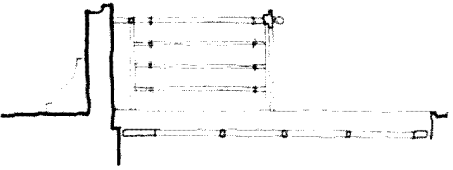
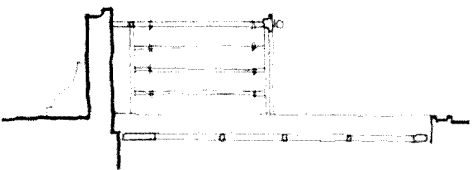
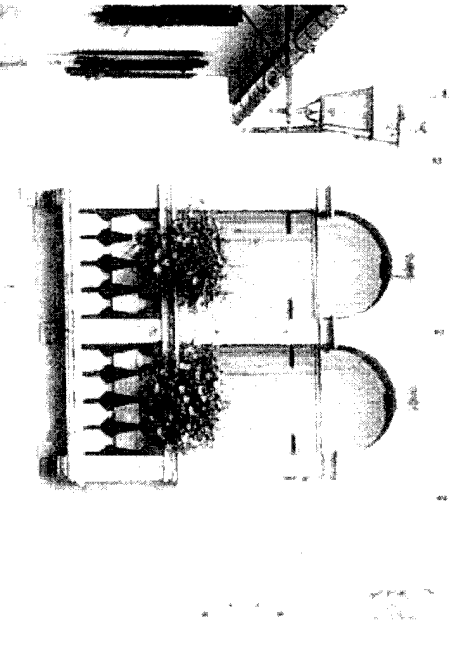
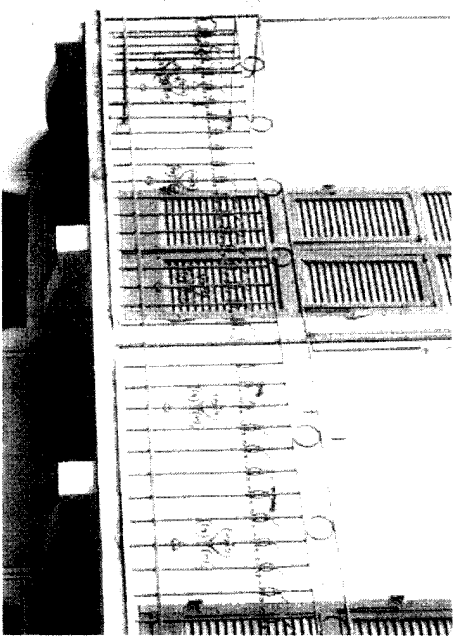
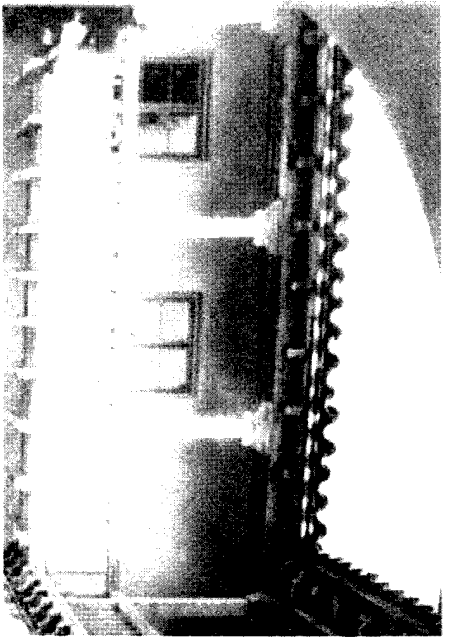


Coconut Point, Coconut Point, Coconut Point



Balconies

Balconies function as compositional focal points. They act as centering elements of a façade. Balcony rails of wrought iron or wood add ornamental relief and visual interest to the composition. Balconies establish a relationship between the building upper levels and the street level and provide opportunity for planting.



RECEIVED

MAY 20 2004

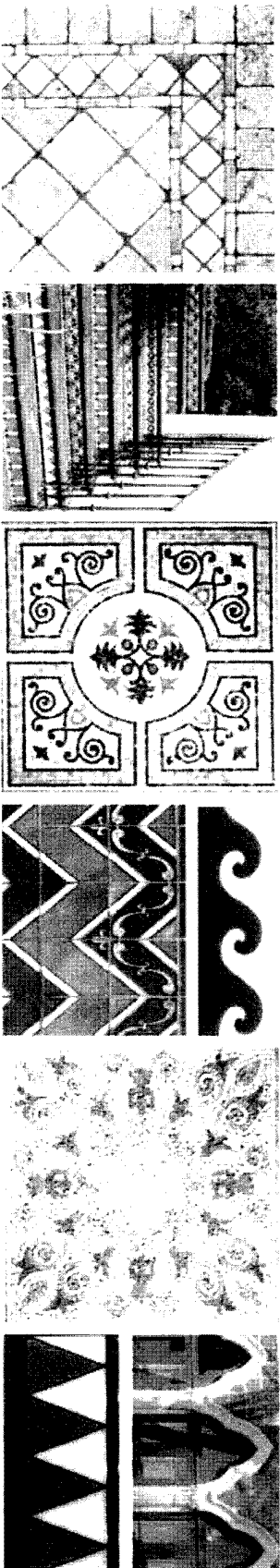
MAY 20, 2004

RECEIVED

ADD 2004-00060

Ceramic Tile

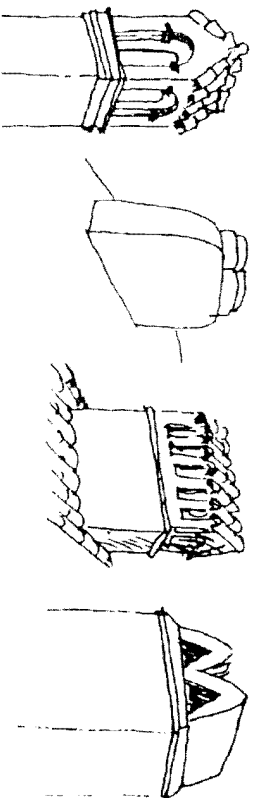
Ceramic tile adds color, pattern, and texture to the building environment. Because of its small scale in relation to many building materials, it should be located with visibility in mind. As an accent in surface paving, at stair risers, storefront window curbs, and wall accents as frames, bands, and small murals are all appropriate applications.



12

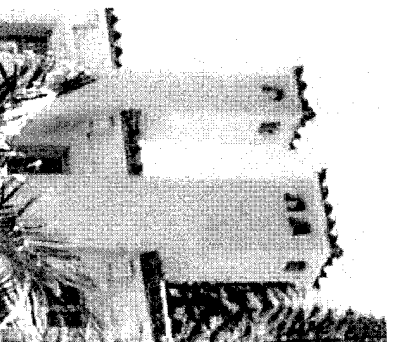
Chimneys

The proper placement of chimneys adds to the architectural scale and intimacy of the buildings at Coconut Point. Clay tile, stucco, and cast stone are appropriate materials for these elements that add punctuation and familiarity to the buildings.



Color Palette

Facade colors at Coconut Point shall be low reflectance and subtle, neutral, warm white or cream color and earth tone colors. Building trim and accent areas may feature lighter or darker saturated colors within an earth tone palette. The use of high intensity colors, metallic colors, black or fluorescent colors is prohibited.

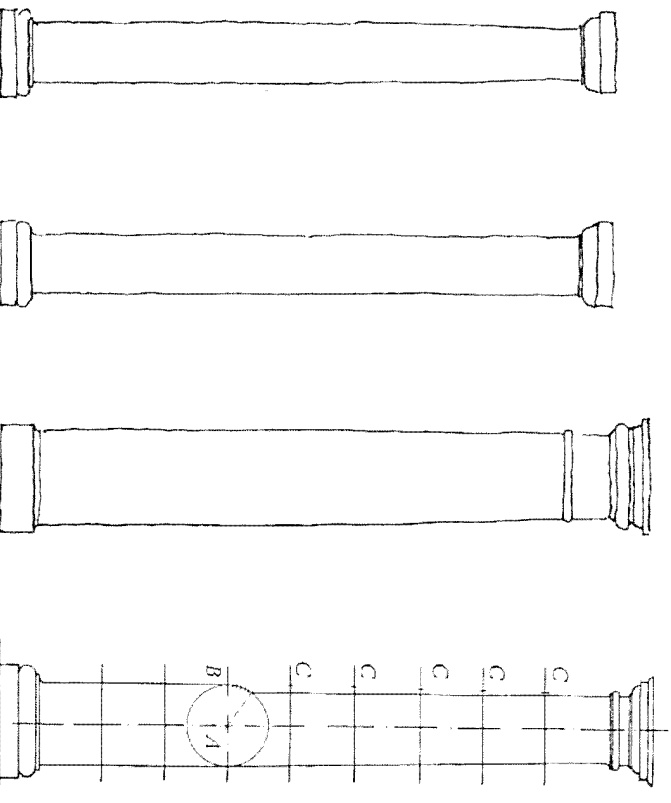
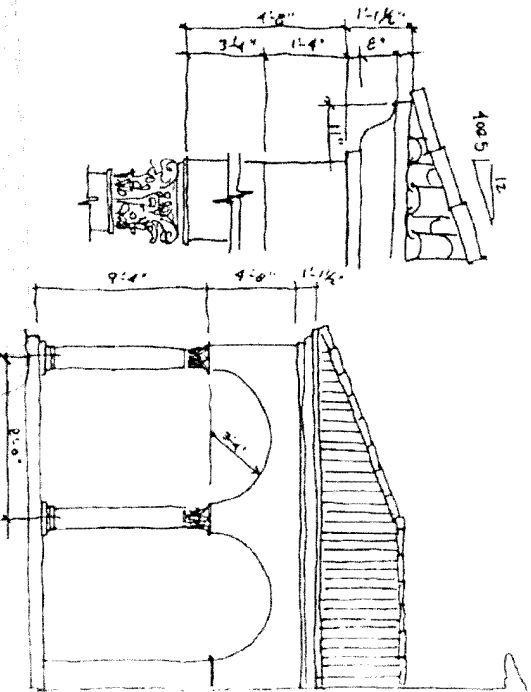
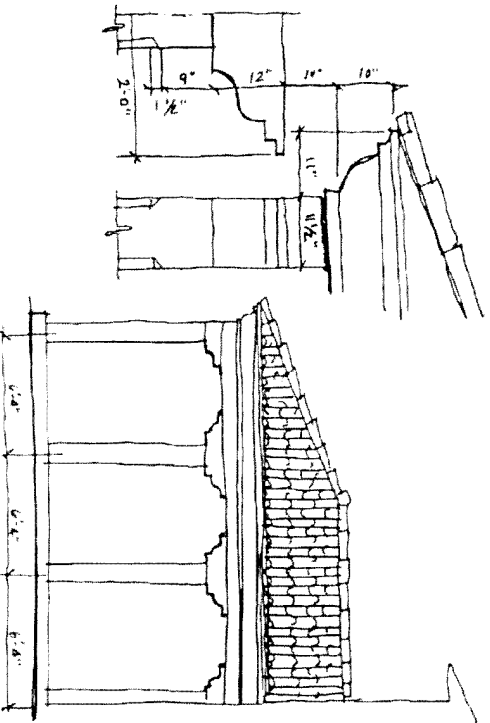


ADD 2004-00060

Columns

Columns establish a horizontal rhythm for building facades and correspond in design to the buildings' style. Designers should use careful consideration of building proportion and column dimensions in design of columns for the project. Column capitals and bases may be simple or ornate. In general, columns will be manufactured of cast stone or wood.

Where columns appear as part of a colonnade, they establish a place to walk under protection, and a softening of the building scale and facade. The colonnade also provides shade and shadow relief to storefronts. The composition of colonnades may be formal or relaxed.



Cornices and Wall Caps

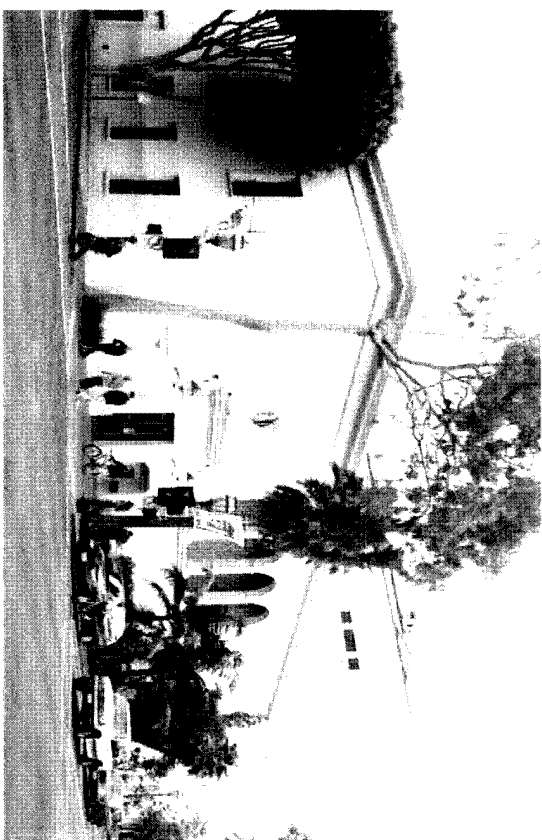
Cornices and wall caps provide a decorative termination element for building parapets at flat roofs. They also serve to direct water away from the top of a building façade. Cornices should be scaled appropriately to the building façade. Cornices must either terminate at a recess or adjacent wall or turn a corner and continue down a façade, terminating at an architectural feature.

Cast stone is encouraged as a material for the manufacture of cornices and wall caps and corresponds to the Mediterranean Revival language established throughout these guidelines. Additionally, clay tiles may be used as parapet wall caps. Like molding, cast stone cornices and wall caps at Coconut Point incorporate several levels of contrasting curved and faceted elements in combination, creating a richness of texture, ornament and shadow.

14

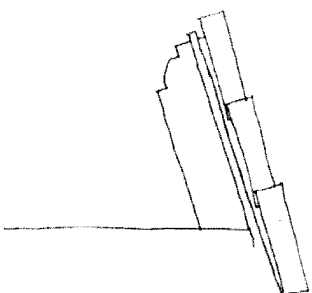
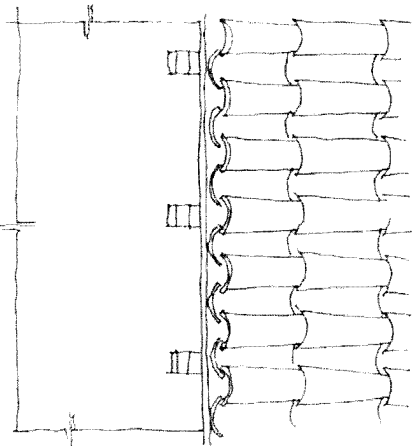
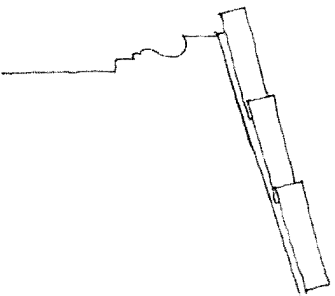
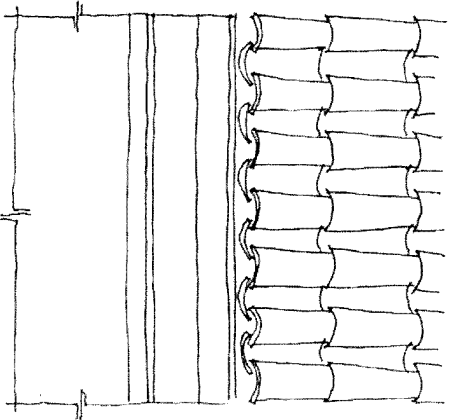
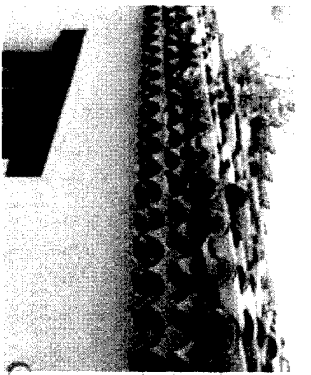
ADD 2004-00060

COCONUT POINT
MAY 20, 2004



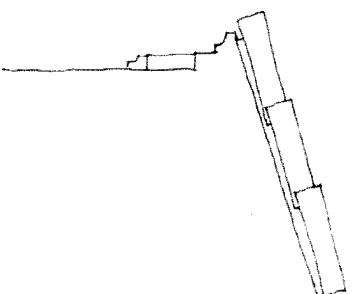
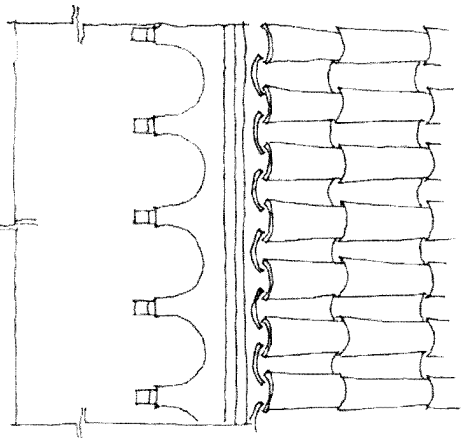
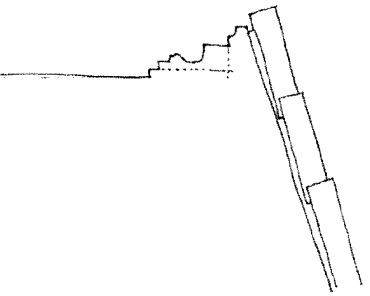
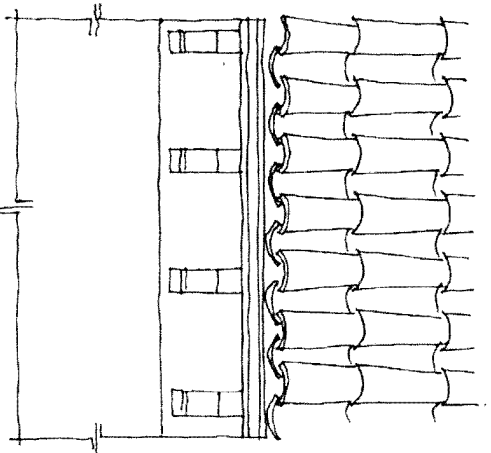
Eave Types

In addition to providing rain and sun protection for the building, eaves are an opportunity for ornament and articulation. Detail elements at eaves create shade and shadow and provide horizontal interest. Repetitive elements such as dentils and exposed rafters set a rhythm for the upper areas of the building façade. Rooflines may meet eave conditions with either exposed decorative rafters, dentils or cornice molding. In general, materials appropriate for eaves are cast stone and wood.



Eave Condition - Cornice Molding

Eave Condition - Exposed Rafter Tails



Eave Condition - Corbel Bracket Band

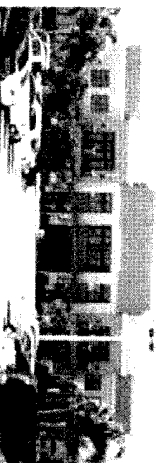
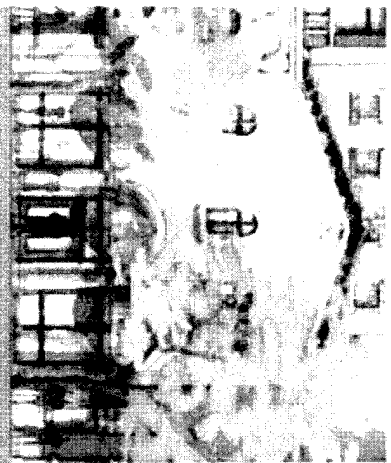
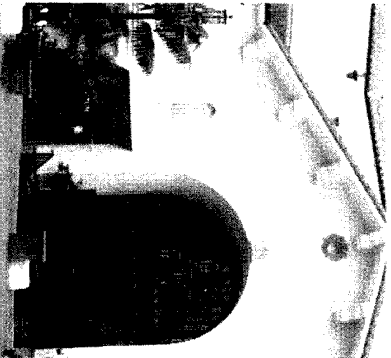
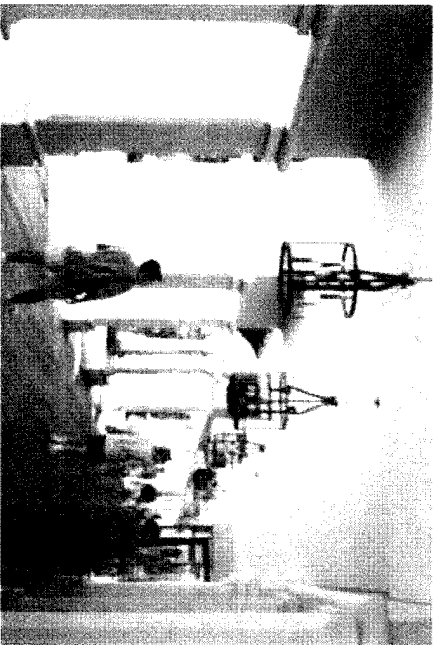
Eave Condition - Arched Corbel Table

ADD 2004-00060

MAY 20, 2004

Entryways

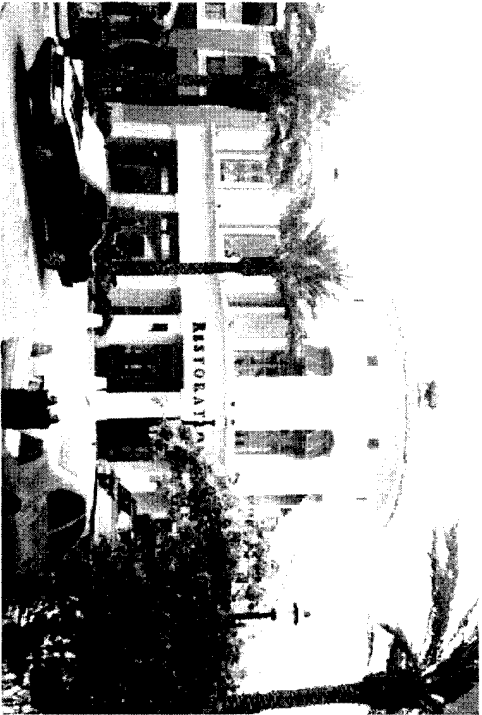
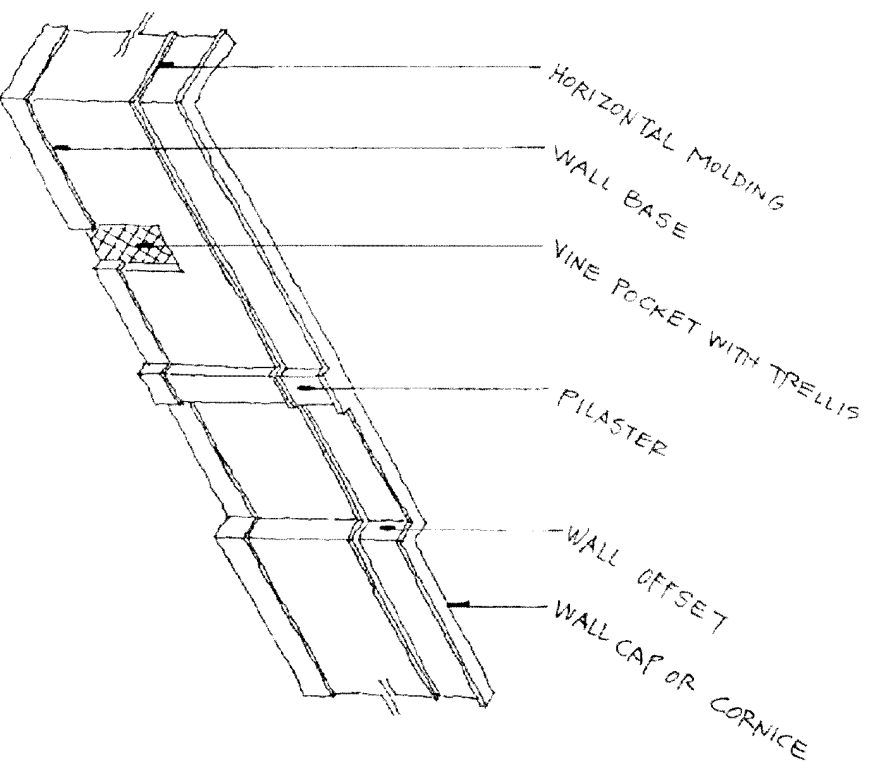
Entryways announce the location of access to the inside of a building. Frequently covered, or an articulated portion of an extended arcade, they provide orientation for the visitor and ample circulation. Other building entryway types are recessed within a continuous building façade. Unique entryway features may correspond to a tenant's identity or indicate the building's use. Additional elements that may define entryways include: overhangs and projections, arches, display windows, balconies, and seating areas beside doorways for waiting.



Facades and Exterior Walls

Facades at Coconut Point shall be articulated to reduce building scale and relate to pedestrian and street scale elements. Recesses, plane changes and parapet height changes create visual interest and opportunities for change in color and texture. The incorporation of ornament and detail features such as molding, wall bases, vine pockets, wall caps and pilasters animate facades and reinforce building style.

Developments with facade over 75 feet in linear length shall incorporate wall projections or recesses a minimum of three foot depth and a minimum of 20 continuous feet within each 75 feet of facade length and shall extend over 20 percent of the facade. Developments shall use animated features such as arcades, display windows, entry area or awnings along at least 60 percent of the facades.



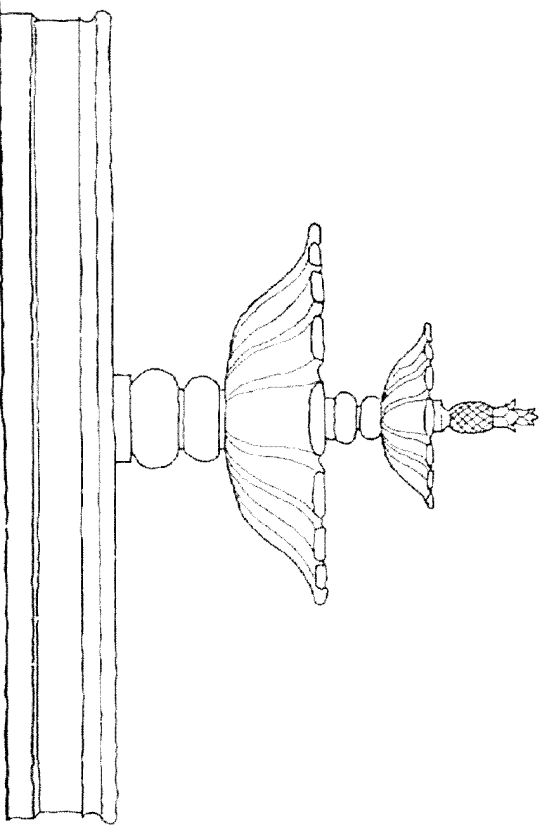
ADD 2004-00060

Fountains

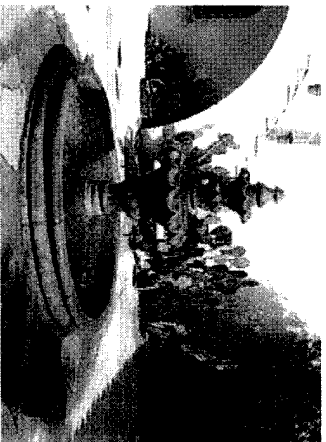
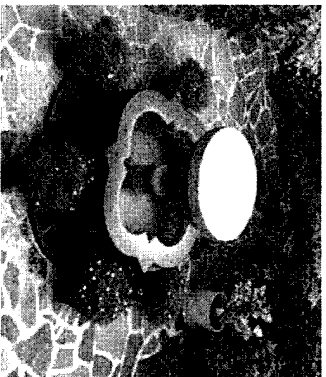
Primarily a site planning feature, fountains compliment the overall architecture of Coconut Point. Occurring most often at courtyard spaces, they provide opportunity for repose and reflection. In general, appropriate materials for fountains are cast stone and ceramic tile. Integral tile patterns can provide a focal point and a degree of intimacy for the entire courtyard space.

18

ADD 2004-00060

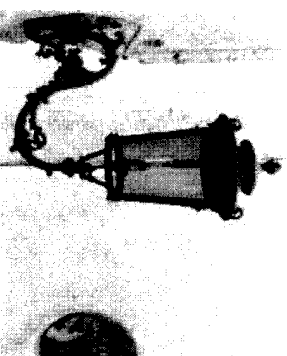
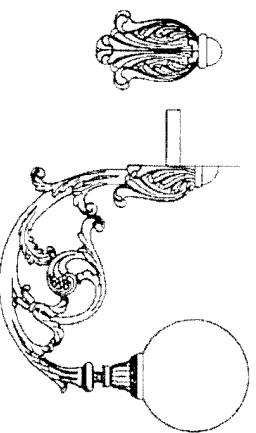
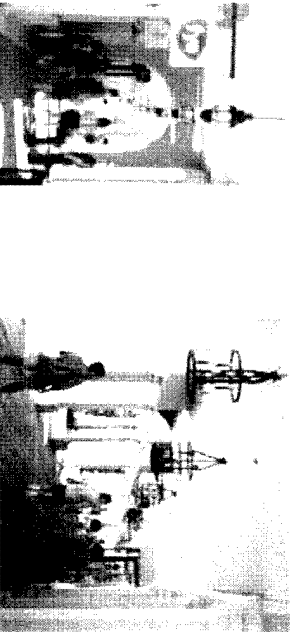
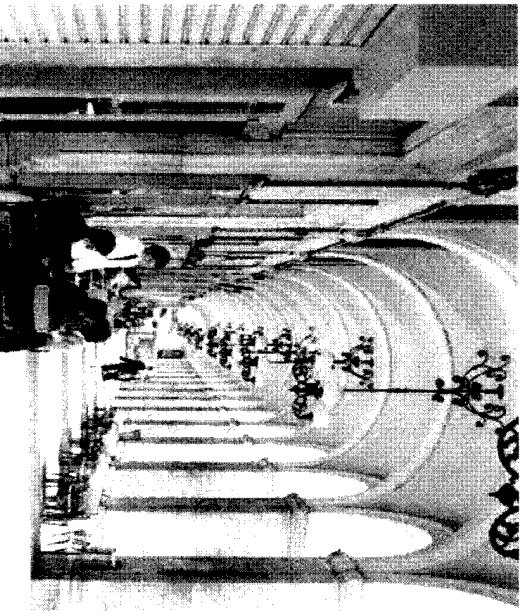
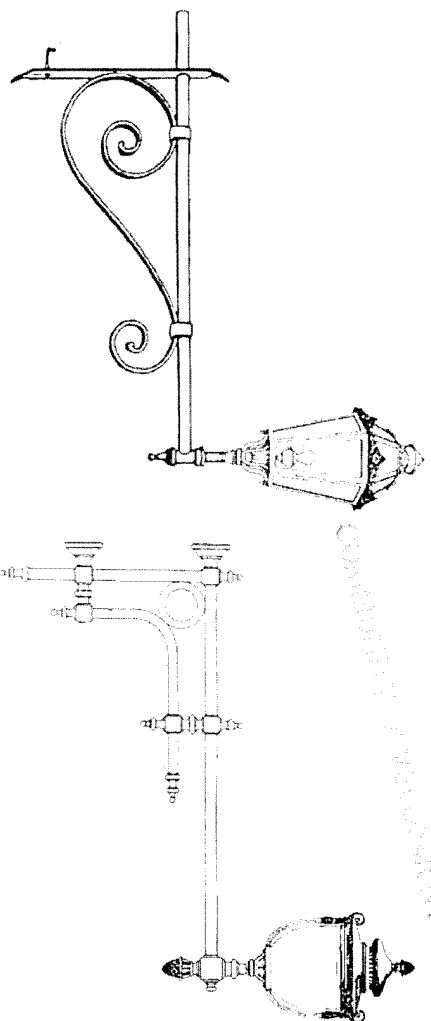
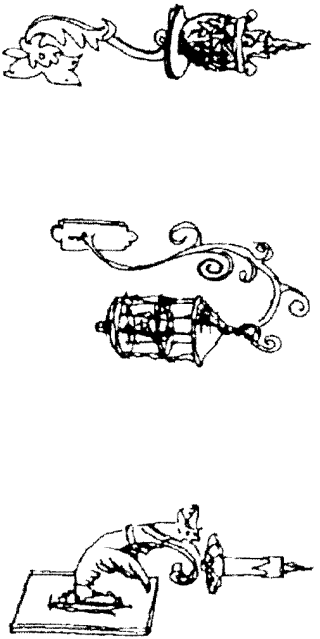


COCONUT POINT
ARCHITECTURAL
DRAWING



Lighting at Building Facades

Integrated building lighting sets a tone for the entire project. Building lighting in the form of sconces, uplights, cove lights and ornamental fixtures can define and enhance building massing and color. The same elements can reinforce the architectural identity of the building through their design. Encouraged materials for visible light fixtures are wrought iron and glass, painted metal and aged metals.



Massing

Massing of Mediterranean Revival buildings requires the careful articulation of the ground floor level for the pedestrian and passerby in a vehicle. This is the key to the ability live, work and shop with a sense of community. Ground level windows may be articulated by arched openings, colonnades, canopies or awnings framed in stone, cast stone, stucco or trim.

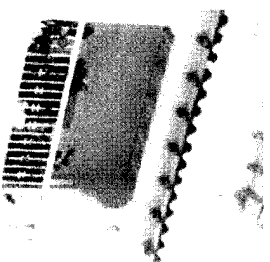
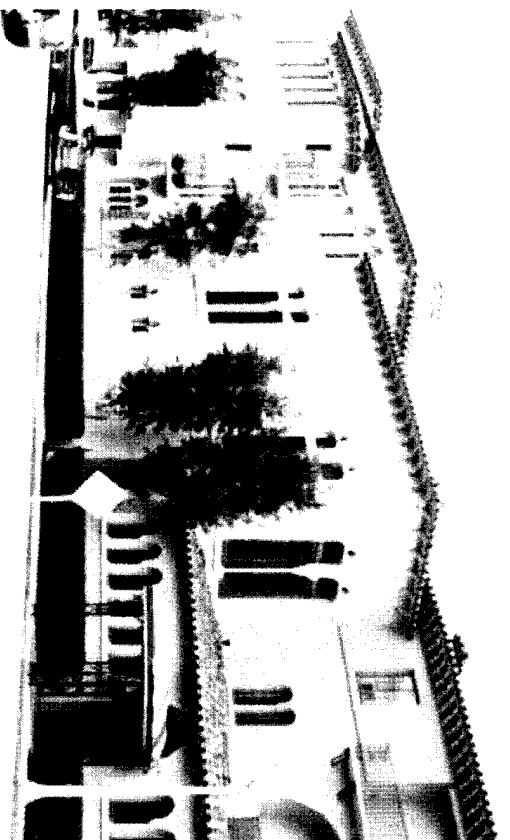
Upper floors should be composed such that there is a strong, yet romantic, rhythm of both the horizontal and vertical utilizing arched, square and rectangular openings. Attached balconies and recessed porches are appropriate. Walls should give the appearance of being load bearing. Therefore, spacing, size and composition of openings is critical. Buildings two stories or more in height should use classic "base, middle and top" composition.

20

Building façades shall include a pattern that shall include no less than three elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.

- Color change
- Texture change
- Material module change
- Expression of architectural or structural bay through a change in plane no less than 12" inches in width, such as an offset, reveal or projecting rib.

At building corners, façade components such as colonnades, moldings, bases, cornices and other items shall wrap at a ninety-degree angle and terminate at an architectural element.



RECEIVED

APR 24 1994

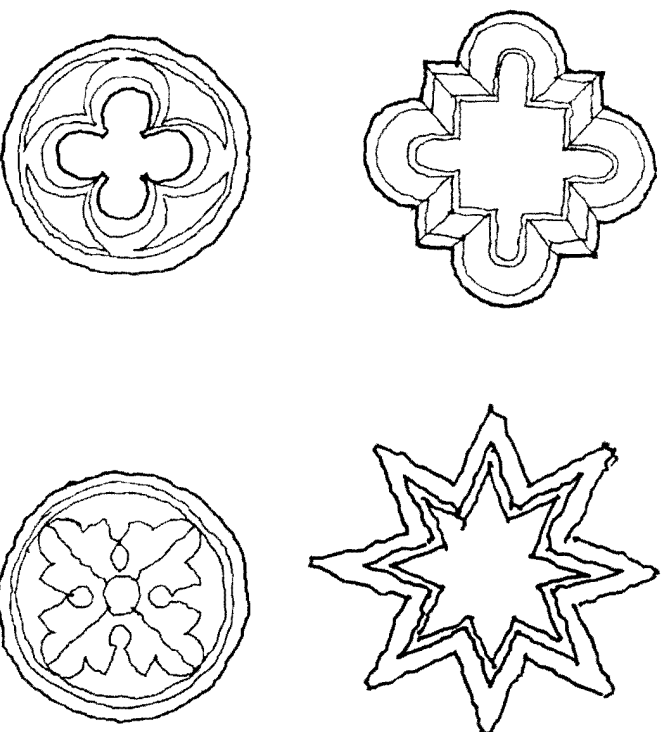
COMMUNITY DEVELOPMENT

ADD 2004-00060

MAY 20, 2004

Medallions

Medallions add texture and ornament to a building façade. They may be used as accents above colonnades or windows. Single applications of medallions are larger in scale and may punctuate façades above arches or entryways. Arranged in a grid or a band they may create texture and shadow on large wall surfaces with limited fenestration. When used as repetitive features, medallions should be smaller and proportional to building scale. In general, medallions will be manufactured of cast stone or metal.



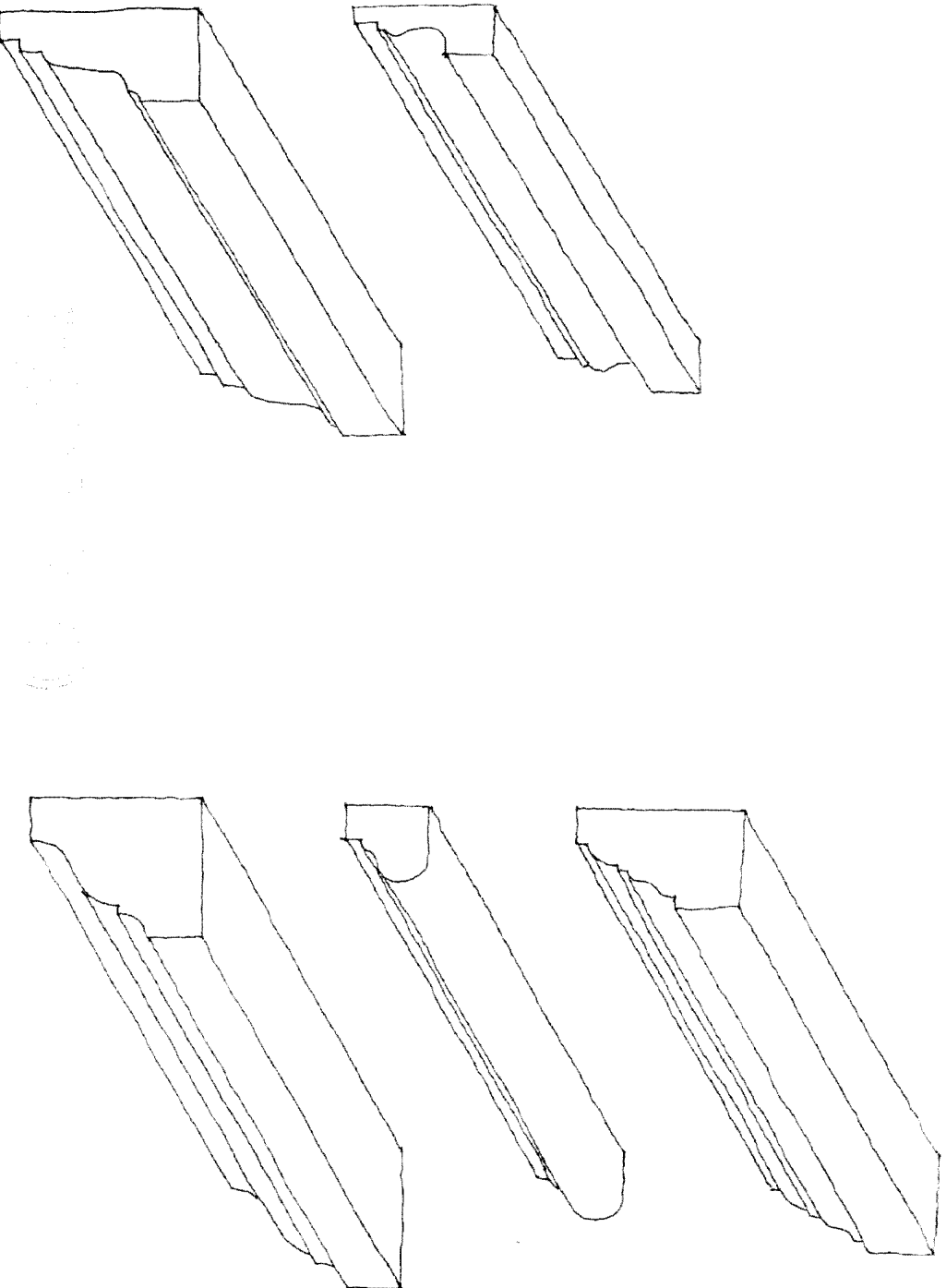
COMMISSIONER OF THE
RECORDS & ADMINISTRATION
STATE OF CALIFORNIA

COMMISSIONER OF THE
RECORDS & ADMINISTRATION
STATE OF CALIFORNIA

ADD 2004-00060

Moldings

Moldings add horizontal relief to the building facade and provide opportunity for color and texture change. In general, molding will be manufactured of cast stone material. Recommended molding profiles for Coconut Point incorporate several levels of contrasting curved and faceted elements in combination, creating a richness of texture, ornament and shadow.

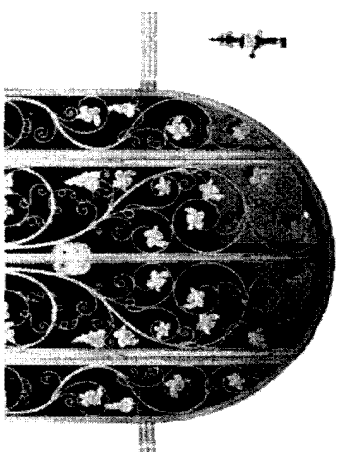
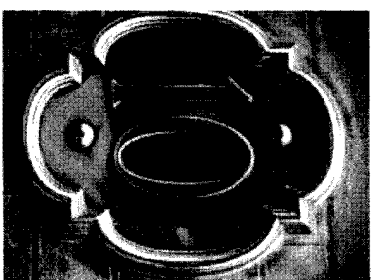
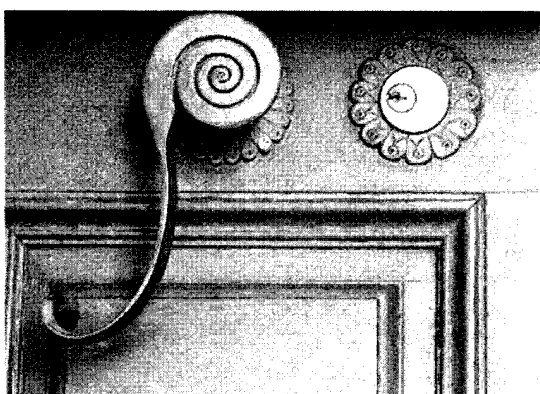
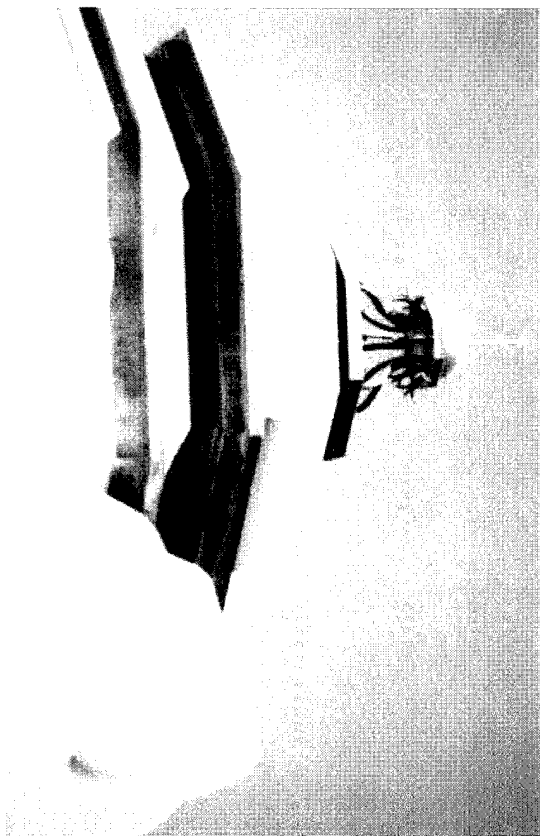
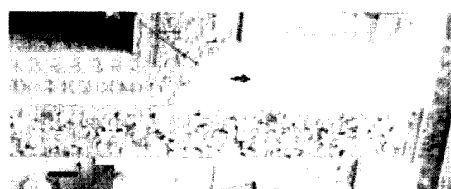
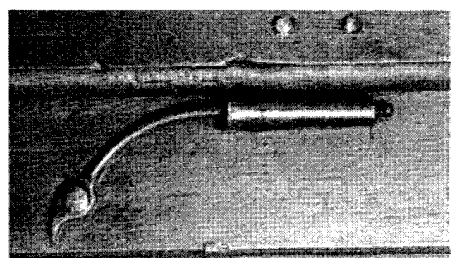
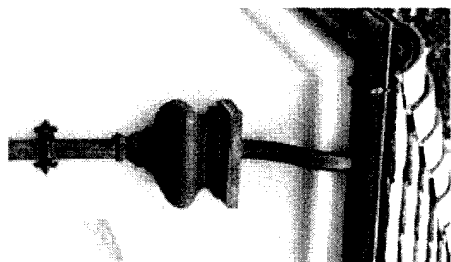


ADD 2004-00060

22

Ornament

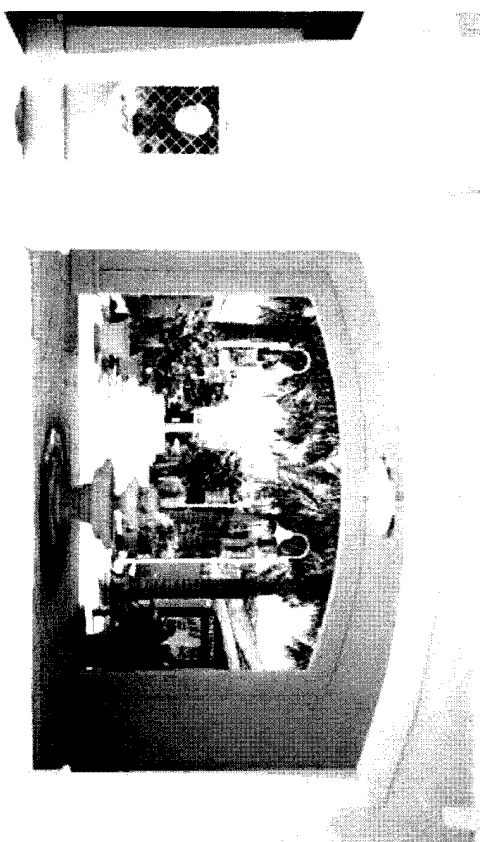
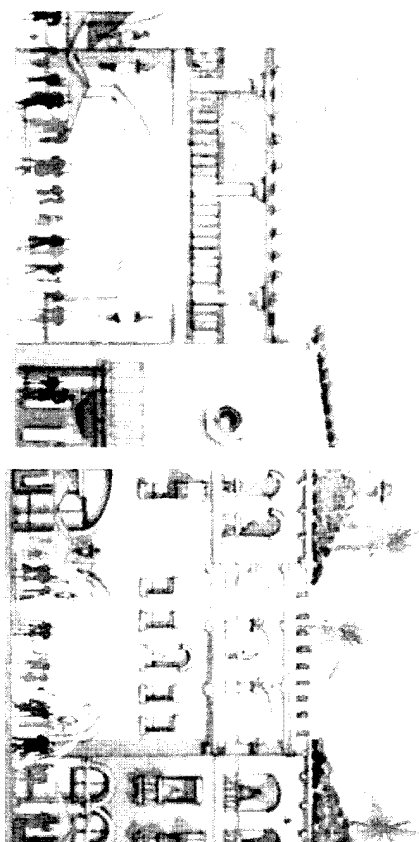
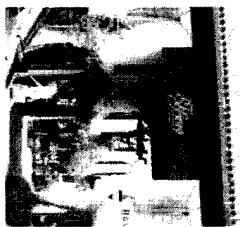
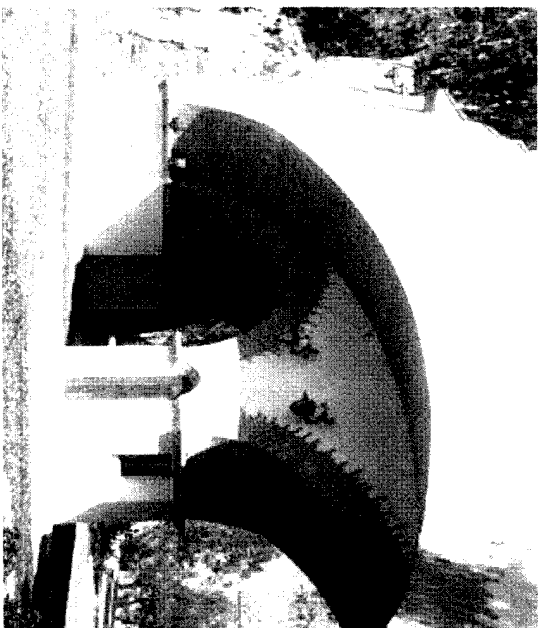
Architectural ornament reinforces the project identity through motif and richness of detail. Ornaments such as door pulls and decorative finials are usually fabricated of metal. Ornamental features such as relief bands, pendants, and keystones are generally made of cast stone.



ADD 2004-00060

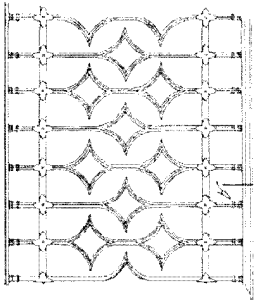
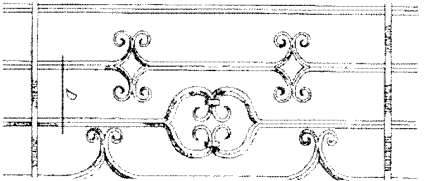
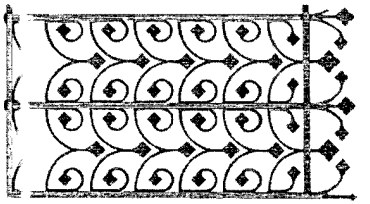
Portals and Pass-Throughs

Frequently recessed in a building façade and articulated by molding and ornament, portals frame an opening, punctuate a façade, and lead the pedestrian to a building entry. Pass-throughs are similar to portals but instead link two exterior spaces at the ground level with building functions spanning above the opening. Either curved or rectangular arch shapes characterize portals and pass-throughs.

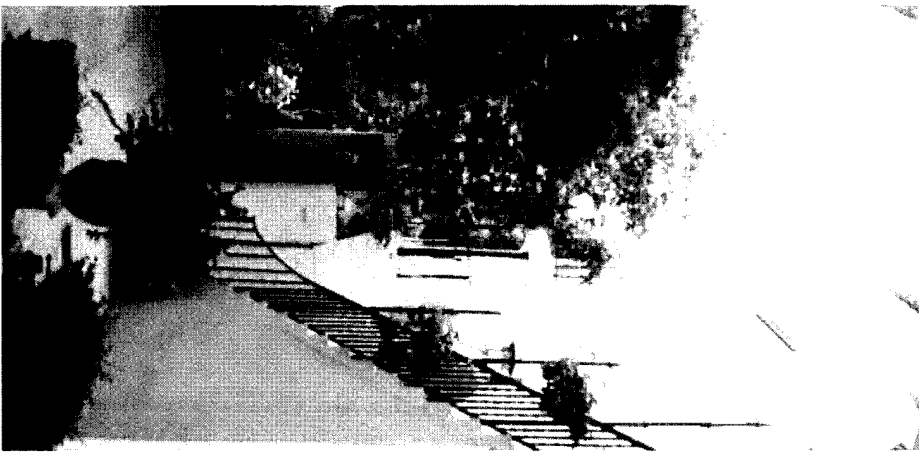
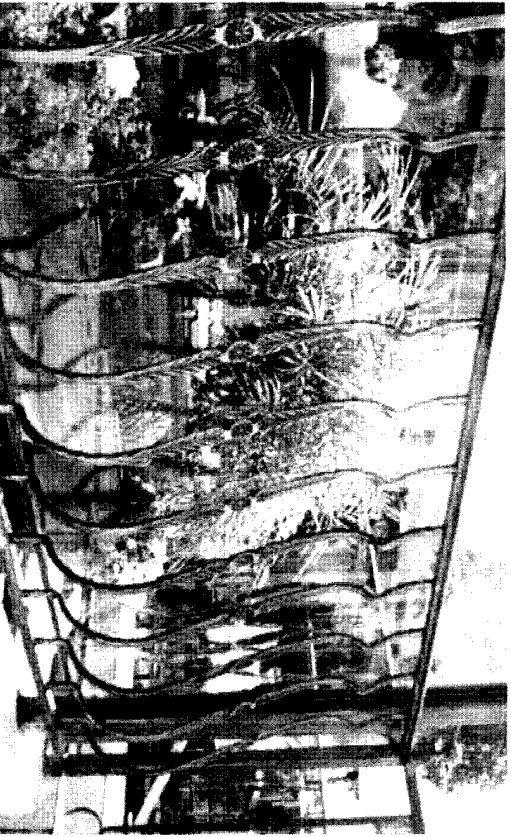
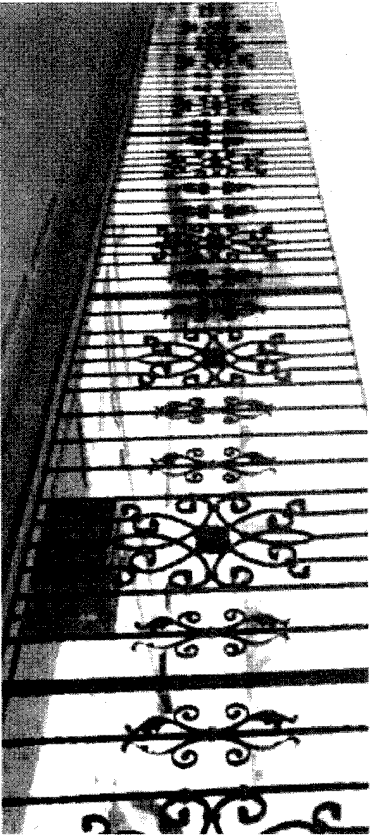


Railings

Typically made of metal with various organic and scroll type designs, railings are primarily installed as safety measures when there are site conditions which might allow a person to fall and sustain injury. Additionally, railings must be designed to resist lateral forces and minimize any openings through which a child might fall. These requirements do not prevent a railing from being very decorative. Railings should complement the architectural character of Coconut Point.



Wrought Iron Metalwork



COCONUT POINT
MAY 20 2004
PART 1 - ARCHITECTURE
25

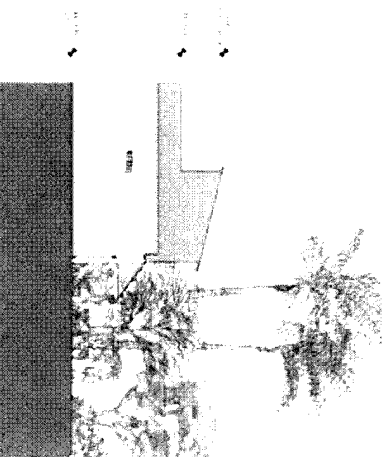
ADD 2004-00000

Roofs - Types and Massing

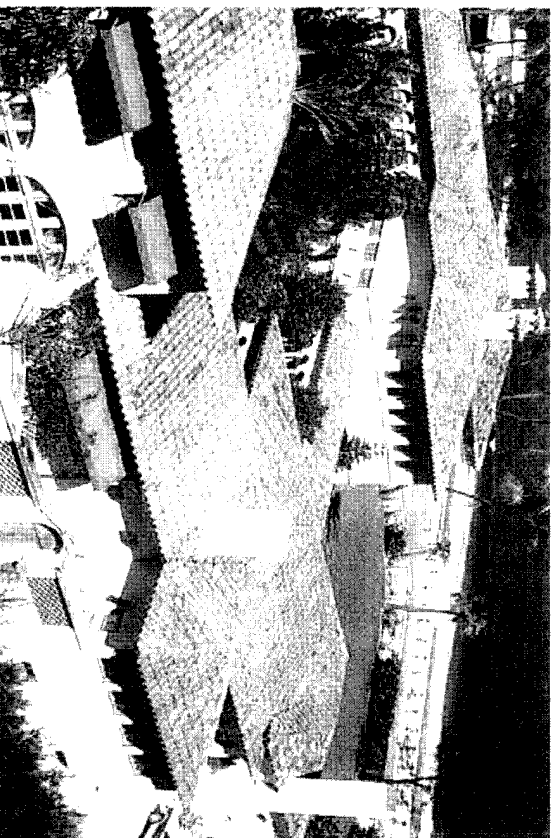
Low pitched and random tile roofs characterize the Mediterranean Revival style. A combination of hip type, low angled roofs and flat parapet rooflines provide visual variety at Coconut Point. Pitched roofs at commercial buildings shall not exceed a 4:12 slope. At commercial areas, roof pitches exceeding 4:12, may be approved at the discretion of the DRA. Pitched roofs at residential buildings shall be between 6:12 and 8:12 for single story elements and 4:12 and 8:12 for two and more story elements. Flat roofs shall include cornices or wall caps at parapets. Rooflines shall be varied with a minimum height change of three feet every 75 linear feet in the building length.

In certain locations, and at the discretion of the DRA, mansard type, pitched roofs with tile are acceptable. These roofs are designed to reflect a pitched Mediterranean style at the front of a building or to accentuate a focal point on the façade. Intended to achieve a similar visual effect as a regular hip roof, these roof types must return in plan at a ninety-degree angle and terminate at an architectural element.

Mechanical and roof top equipment shall be fully screened from view on all sides with material consistent with the main façade of the building and located in areas of low visibility. Asphalt shingles on pitched roofs and metal roofs are not permitted. Metal roofs as accents may be allowed at limited areas with DRA approval. Porte cocheres, if provided, shall incorporate a roof design and roof materials that are compatible with the building they serve.



Typical Section at Mansard Type Roof



Roofs - Clay Tile

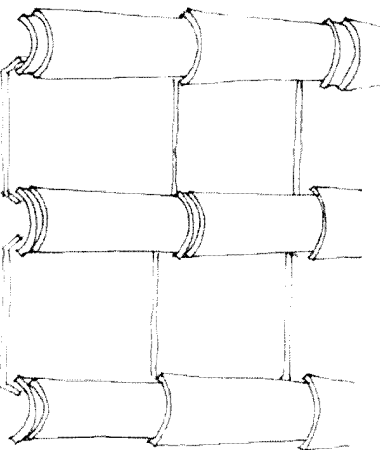
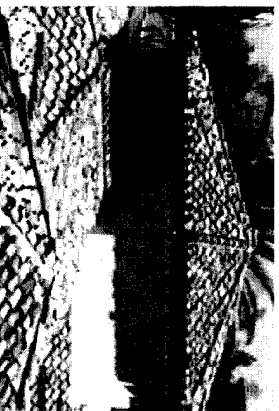
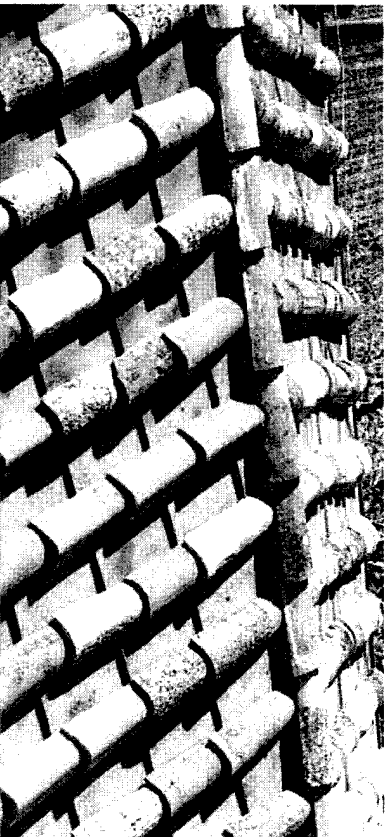
Clay tile roofs offer not only texture and color but also a sense of timelessness. Appropriate varieties for Coconut Point include Roman Pan style and Barrel style. All styles can be laid in an irregular or regular pattern. Roof tile colors shall be of the warm, earth tone color palette. Clay tile roofs may employ "Booster" tiles and/or visible grout to enhance roof dimensionality and create an aged appearance. Flat clay tiles may be interspersed with rounded clay tiles.

Roman Pan Clay Tile

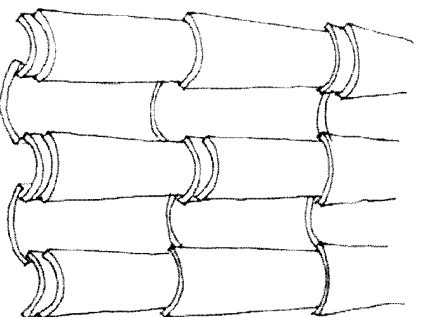
To create visual interest, it is suggested that boosters be used and that a serpentine or random stagger pattern be incorporated into the roof tile pattern.

Clay Barrel Tile

To create visual interest, it is suggested that boosters be used and that a serpentine or random stagger pattern be incorporated into the roof tile pattern.



Roman Pan Clay Tile



Clay Barrel Tile

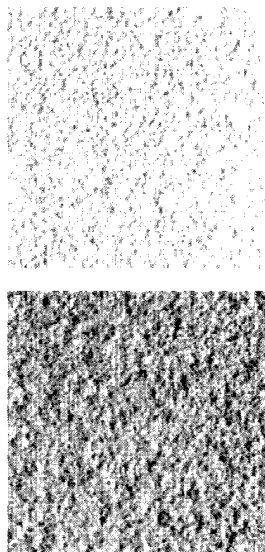
ADD 2004-00060

Storefront/Ground Level Window Frames

Storefront windows and other large glazed areas at the ground level have additional design requirements. Wider expanses of glass for visibility and entry door locations affect the design of these elements. Designers should include provisions for mullion articulation beyond a basic extruded aluminum profile. This can be achieved through applying cap and pan elements to the basic window assembly to add relief and dimension. Doors within the storefront assembly may be articulated in a similar manner or may include further customized elements to enhance the overall design and building identity.

Succo Texture

Stucco texture may be smooth finish, light dash finish or medium dash finish. Changes in texture at reveals, building profiles, or molding transitions add variety and distinct shadow conditions to building elevations.



Smooth Finish

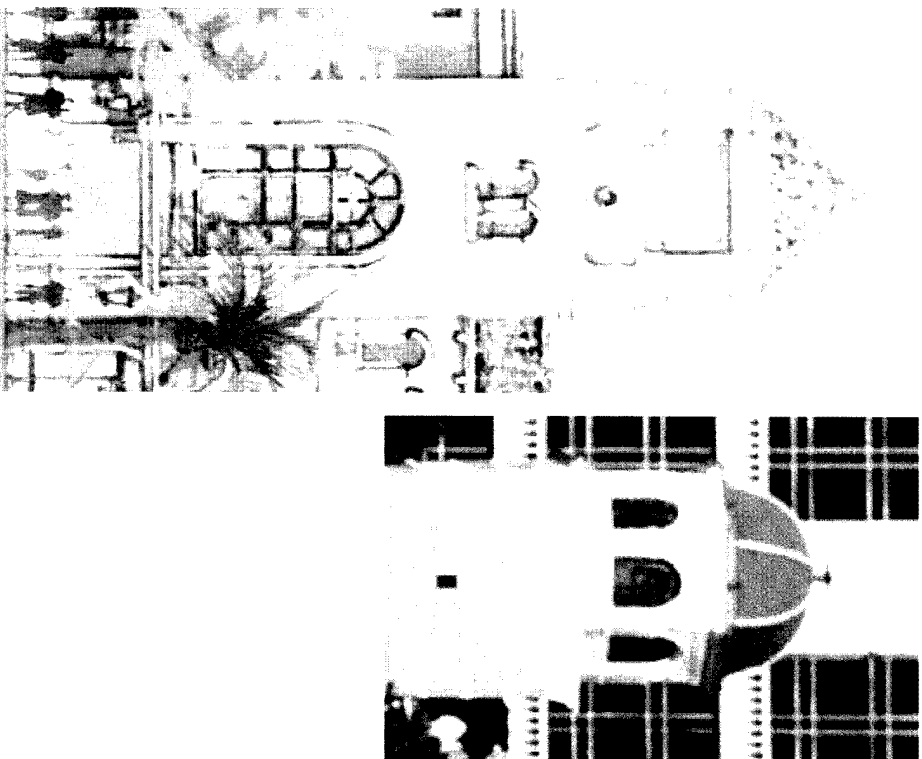
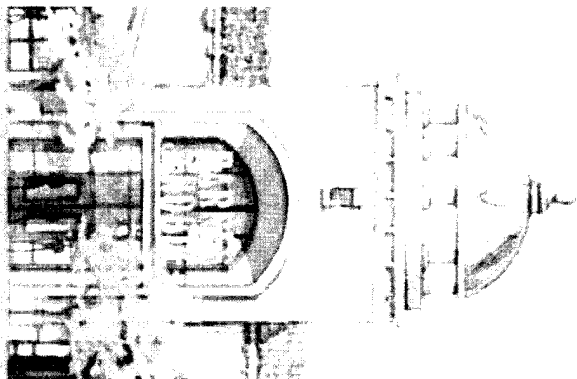
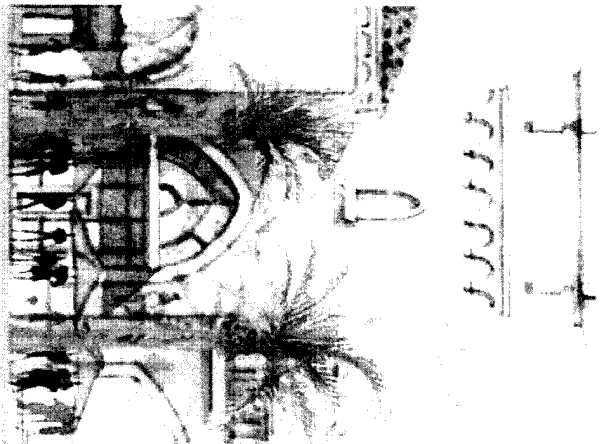
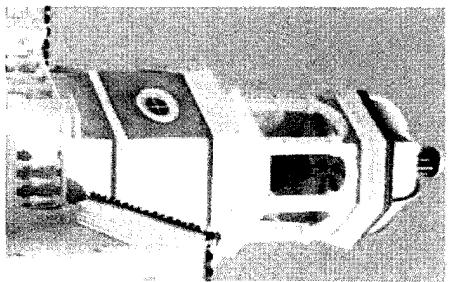
Light Dash Finish

Medium Dash Finish



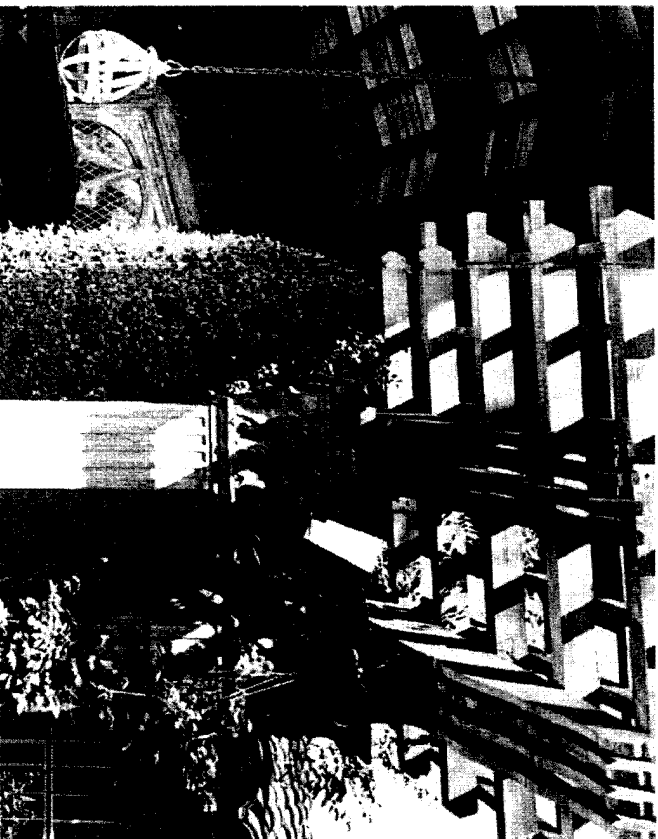
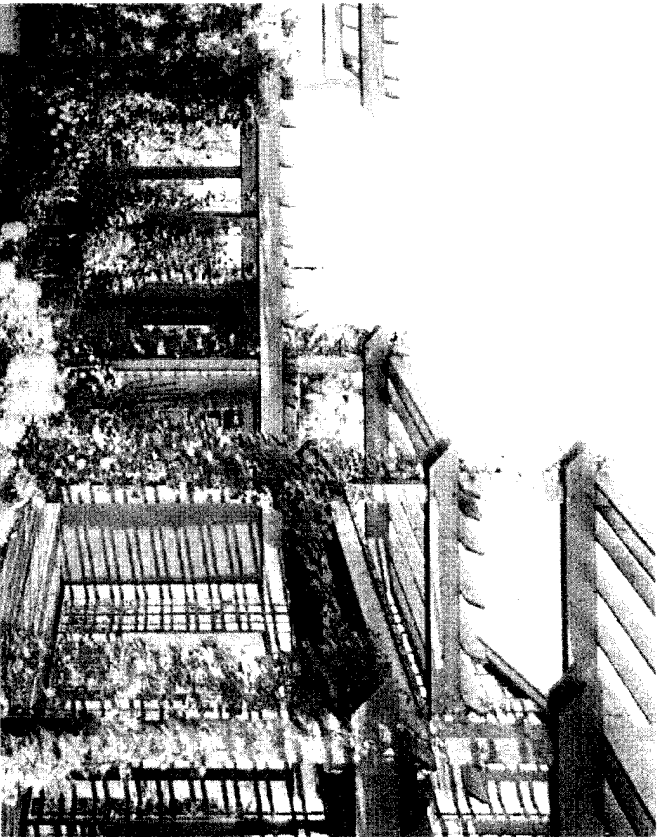
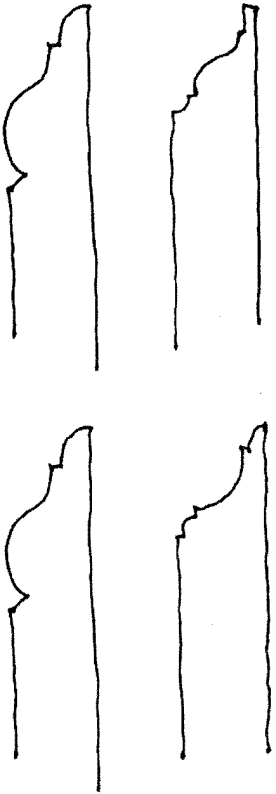
Towers

Towers act as focal points for the Coconut Point master plan. Historically symbolic of public spaces, towers help pedestrians orient themselves in the landscape. On a more intimate level, towers can be used to mark stairways, entries, and sometimes display signage. Frequently, towers have more ornament than their corresponding building façade because of their increased visibility. Successful tower design is a result of careful proportioning and use of materials, and can be a memorable landmark to people moving through Coconut Point.



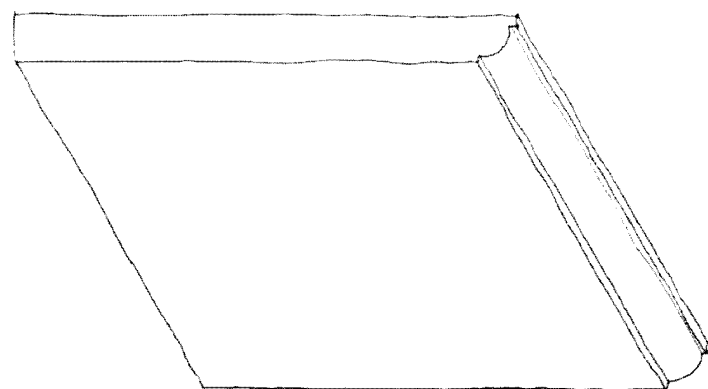
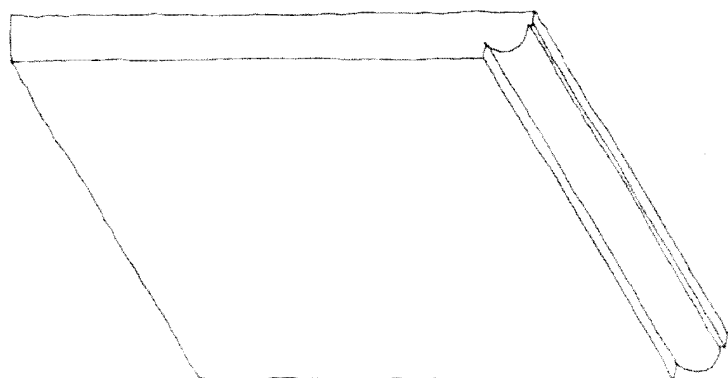
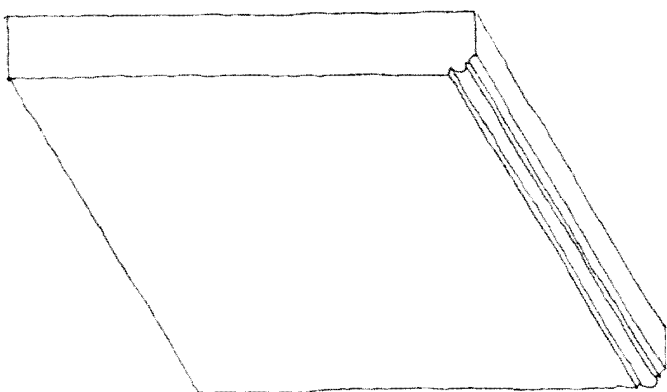
Trellis

Trellis structures provide both sun control and opportunity for planting. Trellis structures can be constructed in front of a façade as a screen upon which greenery can grow. Trellis structures can also be freestanding over sidewalks providing vine-shaded walkways. Trellis beam-ends may be simple or ornate. A layering of beams adds visual interest to a trellis assembly. Acceptable trellis materials include wood, cast stone, and metal.



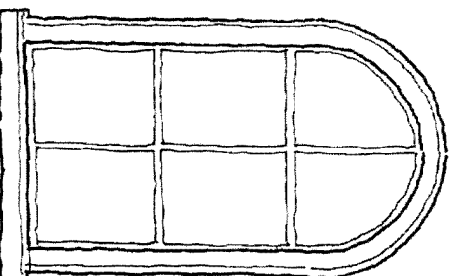
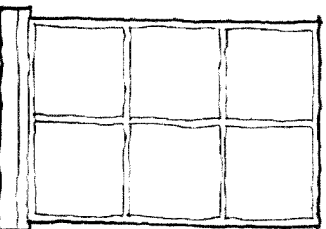
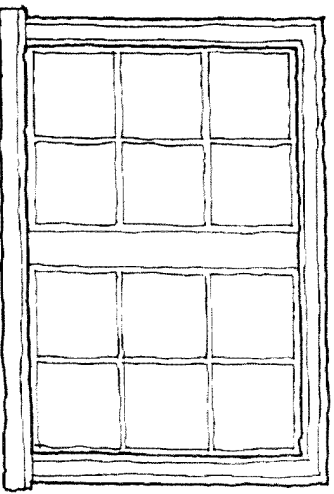
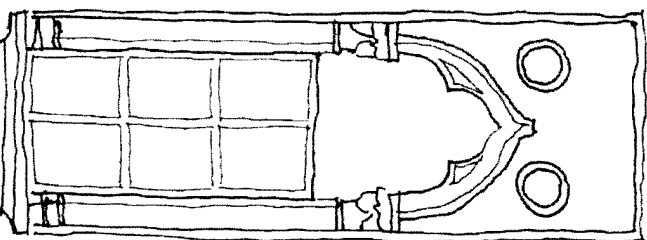
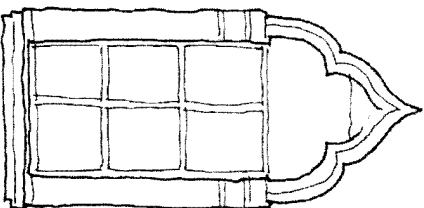
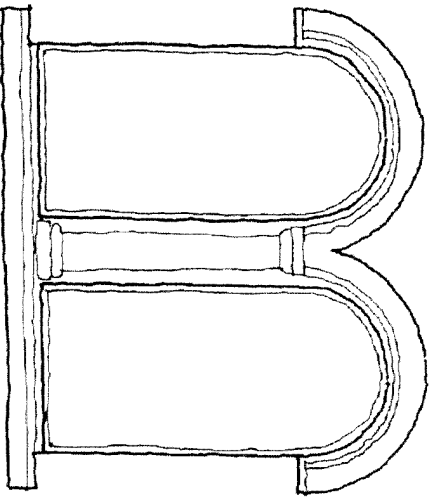
Wall Base

Wall bases ground the building facade, add horizontal features, and provide a durable transition zone between paved ground surfaces and stucco wall surfaces. In general, wall bases will be manufactured of stone or cast stone. Wall bases may have rounded or articulated corners similar in design to the molding profiles.



Window Types

Casement windows, single or double by themselves or with flat or arched transoms are typical. Window groupings with simple or ornate cast stone trim are appropriate. Special window types include square, round, and floral. Arched square or Moorish tops having tile inlay are appropriate. Deep returns are encouraged at all window openings to correspond with the Mediterranean Revival theme, add depth, and create an appearance of "thick" walls.



RECEIVED
MAY 24 2004
COMMUNITY DEVELOPMENT

III. ARCHITECTURE - COMMERCIAL RETAIL

I. Characteristics of Commercial Retail Buildings

A significant portion of the buildings at Coconut Point falls into the category of Commercial Retail. Large scale shopping and commerce are primary activities that animate the Town Center, while the North Village relies on a base of large scale, national retailers mixed with smaller scaled, secondary community oriented retail shops and services.

A. Large Format Retail

Large Format Retail can be defined as large scale retail anchor stores that derive their profits from high sales volumes. They may operate as stand-alone facilities, or more commonly they are grouped together as part of a shopping center.

The design criteria outlined herein is intended to provide a design standard whereby large footprint buildings planned for Coconut Point can be assimilated within the existing context of the community without detracting from the existing scale, connectivity, traffic patterns, walk-ability and image of the area. The following architectural considerations must be taken into account in the design of Large Format Retail buildings:

- Façades should be articulated to reduce any massive scale or impersonal appearances of large retail buildings.
- Buildings should have architectural features and patterns that provide visual interest.
- Variations in rooflines should be used to add interest to and reduce any massive scale buildings.
- Building materials should be aesthetically pleasing and compatible with materials and colors used in Mediterranean Revival style architecture and in harmony with the neighborhood.
- Entryway design elements and variations should give orientation and aesthetically pleasing character to the building.
- Arcades add dimension, reduce building scale, and provide protection from the elements.
- Where feasible, smaller "Liner shops" with separate exterior entries located as part of a large format retail structure animate pedestrian walks between store entries. Liner shops also break down large expanses, reduce walking distance between stores, and contribute to a diverse retail tenant

ADD 2004-00060

B. Secondary and Service Retail

Smaller retail and service-oriented shops enhance the community identity of Coconut Point and provide useful amenities to inhabitants and visitors alike. The presence of these smaller retail stores gives Coconut Point a friendly appearance by creating variety, breaking up large expanses, and expanding the range of the site's activities. Windows and window displays of such stores should be used to contribute to the visual interest of exterior facades. The standards presented in this section are directed toward those situations where additional, smaller stores, with separate, exterior customer entrances are located in the principal buildings and development sites.

The design of secondary and service retail shops should include careful attention to detail at the storefront level, and include the following:

- Appropriately scaled entryway features including windows, doors, portals, arcades, recesses and overhangs/projections.
- Attention to appropriate signage and lighting as outlined in Parts 4 and 5 of this manual.
- Transparency at Storefronts: Tenants should plan for transparency and glazing at 60% of the horizontal area of their facade between 3 and 8 feet above grade. Large expanses of blank walls are unacceptable.
- Glazed windows should be recessed and should include visually prominent sills, shutters, linels, or other forms of articulated window framing.
- Display windows should be carefully designed and maintained and should include frames and base elements.
- Facade materials should be aesthetically pleasing and compatible with materials and colors used in Mediterranean Revival style architecture and in harmony with the neighborhood.

C. Commercial Retail Facade Articulation by type

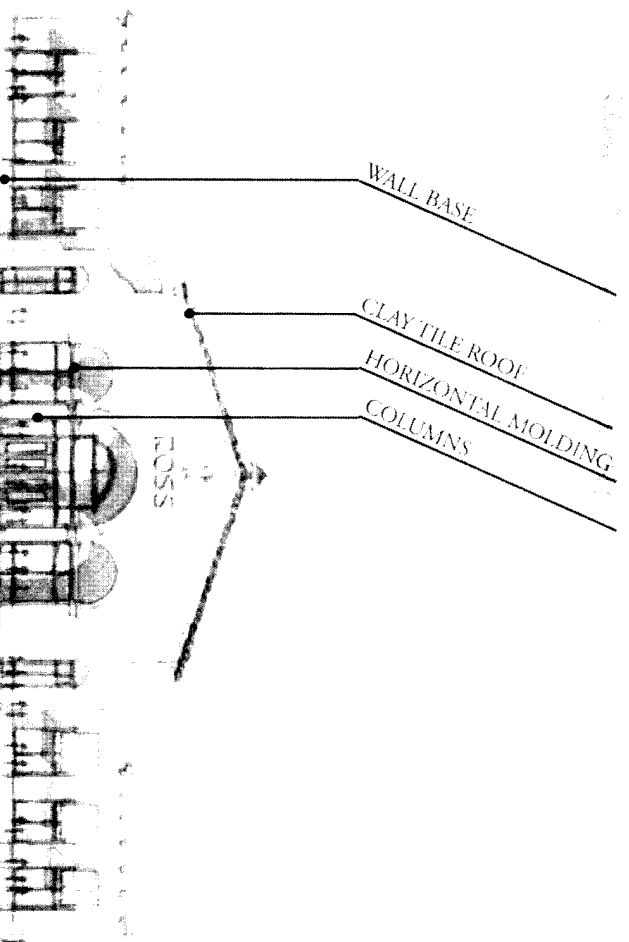
Three distinct categories of facade type have been established for large-scale commercial retail at Coconut Point. Each type has a varying degree of articulation based on its relative visibility and location within the project. The DRA will make the final determination of facade type designations for buildings at Coconut Point. Guidelines and corresponding diagrams for these types are shown on the following pages.

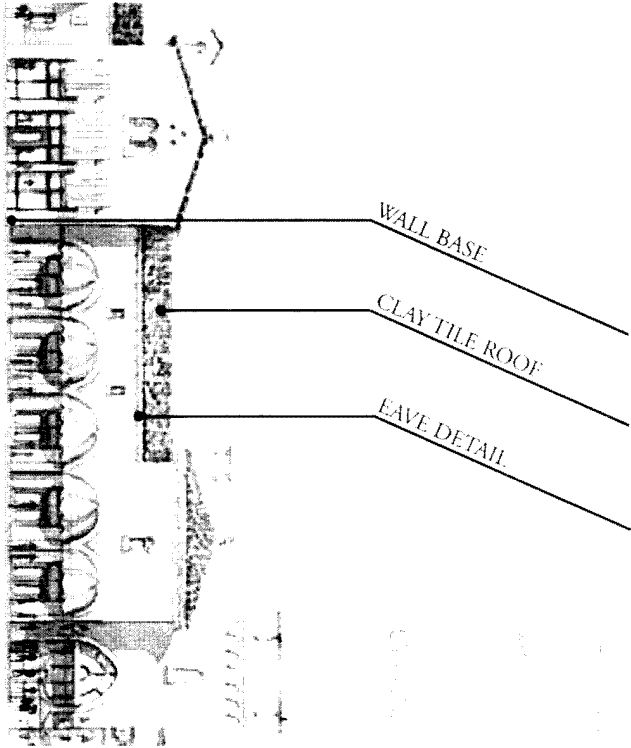
The illustrations are example facades for possible combinations of architectural components and building articulation at each facade type and should not be copied directly. Rather, each building design should be unique within the Mediterranean Revival style and designers may use the following examples as a guide for achieving this result.

a. Facade Type "A"

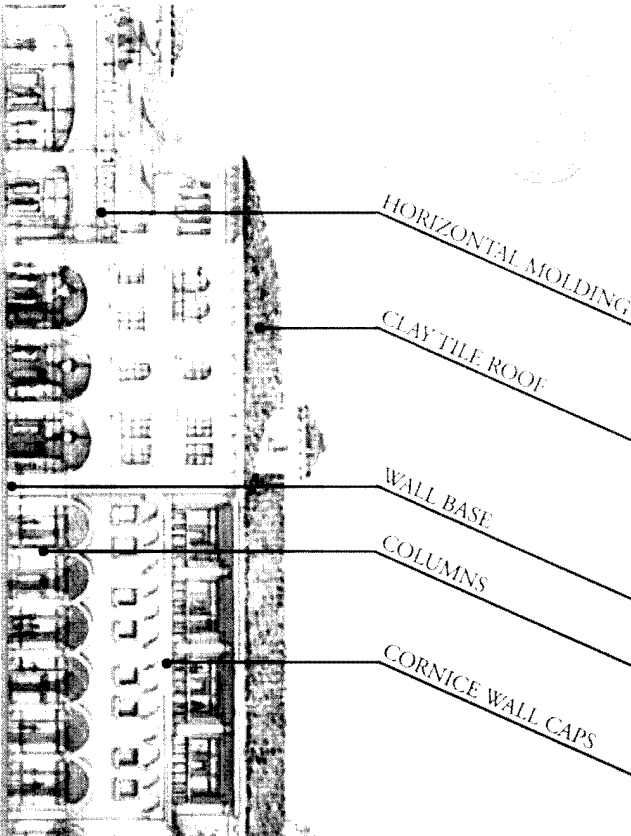
This Facade type is considered the "front" of the building and generally includes a primary entrance and is located facing onto a primary road.

This facade type is highly articulated, employing many architectural components. The accompanying diagrams illustrate typical examples for Facade Type "A".

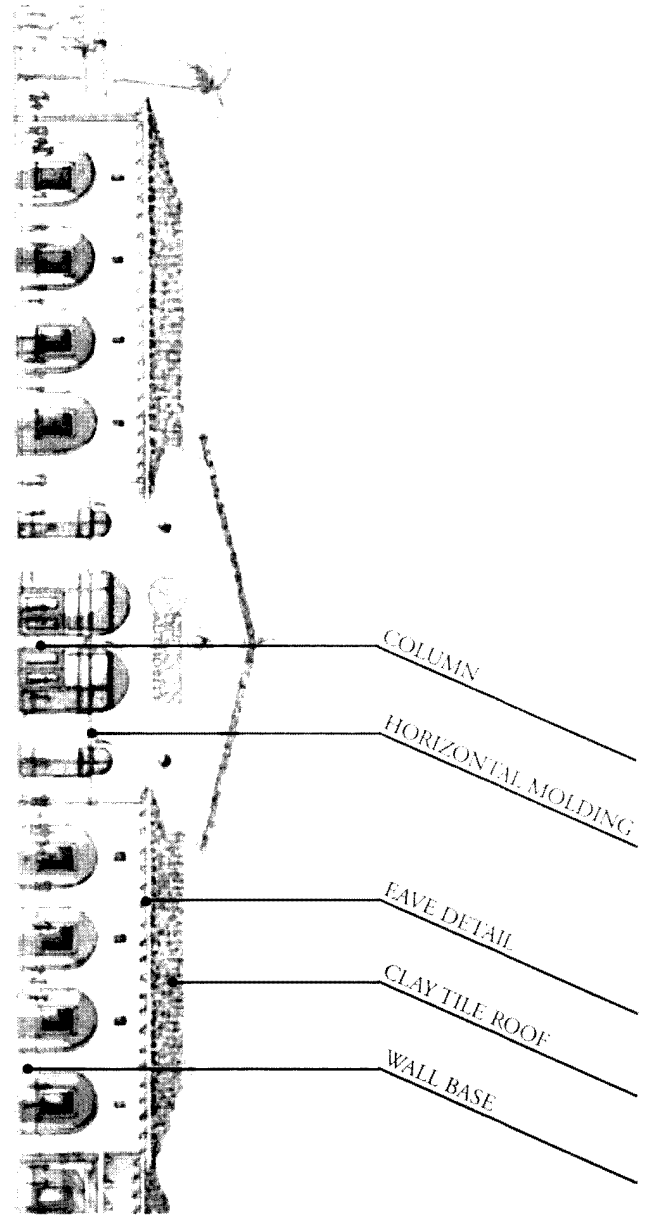




Elevation - Type A3



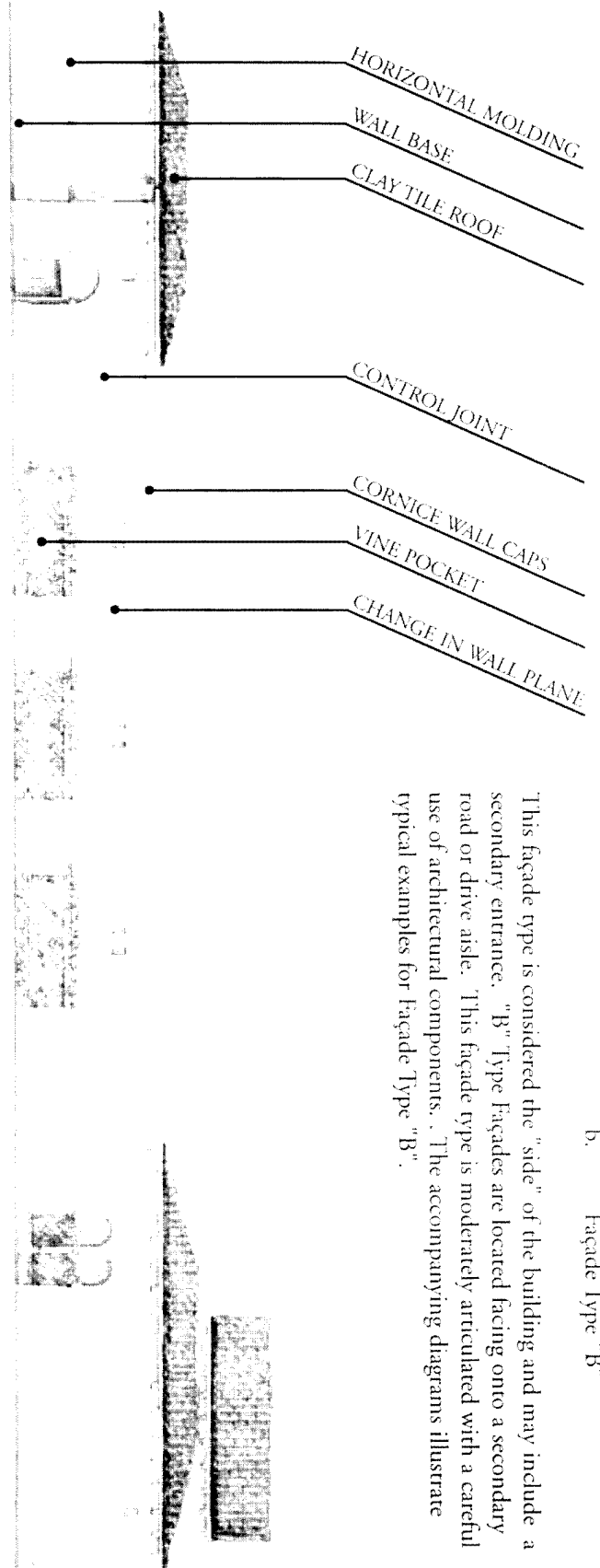
Elevation - Type A4



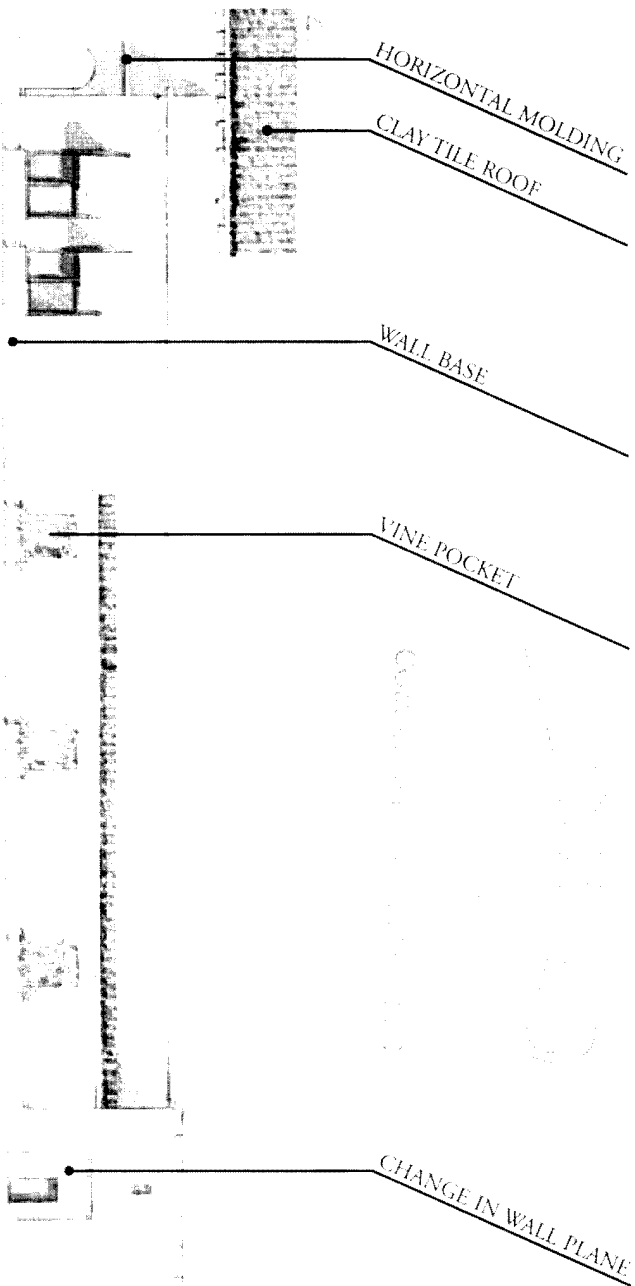
Elevation - Type A2

b. Façade Type "B"

This façade type is considered the "side" of the building and may include a secondary entrance. "B" Type Façades are located facing onto a secondary road or drive aisle. This façade type is moderately articulated with a careful use of architectural components. The accompanying diagrams illustrate typical examples for Façade Type "B".



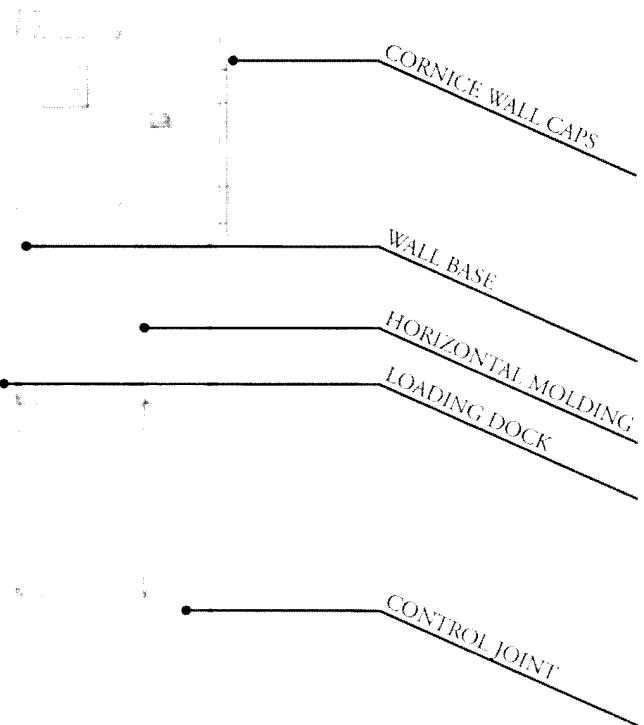
Elevation - Type B1



Elevation - Type B2

c. Façade Type "C"

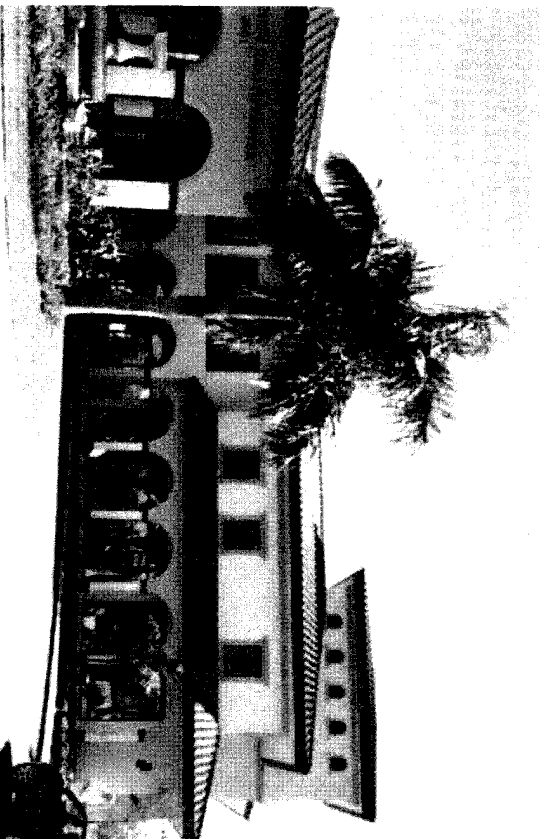
This façade type is considered the "back" of the building and may include a loading area. "C" Type Facades generally face onto service areas and back of house parking fields and other non-public spaces. This façade type is somewhat articulated using the same language of architectural components as the building's corresponding "A" and "B" façades. Additional requirements for commercial retail loading areas are addressed in "Site Planning", Part 3 of this manual. Façade Type "C" shall incorporate landscaping, berms, and other appropriate design features as screening elements when necessary, particularly when facing residential structures on abutting residential sites.



2. Characteristics of Office/Institutional/Hospitality Buildings

Office, Institutional, and Hospitality buildings provide an additional facet of community services to Coconut Point. Inhabitants and visitors can benefit from the proximity of hotels, healthcare facilities, and offices. The highest concentration of these building types lies within the South Village district. Serving the non-mercantile needs of the community, these generally multistory buildings often have particular requirements that distinguish them from Coconut Point's other commercial buildings.

Multistory Office, Institutional, and Hospitality buildings should incorporate the general principles, as well as the specific design details, contained in this manual. Buildings of this type are generally set back from the roadway, tucked into the landscape and accessed through landscaped parking areas. Criteria include the encouraged use of different façade materials, fenestration, and ornamentation to articulate a base, shaft, and cap. Recesses, projections, portals, arcades, and other architectural features are encouraged to express major entries. Frequently, these buildings will require porte cocheres or drop off zones for lobby access which should continue the architectural language of their corresponding primary structures.



ADD 2004-00060

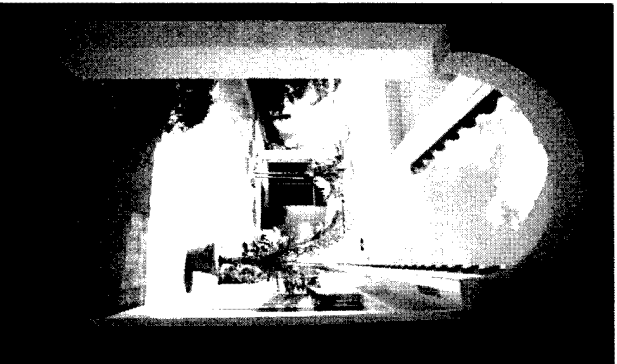
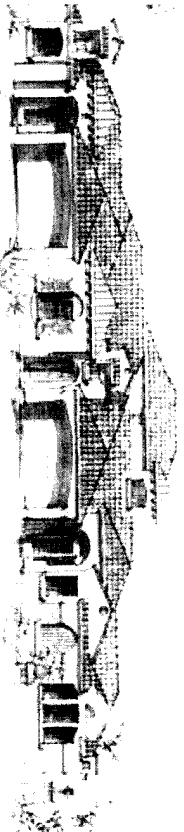
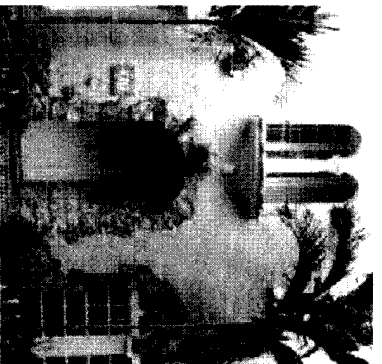
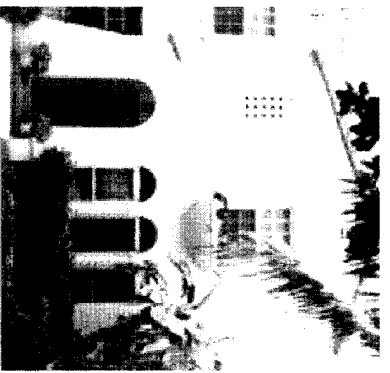
COCONUT POINT
COMMUNITY DEVELOPMENT
ARCHITECTURAL
MANUAL

IV. ARCHITECTURE - RESIDENTIAL

1. Characteristics of Residential Architecture

Factors that shape the design of residential architecture at Coconut Point include the following:

- Incorporation of architectural elements such as: hipped and gabled roofs; arched windows and doors; decorative shutters; casement windows with muntins; wrought iron or cast stone railings; cantilevered balconies; verandas, porches and courtyards; the appearance of "thick" walls; chimneys; exposed rafters at eaves; planters; textured "hand troweled" and smooth stucco wall finishes; tile roofs.
- The exteriors of all buildings must be designed to be compatible with the natural site features and landscaping of the residence/building and to be in harmony with their surroundings.
- The landforms, the natural contours, local climate, vegetation, and views should influence the building location, the building form, and the architectural style.
- The DRA may disapprove plans if, in its judgment, the massing, architectural style, roofline, materials, colors or other features of the building do not meet these standards.
- No factory-built modular or mobile home type construction shall be permitted without DRA approval.
- Equal attention to detail and architectural definition must be given to all sides of the structure, including, but not limited to, the foundations, banding, accent materials, roof character, and window treatment.
- Retaining walls, planter walls, and privacy walls should be used to break up the elevation of a building and help relate the structure to the ground.
- All exposed concrete block or poured concrete foundations and site retaining walls must be covered with an appropriate wall-facing material, which must be approved by the DRA.



ADD 2004-00060

Exterior Wall Treatments

The following are acceptable exterior wall treatments for vertical surfaces:

1. Painted stucco in natural earth tones.
2. Anodized or paint finish are required on all metal surfaces including windows, flashing, drops, and caps, in colors matching the approved adjacent surface color.
3. Fascias must be a minimum of 10" wide cedar, painted to match the approved trim color. Other fascia materials comparable to cedar may be approved by the Design Review Authority.
4. Soffit material shall be wood or stucco. Aluminum or vinyl may be allowed at the discretion of the Design Review Authority. All other materials are prohibited.
5. Vinyl, wood, metal or lap siding is prohibited.

Exterior Colors

Color selections for all exterior material shall be in warm, light earth tones. No pastels, pure whites, primary or secondary colors may be used except as approved by the DRA. Secondary owners must submit for approval color samples of all exterior surfaces to the DRA for review and approval no later than at time of final approval, including specifications and samples for window and metal finishes, roof material, trim, shutters, chimney caps, medallions and any other exterior surfaces and accents.

Roofing

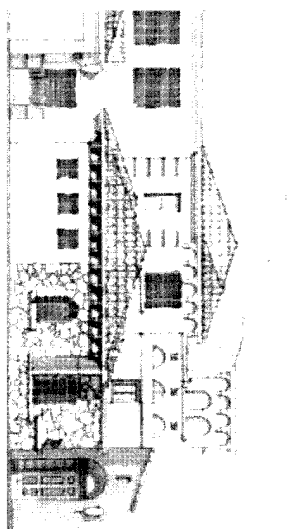
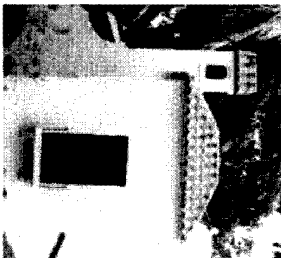
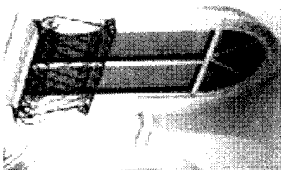
Roof pitches and overhangs shall be designed for compatibility with adjacent roof profiles in front, side and rear elevation, and may vary as dictated by architectural design. A roof pitch between 4:12 and 8:12 is required. A minimum overhang of 12" is required. Asphalt or fiberglass roof shingles and metal roofs are prohibited. Metal roofs as accents elements may be approved on a case by case basis. Roof materials which are acceptable are clay or concrete barrel, flat, and "S" tile. Roof colors shall be warm earth tones; pure white, blue or any bright colors are prohibited. Design Review Authority approval is required for a roof material change.

Roof Accessories and Equipment

Design Review Authority approval is required for all rooftop equipment and accessories, unless specifically excepted in this Section. All rooftop equipment must match roofing colors or be of a color that complements the building and must be placed as inconspicuously as possible. Exposed flashing gutters and downspouts must be painted to match the adjacent surface of the structure. No exposed attachment straps will be allowed.

Windows, Doors and Trim

Windows should be clear glass or a tinted glass of bronze, gray, or smoke colors. No reflective glass, film, or tinting may be used. Aluminum window frames shall be bronze, charcoal, white or other approved color. Screen frame colors shall match window colors. Windows shall be banded on the front and at rear elevations outside the lanai. Side elevations shall have either banding around the windows or banding/molding detail under the eaves. Lanai screen fabric and frames shall be bronze or charcoal color. The Design Review Authority must approve security treatments for doors and windows; however, no "burglar bars," steel or wrought iron bars, or similar fixtures shall be installed on the exterior of any windows or doors of any dwelling.



ADD 2004-00060

Hurricane/Storm Shutters

DRA approval is required for exterior shutters. The shutters must be of a material similar to and of a color and design generally accepted as complementary to the exterior of the house. No hurricane or storm shutters shall be installed unless they have been approved by the DRA.

The most significant concern from an architectural standpoint, relating to shutters, is along the front elevations or other highly visible portions of the buildings. Shutters can and should be softened with landscaping where possible. This can be reviewed on a case by case basis. Storm shutters must blend into the window details or into the window covering requirements such that a patchwork or "checker board" look does not occur. They should be of consistent color, detail and style. Typically, shutters should be the same color as adjacent wall color and must be uniform in style of all openings. The colors of the storm shutters must be compatible and consistent with the architecture of the building.

Screen Doors

Screening is not allowed at the garage doors. Front screen enclosures are not permitted unless pre-approved as a feature of a model or building. The material must match the existing exterior doors and the color should be generally accepted as complementary to that of existing doors on the house or be bronze or black.

Accessory Buildings

Owners shall secure DRA approval prior to construction of any accessory building or permanently installed structure. Accessory buildings shall meet the following criteria:

- a. An accessory building must be of the same color, material and architectural style as the main residence or of color, material and style that is generally recognized as complementary to that of the main residence. An accessory building's roofing materials shall match those of the main residence.
- b. Any utilities servicing accessory buildings shall be installed underground.

- c. Accessory buildings generally shall be located in the rear one third of the yard, shall not unreasonably obstruct any adjacent neighbor's view of the lakes or open areas, and must be screened by a fence or vegetation.
- d. Free standing metal utility sheds or storage sheds are not permitted.

Air Conditioning Equipment

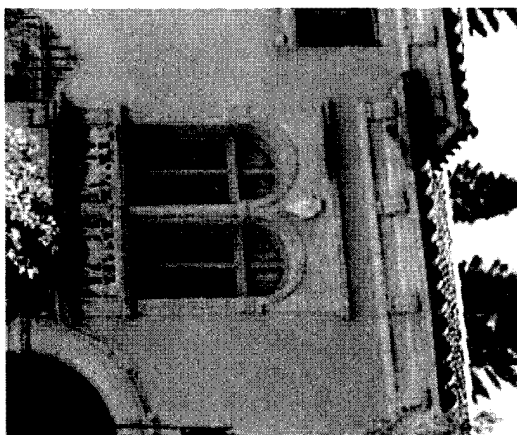
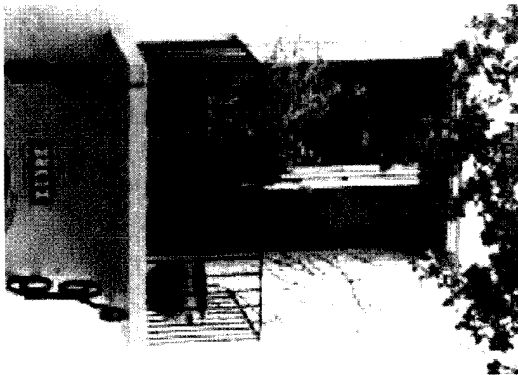
DRA approval is required for the installation of air conditioning equipment or evaporative coolers. No window air conditioning units shall be allowed. Wall units may be installed with DRA approval. All air conditioning equipment must be screened by using a partial block wall with landscaping or a combination thereof.

Satellite Dishes

One small and inconspicuous satellite dish antenna having a diameter of 18" or less, which is installed upon or adjacent to any residence, is not visible from adjacent properties or the street, and is integrated with the residential structure and surrounding landscape, does not require DRA approval. Such equipment shall be located only in side or rear yards and placed as inconspicuously as possible. Other satellite dishes with a diameter of more than 18", and all other microwave dish antennae, satellite dish antennae, exterior radio antennae, or other electronic signal-receiving or transmitting equipment to be located on the exterior of the home must be reviewed and approved by the DRA. Notwithstanding the above, all residences are required to be pre-wired for cable television and telecommunications.

Awnings and Canopies

The installation of awnings or canopies require Design Review Authority approval. The awning or canopy color must be the same as or generally recognized as complementary to the exterior of the residence. Metal awnings are prohibited.



Flagpoles

Yard-mounted flagpoles are not permitted on any portion of the properties, except that a Developer may erect such flagpoles on a temporary basis at any model homes maintained on the properties by such Developer. Owners may periodically attach American flags for special occasions, that are a reasonable size, to their house or garage without the approval of the Design Review Authority. No other flags are allowed.

Garages

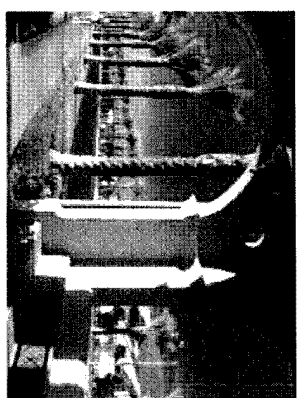
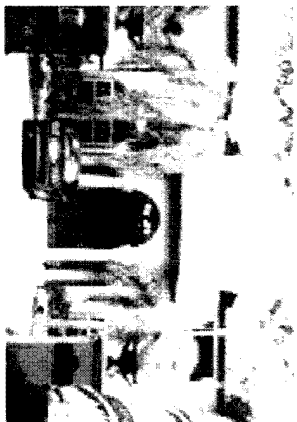
Enclosed garages are required. Garages must be approved at the time of architectural review for the main residence/building. Such garages shall be compatible with and complementary to the building design in architectural style, material, color and location, including but not limited to the same roof tile and stucco walls/posts. The garage and specifically the garage door(s) should not be the main focus of the front facade.

Driveways/Walkways

Driveways shall be of pavers, or "decorative" type concrete. Other materials may be approved at the discretion of the Design Review Authority. Gravel, asphalt, plain concrete or shell driveways are prohibited. Brick, flagstone, stepping stones and pre-cast patterned or exposed aggregate concrete pavers may be approved for walks or patio areas.

Decks and Balconies

Owners shall secure Design Review Authority's approval before installing decks or balconies. Decks and balconies must be constructed of durable materials and be compatible in color and style with the architecture of the building. Decks and balconies must be installed as an integral part of the residence or patio area. Any such decks or balconies must be located so as not to obstruct or diminish the view of or create an unreasonable level of noise for adjacent property owners.



Hot Tubs and Saunas

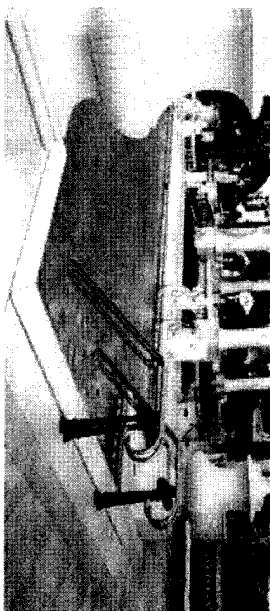
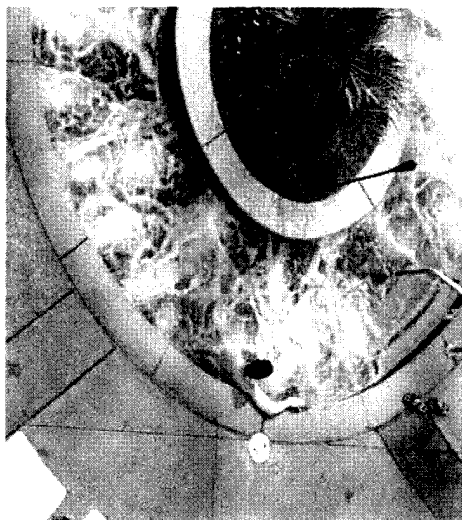
DRA approval is required for the installation of any hot tub, jacuzzi, sauna or spa. Any hot tub, jacuzzi or spa shall be an integral part of the deck or patio area and/or the rear yard landscaping. A hot tub, jacuzzi or spa shall be located in the rear or side yard, shall be buffered in such a way that it is not immediately visible to adjacent property owners, and shall not create an unreasonable level of noise for adjacent property owners. All mechanical equipment necessary for the operation of any hot tub or sauna must be located in the rear of side yard and screened from the street and neighboring units by a fence, wall or landscaping; such screening to be in accordance with these Design Guidelines and approved by the DRA.

Pools

DRA approval is required for the construction or installation of pools. Pools, if approved, must be located in the rear yard and must be an integral part of the residence. Courtyard type homes may provide pools within the courtyard area of the residence, provided that they are properly screened and buffered from front and side yards. Landscaping shall be provided around the foundation of the pool and must be an integral part of the overall landscape plan. All mechanical equipment necessary for the operation of any pool must be located in the rear or side yard and shall be screened from the street and neighboring residences/ buildings by a fence, wall or landscaping, such screening to be in accordance with these Design Guidelines and approved by the DRA. Above-ground pools are prohibited.

Recreational Equipment

Recreational equipment shall not be installed in the front yard of residences/buildings or attached to houses or garages. Recreational equipment in side or rear yard must be reviewed and approved by the DRA. Said review shall be based upon, but not limited to, the following considerations: proximity of equipment to property lines and proximity of equipment to neighbor's living areas, lakes and common areas. Additional landscape buffer may be required.



Technology

All builders must pre-wire dwelling units with category 5 wire (or other defined community standards) for telecommunication purposes.

Trash Containers

Trash containers shall be stored inside the unit, or in side yards behind the front building line and shall be screened from the street by a fence, wall or landscaping.

Miscellaneous Items

The DRA shall review all Miscellaneous Items not covered in these Guidelines.

ADD 2004-00060

2. Characteristics Specific to Mixed-use Residential Architecture

Mixed-used residential architecture is generally grouped together in clusters, as in town homes, or included as part of a multistory structure, often with a retail component on the ground level. These types of residential architecture at Coconut Point should adhere to the established Mediterranean Revival style while simultaneously providing a sense of comfort and "address" for inhabitants. Factors that shape the design of multi-family and mixed-used residential architecture at Coconut Point include the following:

- Variations in exterior massing break down building scale and add variety to repetitive elements.
- Balconies and terraces provide opportunity for architectural expression and outdoor living.
- Multistory buildings are encouraged to use different facade materials, fenestration, and ornamentation to articulate a base, shaft, and cap and to articulate horizontally.
- Clear expression of lobbies and entrances is encouraged through the use of recesses, projections, porails, arcades, patios, and other architectural features.
- Drawing on a language similar to that found in single-family residential buildings creates a feeling of "home" for all dwellings at Coconut Point.



PART 3
SITE PLANNING AND LANDSCAPE DESIGN

1. INTRODUCTION - SITE PLANNING AND LANDSCAPE DESIGN

Site Planning and Landscape Design play an integral role in creating the new Mediterranean mixed-use lifestyle community of Coconut Point. A semiformal nature reminiscent of the historical estate landscape of late 19th and early 20th century Florida is articulated through grand features such as rhythmically spaced skyline palms, colorful shade canopy trees and elegant boulevards. The verdant Southwest Florida environment and its charming, casual legacy of gardens, courts, verandas, vistas and waterways, is further accentuated through rich ground planting and lovely site amenities.

The Landscape design of the Coconut Point project will be cohesive throughout the overall site development; it will respond to the existing area environment, the architecture, and the community. These standards are designed to provide a coordinated landscape program with an emphasis on visual continuity throughout the entire project, while avoiding adding unrelated elements to the site. The landscape should enhance the pedestrian environment, serve as a functional part of the development in terms of identity and increase development marketability and identity.

The project site has significant exposure to US 41 to the West, Sandy Lane to the East, and Williams Road to the North. It is intended to provide landscape screening of site improvements as seen from the roadway, while maximizing visibility to the tenants. To this extent, a 30' informal landscape buffer will be provided adjoining the US 41 right-of-way for the full extent of the site. Condition 6 of Resolution Z-02-009 sets the required standard for the buffer along US 41. A series of "Green" windows enhance the view to many different site features such as lakes, open space parkways, and naturally landscaped pre-treatment areas.

ADD 2004-00060

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

MAY 20, 2004

II. SITE PLANNING

1. General Characteristics of Site Planning at Coconut Point

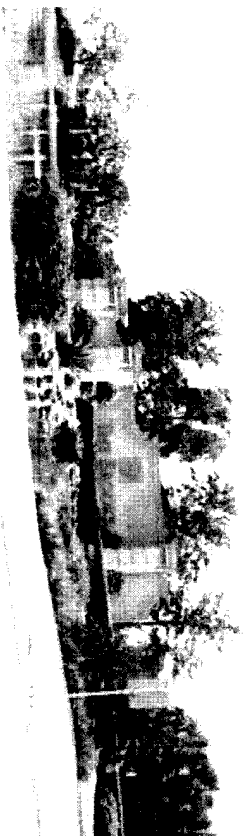
Site Planning at Coconut Point requires careful consideration of both the built environment and the natural landscape. Designers should bear in mind the following objectives:

The landscape design concept must respond to the specific site, as well as the Mediterranean Revival character of Coconut Point. It should bring all elements together in a cohesive landscape design; serving both aesthetic and practical needs.

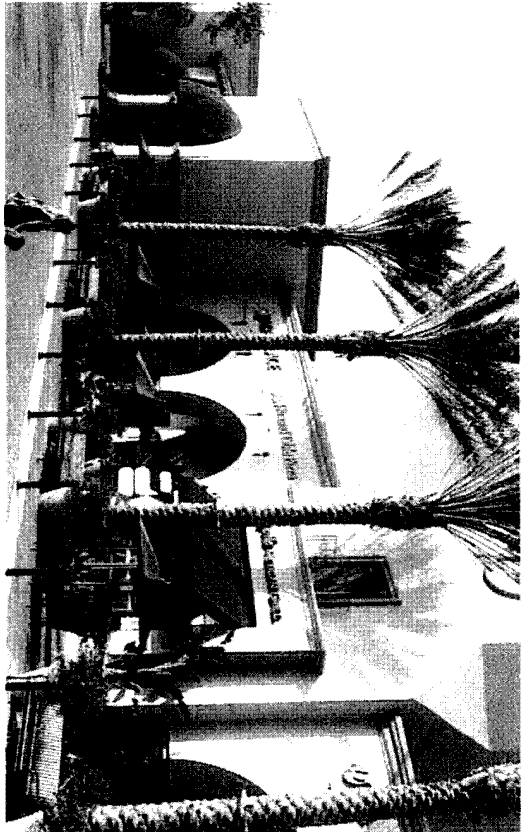
The landscape should reinforce the design objectives of the architecture and signage so that the overall concept unites the various elements, emphasizes the main entries to the districts and special site areas, and creates focal points using plant materials.

The designer must be conscious of the scale at which design elements and plant material will be seen and experienced.

Undesirable and unsightly objects shall be suitably screened from view.



ADD 2004-00060



Specific requirements and guidelines for particular site features have been developed. The following categories represent the primary site elements that, through their careful design, may affect visitors' perceptions and reinforce Coconut Point's contemporary Mediterranean identity of casual elegance and efficient accessibility.

A. Pedestrian Circulation, Sidewalks, and Paving

The master development will, in terms of the DRI, provide pedestrian sidewalks from public right of ways to and along all internal connector streets. All development parcels are to provide pedestrian access to the master pedestrian sidewalks provided. All developments are to provide a sidewalk on at least one side of all main entry drives and internal roads serving the project.

All commercial developments are to provide, at a minimum, one coordinated pedestrian sidewalk system, interior to the development connecting the fronts of all buildings with the development and connected to the master development sidewalks. All parking fields with in these developments are to be provided with reasonable pedestrian access paths to their related buildings.

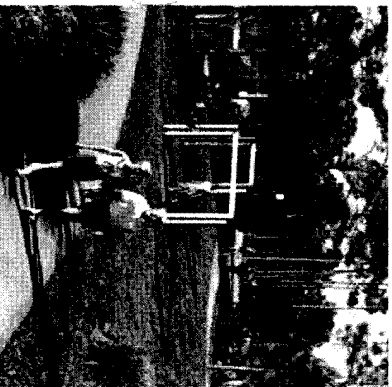
Multi-family developments are to provide pedestrian access from all units to the pedestrian circulation system.

Sidewalk locations and sizes must meet all county and other relevant codes.

In terms of these guidelines, sidewalks along all roads and drive lanes must be a minimum of 5'-0" wide and are to be located a minimum of 4'-0" (a larger dimension is preferable – especially on major traffic roads) from the driveway side.

Required walkways shall be designed with a minimum of five feet width that is clear of any vehicle overhang with the exception of sidewalks through parking lots which shall be a minimum width of 4'-0". The design of these walkways is to take into account the tree requirements within the parking fields. If a 10-foot minimum area is not provided for canopy trees that reach a mature height of 20 feet or more, smaller trees must be planted.

Reasonable pedestrian access shall be defined as one parking lot pedestrian access per 300 parking spots as a planning rule. The DRA will review submission on a case by case basis to ensure efficient and meaningful access has been provided.



ADD 2004-000060

B. Vehicular Circulation

View corridors, as seen from automobiles, into the landscape are to be highlighted and preserved.

Desired views in the landscape design shall take into account the distance from the vehicle and the speed at which it will be best viewed.

Roadway widths shall be based on hierarchy of primary, secondary and tertiary streets. Landscape and site features shall relate in scale to the corresponding roadway types.

Entrance drives shall be identified by entry markers, landscape and signage.

Vehicle roundabouts are an opportunity to utilize special paving and other site and landscape features.

Internal vehicular circulation benefits from connections between adjacent properties. This circulation is encouraged to improve accessibility and to reduce congestion on main streets.

C. Site Furnishings and Amenities

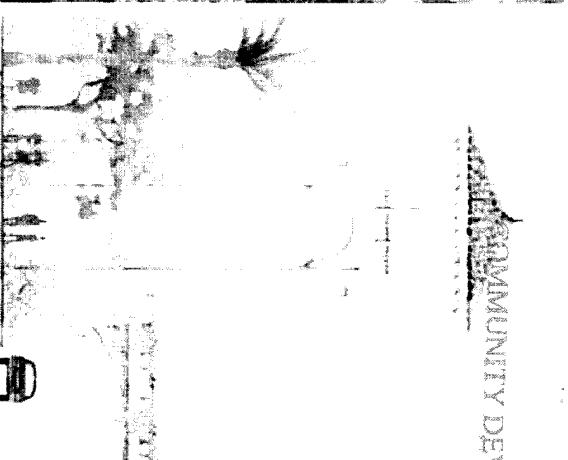
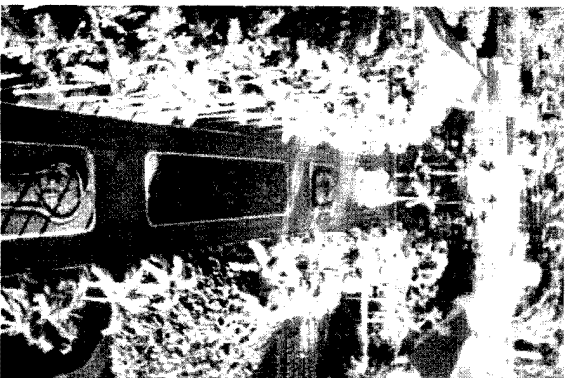
Comfortable and attractive street furniture shall be provided in public spaces for public enjoyment, comfort and convenience. These may include seats and benches, trash receptacles, information kiosks or directories, and public telephones.

Other encouraged site furnishing amenities can include planters and bollards, decorative fountains, tree grates, benches, public art, decorative street name indicators, boulders / rocks, and sculptures.

A concept shall be developed for integrating furnishings with the design of planting, irrigation, and pedestrian systems.

The design of all site furnishings shall reflect the overall Mediterranean identity of Coconut Point and correspond to other design features within the project.

Providing places to park bicycles encourages their use. Bike racks shall be installed at appropriate locations.



MAY 24 2004

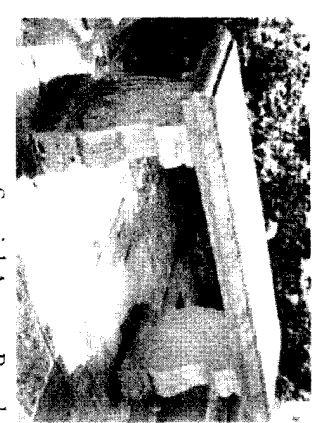
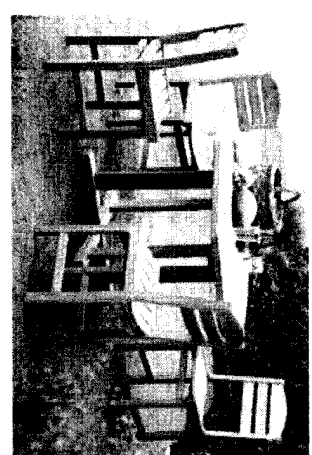
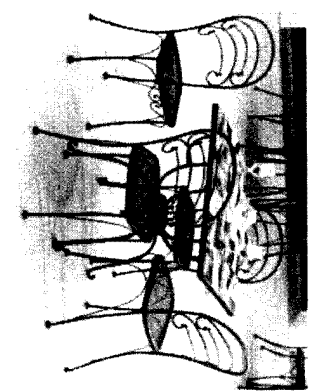
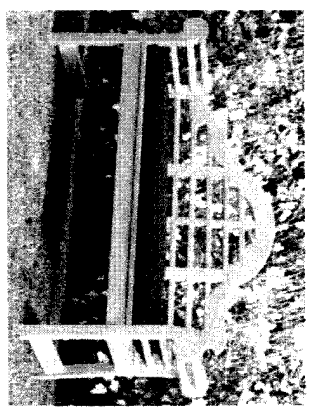
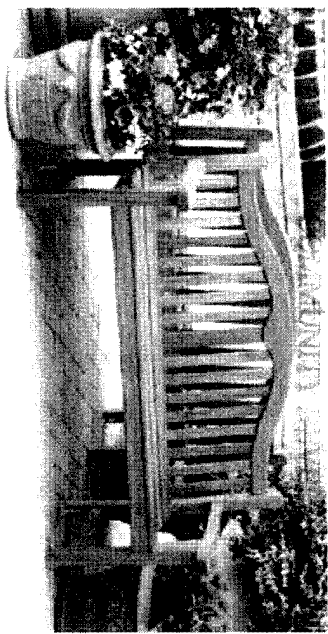
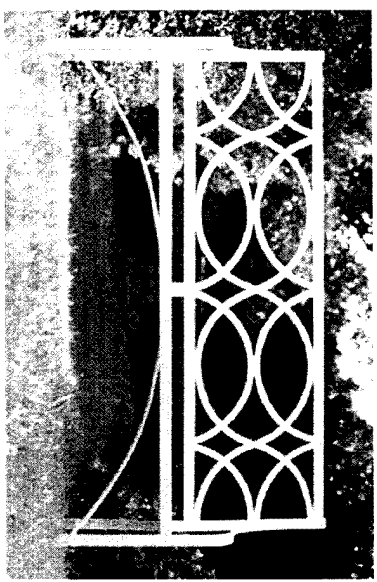
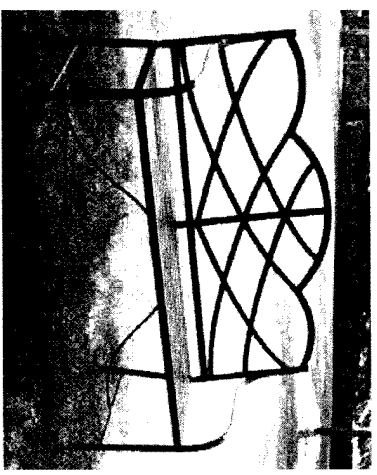
COMMUNITY DEVELOPMENT

APPROVED



I. Benches

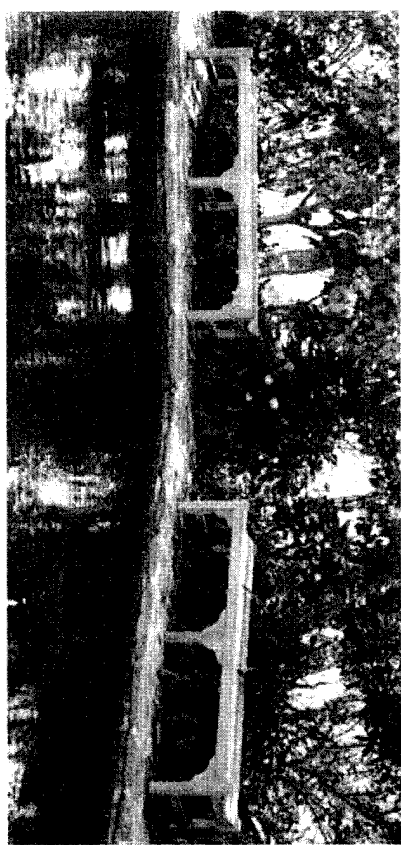
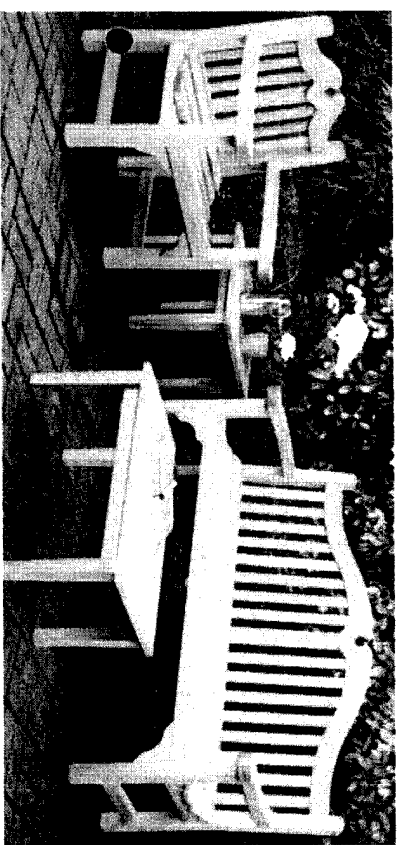
Handwritten notes:
 1. Garden Courtyard
 2. Main Street / Town Center / Residential
 3. Special Accent Bench



Garden Courtyard

Main Street / Town Center / Residential

Special Accent Bench

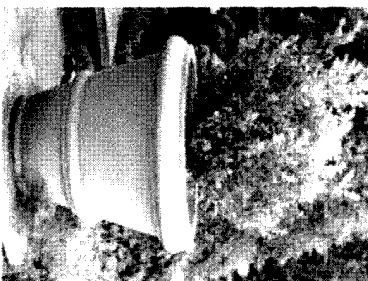
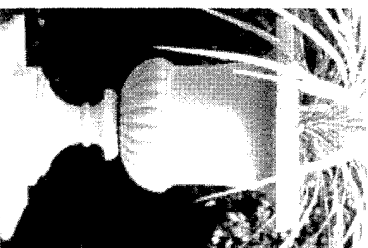
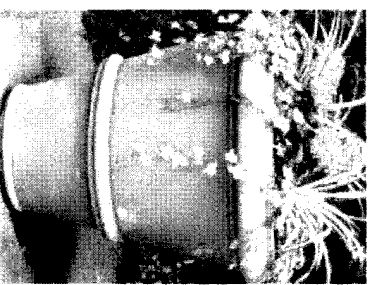
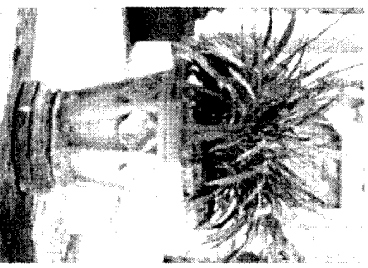
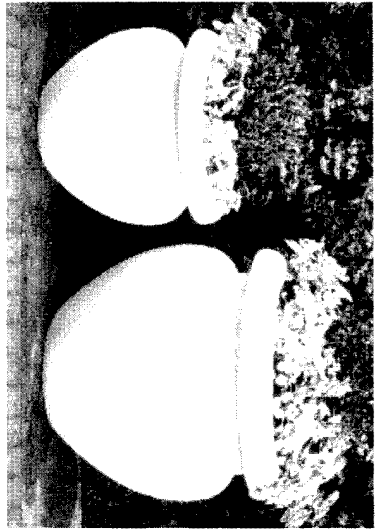
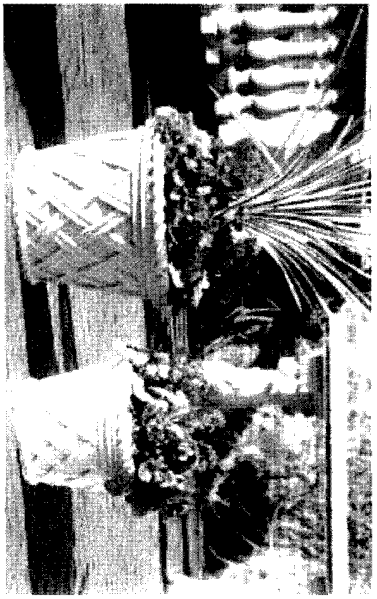
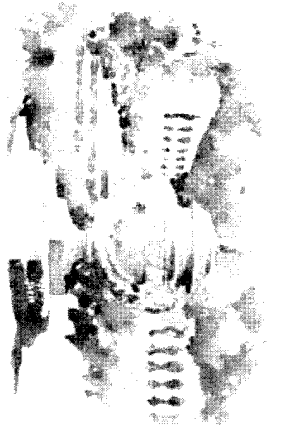
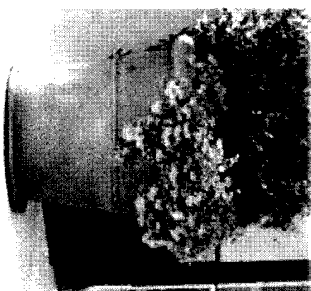
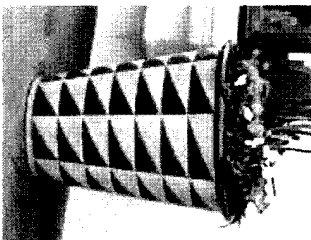


Garden Courtyard - Residential

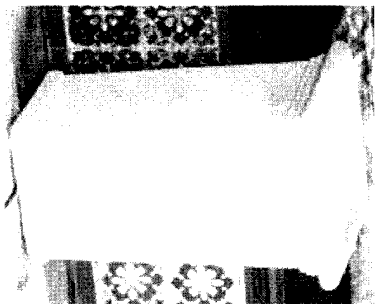
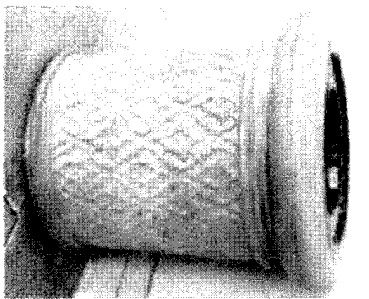
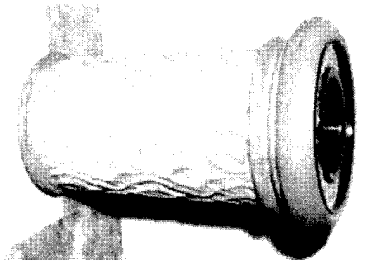
ADD > U U 4 - 0 0 0 6 0

MAY 20, 2004

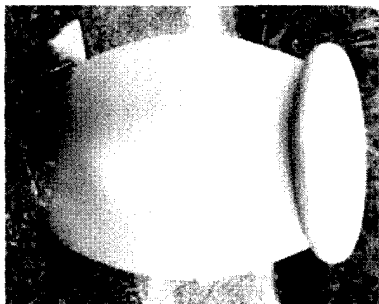
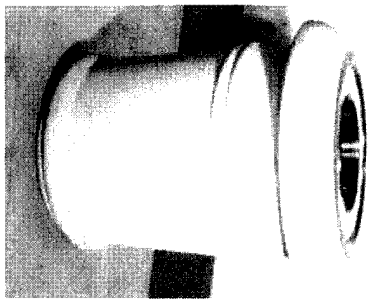
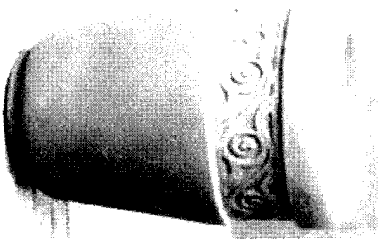
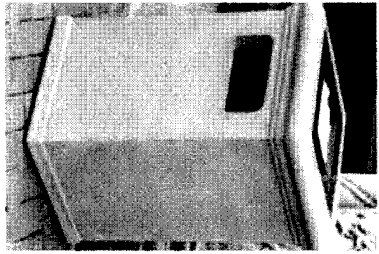
2. Planters



3. Ash Urns



4. Trash Receptacles



5. Railings/Balustrades

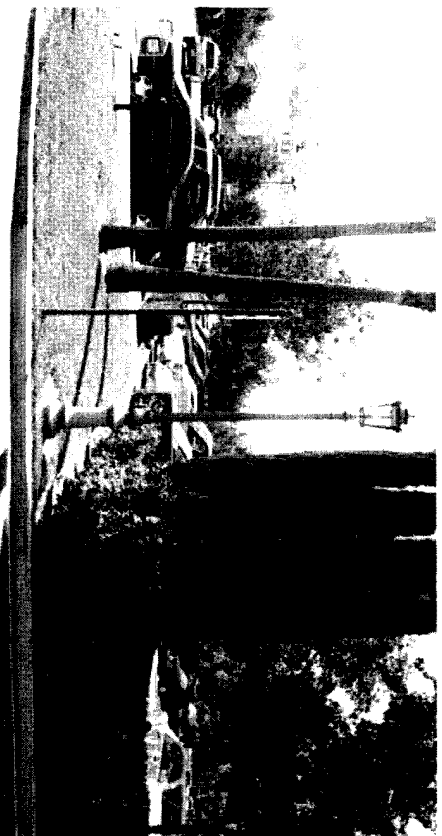


D. Parking

Landscaped parking islands are to be provided in accordance with the pertinent codes and, at a minimum, should be provided at the ends of all bays of parking to separate the parking from the driveways. It is also acceptable to provide continuous landscaped medians between parking aisles. These medians, when used, should be placed no further apart than three aisles of parking and must be such as to provide for minimum distances from parking stalls to shade trees. Where medians are used they may be increased in size by 2'0" against the parking stalls to allow for "car overhang". In such case, the parking stall is reduced by 2'0".

Islands and medians are to be sized according to code but need to be a minimum of 10'0" x 18'0" in order to meet open space requirements. They are to be planted with shade and other trees, shrubs, groundcover and turf. The two-foot overhang may be paved with pervious or non-pervious material or planted with groundcover, turf or low growing plantings.

All parking areas are to be screened and buffered with aesthetic landscape planting, creating a desirable environment without unduly impacting the visibility or creating obstructions.



E. Screening Devices

At a minimum, screening shall be either by shrub and/or evergreen trees or by solid wall. These shall be designed to express the appropriate character and be coordinated with the building architecture. Trees and/or shrubs used to fulfill this requirement must be located in a suitable planting strip.

In commercial developments, walls are required to screen service areas in view of adjacent roadways and developments. All walls and columns must be compatible with the development's particular architectural style.

Articulated wall cap use is encouraged. When used for decorative purposes, tile and or stone appliques are encouraged.

Where expanses of solid building wall area are without architectural detail, landscape treatment is required.

Screen walls must be properly landscaped with vines or high shrubs of a size and spacing appropriate to the plant material. Type, size and spacing of planting at screen walls shall meet any local authority requirements. Screen walls do not take the place of any required landscaping.

Aluminum gates and railings must compliment the intended "Mediterranean" style of architecture.

Chain link fences are not permitted.

All fence, walls and railings are subject to the approval of local building

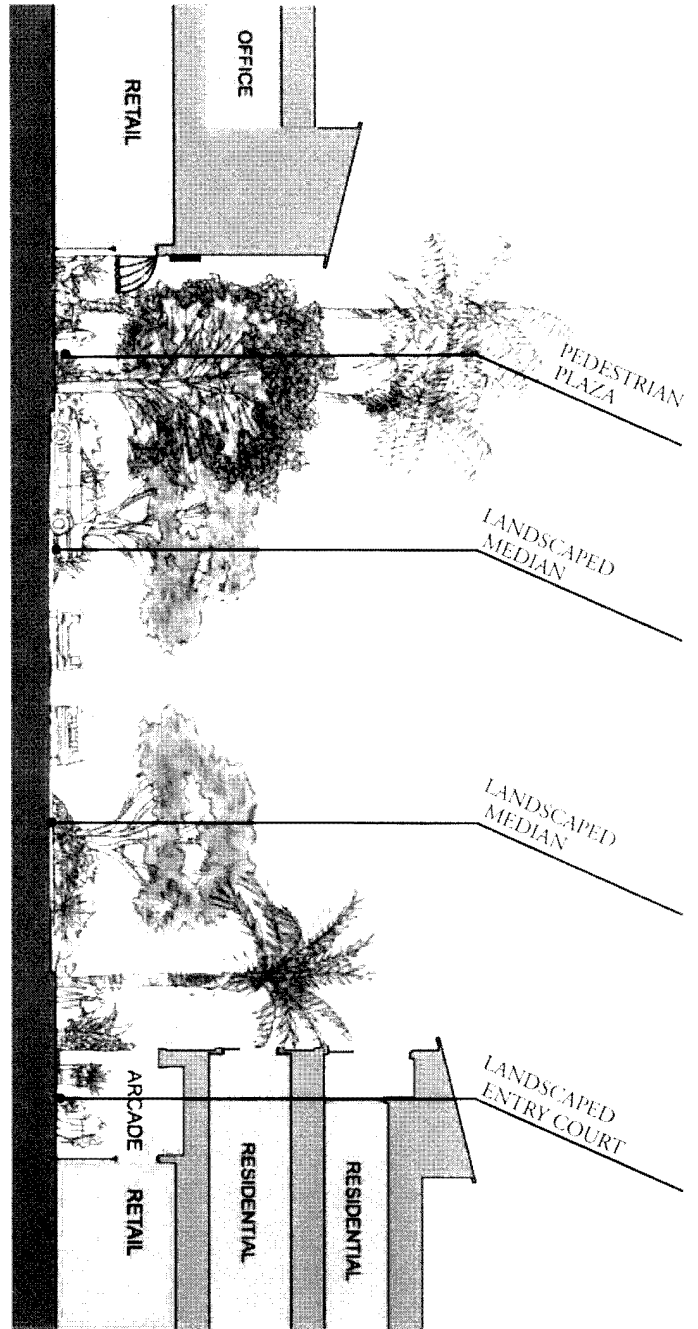
authorities and the Coconut Point DRA and must be compatible with the architectural style of the buildings. They must be properly maintained in accordance with the overall aesthetic standards of Coconut Point.



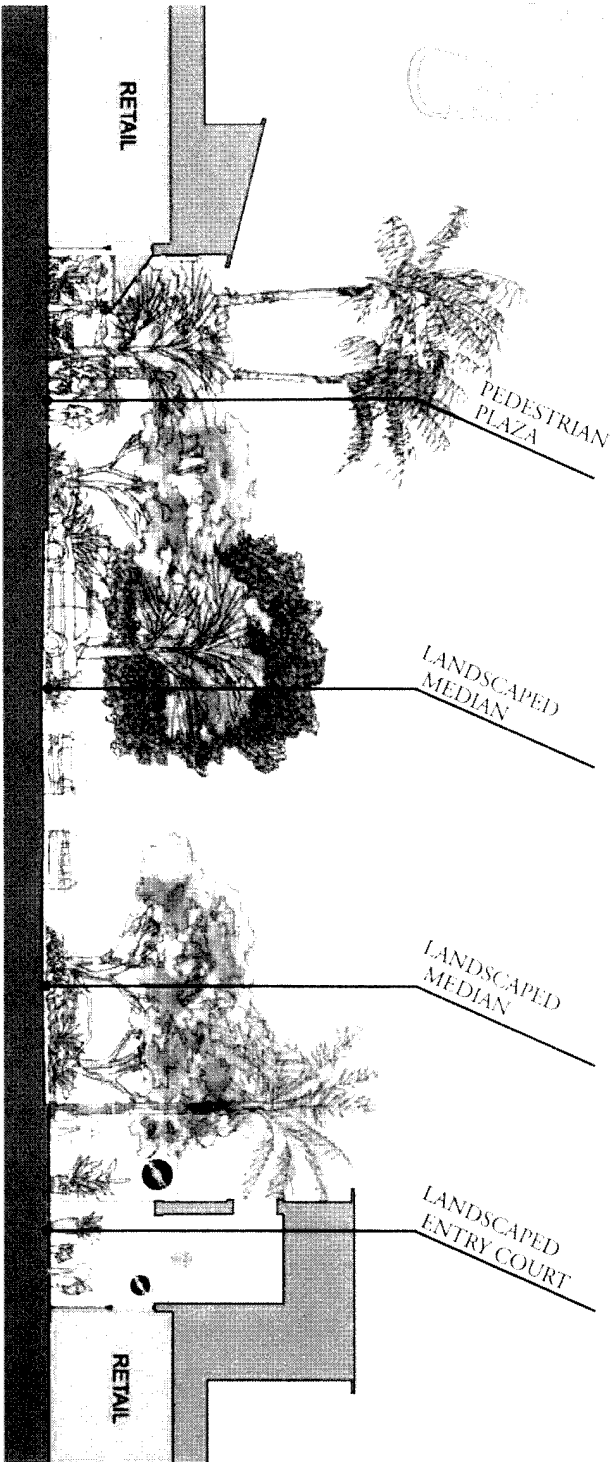
COCONUT POINT DEVELOPMENT
JUL 20 2004
RECEIVED

COMMUNITY DEVELOPMENT DIVISION

LANDSCAPE ARCHITECTURE



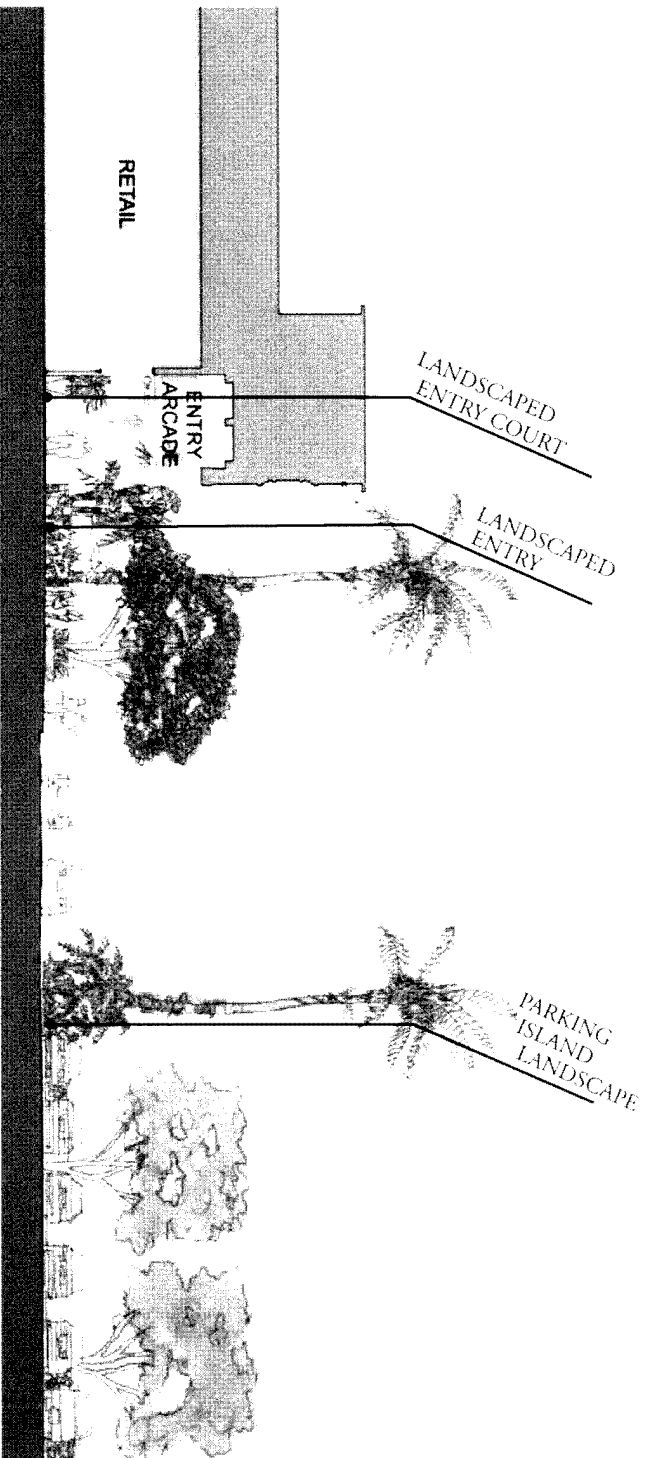
Section Through Double Loaded Street at Multi-Level Buildings



Section Through Double Loaded Street at Single Level Buildings

2. Characteristics of Site Planning specific to Commercial Retail Zones

A series of images and site sections have been established to convey the character of site planning specific to Commercial Retail Zones at Coconut Point.

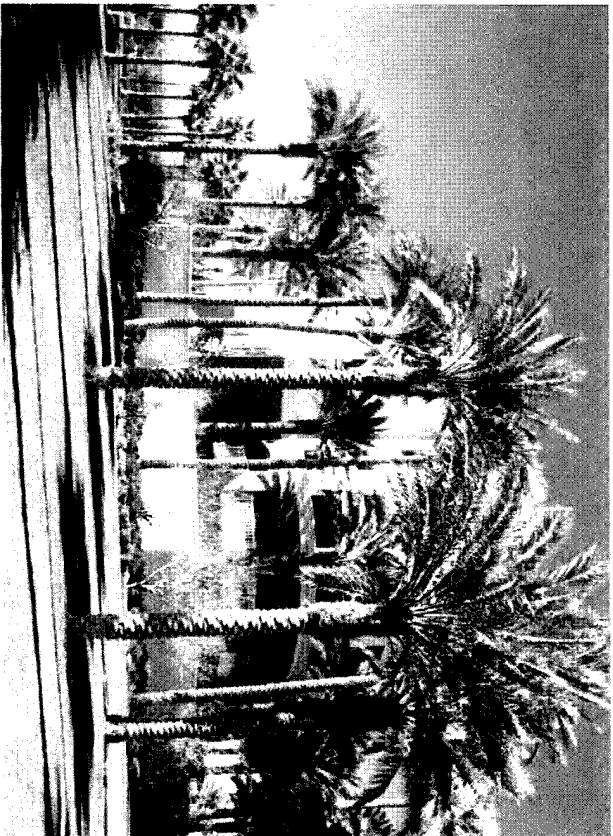


3. Characteristics of Site Planning specific to Residential Zones

A series of images and a site section have been established to convey the character of site planning specific to Residential Zones at Coconut Point.



RECEIVED
MAY 24 2004
COMMUNITY DEVELOPMENT

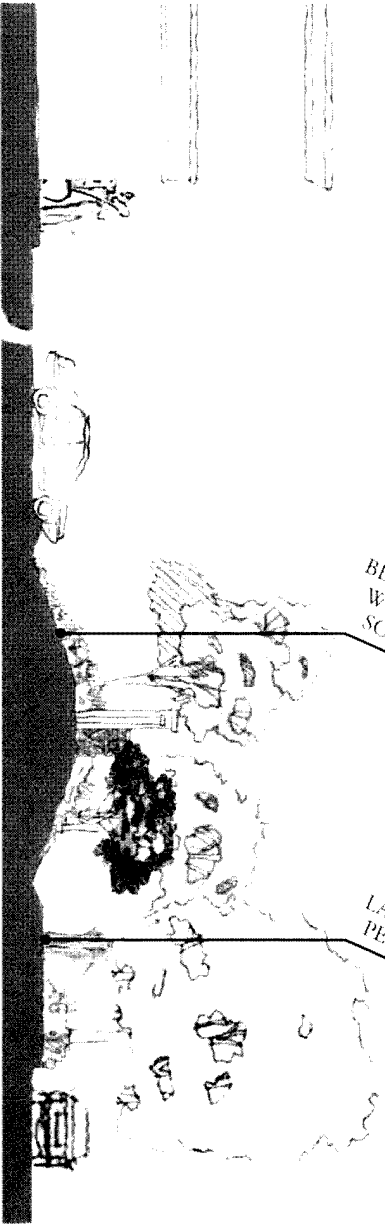


Multi-family residential parking shall require a secured area of parking from the public. These secured parking areas must provide the required amount of integrated site lighting for safety for the residences.



BERM AND WALL
WITH LANDSCAPE
SCREENING

LANDSCAPED
PEDESTRIAN WALK



Residential Buffer

ADD 2004-00060

MAY 20, 2004

III. LANDSCAPE DESIGN

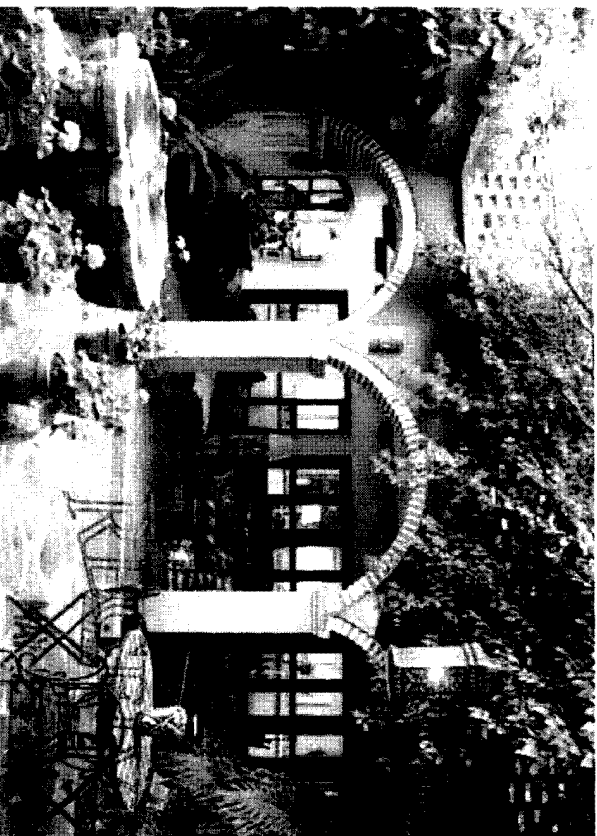
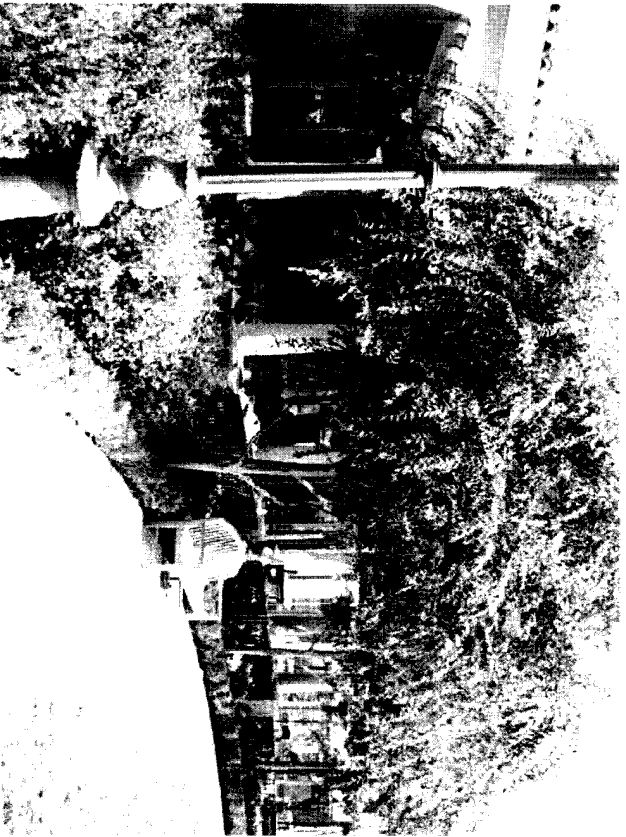
1. General Characteristics of Landscape Design at Coconut Point

The placement, location, and scale of plant materials at Coconut Point is an important aspect to the Landscape Design. Landscape up-keep and irrigation issues are equally important functional aspects to all landscape design at Coconut Point.

The following guidelines address planting points, irrigation, landscaped entries, and general landscape care. In addition, a comprehensive Approved and Recommended plant list is included for designer reference.

All landscape plans are to be prepared and sealed by a Landscape Architect licensed in the state of Florida. All plans must be submitted to the DRA for review and approval, in conjunction with site plans and architectural plans.

The landscape plans must show: all proposed site improvements, including: buildings, parking, sidewalks, lakes, fences, amenities, etc.; all tree, shrub and sod locations, sizes and quantities.



A. Planting Points

Landscaping, buffering and native plant requirements must be in accordance with local codes and regulations. In addition, they must be in compliance with the standards developed within the Coconut Point Guidelines.

Trees, shrubs and vines used as screening devices shall be designed to compliment and should provide 75% screen coverage within a two (2) year period.

The interior dimensions of any planting area or planting median must be sufficient to protect the landscape materials planted within and to ensure proper growth and maintenance.

Landscape standards will require the utilization of plantings from the established plant material palette.

Planting materials should provide a variety of visual effects in color, texture, seasonal interest and character; including seasonal flowering ornamental foliage, evergreen character, flowers, bark texture and color and physical form. Perennials, annuals, shrubs, trees, and groundcovers used in combination(s) are encouraged.

While the naturalistic style of landscaping is preferred, formal landscaping is also encouraged when used to compliment certain architectural styles.

The use of larger, mature tree and palm species is strongly urged to accentuate main entries, boulevards and in buffers where visibility to retail frontages is considered beneficial to the merchandising of their goods.

The layering of plants with varying textures and growth habits is also encouraged. Clustering of similar plant types is preferred, but care should be taken to give each variety the proper amount of space to grow to an easily maintained maximum growth habit.

Planting at project entry signs: appropriate planting is encouraged to augment project character at these sign types. Selected plant materials shall be of appropriate scale as to not prohibit visibility of signage content. Plant materials shall be chosen to enhance the overall landscape and the aesthetic and functional purposes of project entry signs. Refer to "Landscaped Entries" for a more detailed description.

Tree sizes and quantities shall meet or exceed Lee County code requirements. The use of larger, mature tree and palm species is strongly urged in residential and commercial developments. In commercial areas, larger trees are recommended to accentuate main entries and boulevards and in buffers where visibility to retail frontages is considered beneficial to the merchandising of their goods. Large growing palms such as Royals and Dates should be planted in rows or in bosques, while naturally clustering palms such as Sabals should be planted in odd number groupings with a minimum of three (3) palms in any cluster, of varying heights. When larger trees are used, the Lee County code allows for a reduction of tree quantities under the General Tree Requirement. Please refer to the Lee County code for details.

Shrubs shall be a minimum of 24" height, 3-gallon container, at time of installation.

Shrubs and groundcovers shall be of an appropriate size so that, at the prescribed spacing, appropriate coverage can be obtained after one growing season.

Vines shall be a minimum 3 gallon container and have a minimum of 30" trailers at time of installation.

Lawns shall be planted with a St. Augustine (Floratum, Seville, and Palmetto species) or Bermuda sod that will thrive under the growing conditions it will be subject to. Bahia sod may be preferable for naturally landscaped pre-treatment areas.

Lawn planting shall provide an immediate cover, within 30 days from installation. Sod planting is encouraged at entrances, building façades and lawn areas of small dimensions.

Sod shall be clean and reasonably free of noxious pests or diseases. Preferred species and variety to be determined.

No artificial plant of any type, size or color will be allowed as an exterior landscape material.

A minimum 8' clear trunk must be provided in pedestrian areas and where sight lines are necessary for safety reasons.

Berns shall be provided as required by the Lee County Land Development Code (LDC).

Buffers should consist of a combination of: Large growing trees and palms; mid-height small trees and palms; large and small shrubs designed to grow together within a one (1) year time period.

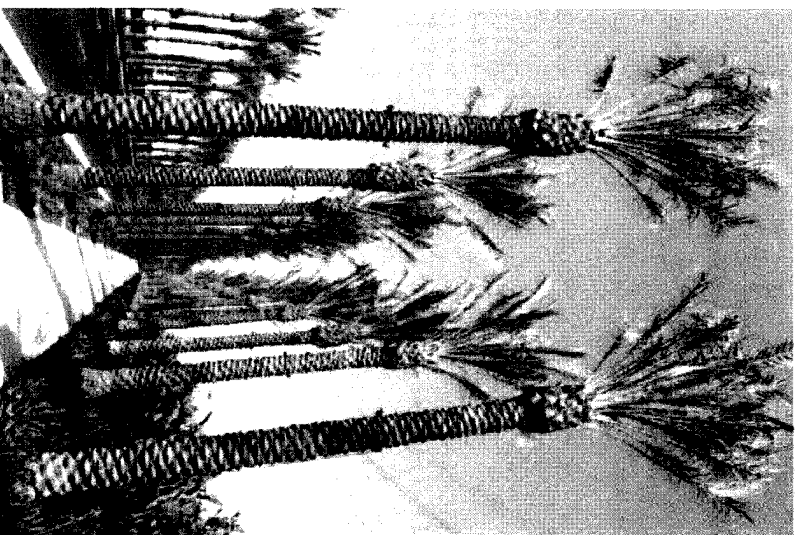
All beds should be mulched with pine straw or eucalyptus mulch at a minimum of three (3") thick (except seasonal flowerbeds, which must have a suitable planting soil). The use of Cypress mulch is prohibited.

Pine straw and/or mulch is not permitted as the primary groundcover. Mulch shall be used in planting beds and around trees, rather than solely as a design element.

All plantings must be Florida Number 1 or better in accordance with Grades and Standards for Nursery Plants, and be planted in accordance with sound nursery practices. Large trees and palms must be properly guyed with aesthetically pleasing, adjustable stays. No supports should be nailed into the trunks. Wood supports for Sabal Palms must be stained with a weathering gray, semi-transparent stain.

Good Xeric principles should be employed and plant groupings should have similar water requirements, creating "hydro zones", and be in context with their immediate environment.

Planting plans that employ improper plant spacing that require excessive maintenance will be rejected.



B. General Landscape Care

LDC standards for pruning are as follows: "Vegetation required by this code may only be pruned to promote healthy, uniform, natural growth of the vegetation (except where necessary to promote health, safety and welfare) and be in accordance with 'Pruning Standards (Revised 1988)' of the National Arborist Association. Trees must not be severely pruned to permanently maintain growth at a reduced height or spread. Pruning must not interfere with the design intent of the original installation. Severely pruned trees must be replaced by the property owner. A plant's growth habit must be considered in advance of conflicts which might arise (i.e. views, signage, overhead power lines, lighting, circulation, sidewalks, buildings and similar conflicts.)"

All areas must be cleaned up at the end of each workday, and all unplanted excavated holes must be properly barricaded.

Maintenance of the landscaping and irrigation shall be the responsibility of the owner, tenant or agent, jointly and severally. They must be maintained in perpetuity in good condition so as to present a healthy, neat and orderly appearance. All landscaped and hard surface areas must be kept free of weeds, refuse and debris. If at any time after a "Certificate of Occupancy" or other form of approval, the maintenance is found to be non-compliant, the administrative official shall issue notice to the owner that action is required to comply with this section and shall describe what action is required to comply. The owner, tenant or agent shall have 30 days to restore the site to the proper level of maintenance. If the landowner fails to comply within the allotted period, a crew will be brought in bringing the project up to the required standards and the owner will be billed for costs incurred.

C. Irrigation

All irrigation systems must be of an underground automatic type, with pumps and time clocks screened from view. Time clocks must be able to accommodate South Florida Water Management District Conservation Rules, and a rain shut-off sensor switch is required to prevent watering when rainfall is sufficient for landscaping needs. "Pop-up" spray heads are encouraged, and where exposed pipe extensions are necessary, they must be painted a dark green or black. Where spray heads may be undesirable, the use of drip emitters is encouraged.

Irrigation systems must be designed by a Landscape Architect, Irrigation Designer, or Certified Irrigation Design and Installation Company. Care should be taken to provide 100% coverage and to minimize overspray onto adjacent buildings or hard surface areas.

The maintenance of the irrigation system is as important as the maintenance of the landscaping. Maintenance agreements should provide for routine inspections.

The practice of Sustainable Irrigation should be incorporated whenever possible, such as the use of drip emitters system. The Sustainable Irrigation system should follow approved City and County practices.

All lawn and landscaped areas which adjoin the public right-of-way, entry drives, sidewalks, corridors and building perimeter planting areas must be irrigated with a fully automatic irrigation system.

All internal parking lot islands must be irrigated.

D. Landscape Entries

Landscape entries serve as functional, and aesthetic gateways into the project. Entries to all districts of Coconut Point are marked with landscaped treatments, varying in scale and detail according to their specific locations.

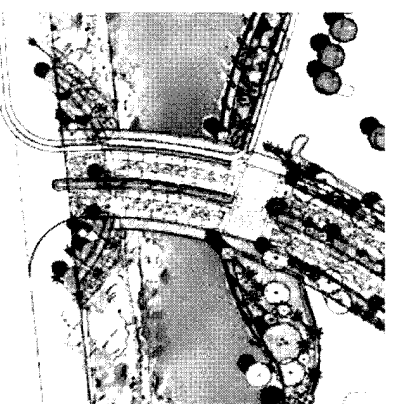
In commercial areas, each free-standing sign shall be accompanied by landscaping at the sign totaling no less than three-quarters (3/4) square foot of landscaped area for each one (1) square foot of sign area. In residential areas, each free-standing sign shall be accompanied by landscaping at the sign totaling no less than 1.5 square feet of landscaped area for each one (1) square foot of sign area. Landscaping shall provide a minimum of fifty percent (50%) coverage of the landscape area at installation. Turf grass shall be limited to a maximum of ten percent (10%) of the total landscape area.

Landscape entries are broken down into three categories: Feature Entries, Large / Medium Scale Entries, Landscaped Sign/Wall Entries.

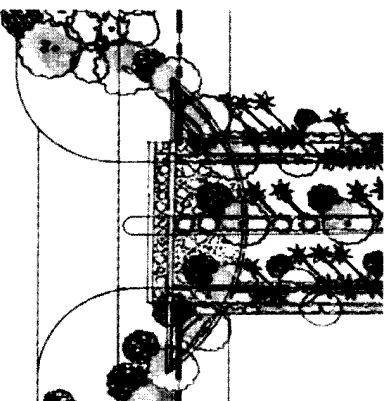
Feature Entries:

The landscape character for the Feature Entries creates a strong presence to demark its special importance. The landscaped Feature Entries correspond in location to the Feature Entry Tower. The following landscape elements define this entry category:

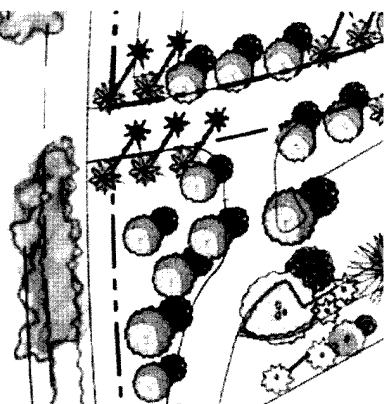
- Foreground Planting - A mixture of large, flowering canopy trees planted with a backdrop of palm species and a mixture of textural shrubs and flowering groundcover.
- Middle Ground - Signature lake water feature incorporating the project identity signage with a vertical water wall.
- Background Planting - A mixture of large canopy trees and accent flowering trees with informal groupings of palms, creating a sculptural lake edge.
- Decorative ~~entry~~ paving at entry with enhanced pavement banding.



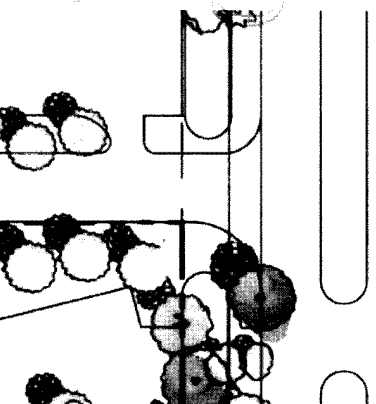
Feature Entries



Large/Medium Scale Entries



Landscaped Sign Wall Entries



Large / Medium Scale Entries:

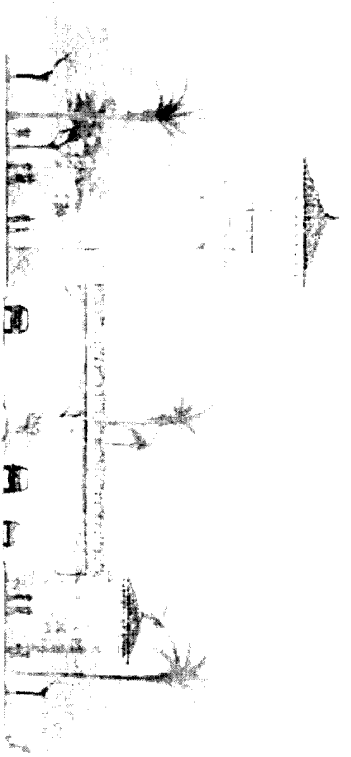
These entries are major statements and are provided within each district. The Large / Medium Scale Entries correspond in location to the Large Scale / Medium Scale Monument Signs, respectively. The landscape at these entries incorporates the following landscape elements:

- A ring of flowering canopy trees planted with a mixture of textural shrubs and flowering groundcover. Sculptural grading will be integrated with this landscape treatment.
- Informal groupings of canopy trees and shrubs incorporating sculptural grading with groundcover plantings.
- Decorative entry banding in crosswalks.
- Architectural pylons or walls, integrated into sculptural grading, planted with flowering groundcover.

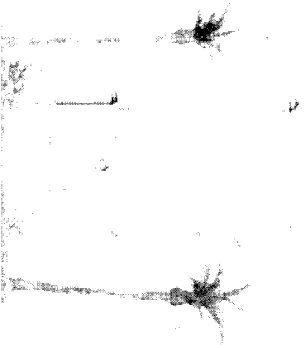
Landscape Sign Wall Entries:

These entries help to offer wayfinding throughout the project, as well as enhance the immediate area within that district. The landscaped Sign Wall Entries correspond in location to the entry sign walls. The landscape at these entries incorporates the following landscape elements:

- Small scale layering of planting materials utilizing groundcovers / vines, shrubs, ornamental canopy trees, and flowering canopy trees.
- Integration with the architectural materials of the sign wall using framing plants and accent plants.



Feature Entries



Large/Medium Scale Entries



Landscape Sign Wall Entries



D. Plant Material Lists

Recommended plant species from the suggested Plant Material Lists shall be used. Plant materials are also designated either "Approved and Recommended" or "Optional". A minimum of 60% of total plant materials shall be from the "Approved and Recommended" section of the list. Plant materials shall be submitted to the DRA for review and approval prior to final implementation.



Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Canopy Trees	Acer rubrum	Red Maple	✓		
	Bacida buceras 'Shady Lady'	'Shady Lady' Black Olive	✓		
	Bucera simaruba	Guincho Limbo Tree *	✓	✓	
	Coccoloba uvifera	Seagrape	✓		
	Gordonia lasianthus	Loblolly Bay	✓		
	Ilex cassine	Daboon Holly	✓		
	Ilex x attenuata	East Palatka Holly	✓		
	Juniperus sibirica	Southern Red Cedar	✓		
	Magnolia grandiflora	Southern Magnolia	✓		
	Pinus elliptica var. 'Densa'	South Florida Slash Pine	✓		
	Platanus occidentalis	Sycamore	✓		
	Quercus laurifolia	Laurel Oak	✓		
	Quercus virginiana	Southern Live Oak	✓		
	Sweetenia mahagoni	Mahogany	✓		
	Taxodium distichum	Bald Cypress	✓		
Flowering Trees	Teminalia catappa	Tropical Almond	✓		
	Bauhinia blakeana	Hong Kong Orchid	✓		
	Callistemon	Bottlebrush	✓		
	Cassia surattensis	Bush Cassia	✓		
	Chorisia speciosa	Silk Floss Tree	✓		

RECEIVED
MAY 24 2004
COMMUNITY DEVELOPMENT

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

Additional Suggested Plants

Recommended & Approved

Optional

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Flowering Trees continued	Coccoloba diversifolia	Pigeon Plum	✓	✓	
	Cordia sebestena	Geiger Tree			✓
	Delonix regia	Royal Poinciana	✓		
	Eryobotrya japonica	Loquat			✓
	Eugenia thombea	Red Stopper			✓
	Jacaranda mimosifolia	Jacaranda			✓
	Koelreuteria spp.	Golden Rain Tree	✓		
	Lagerstroemia indica "varieties"	Crape Myrtle	✓		
	Lagerstroemia speciosa	Queen Grape Myrtle	✓		
	Magnolia grandiflora	Southern Magnolia	✓		
	Magnolia virginiana	Sweet Bay	✓		
	Psidium littorale	Strawberry Guava			✓
	Spathodea campanulata	African Tulip			✓
	Tabebuia caraba	Silver Trumpet Tree	✓		
	Tabebuia chrsotricha	Gold Trumpet Tree	✓		
	Tabebuia heterophylla	Pink Trumpet Tree	✓		
	Tabebuia impetiginosa	Purple Trumpet Tree	✓		
Small Trees	Clerodendron quadriloculare	Starburst	✓		
	Clusia guttifera	Small Leaf Clusia	✓		
	Conocarpus erectus	Green Buttonwood	✓		
	Conocarpus erectus 'sericeus'	Silver Buttonwood	✓		
	Cupressus spp.	Cypress		✓	
	Filicium decipiens	Japanese Fern Tree	✓		
	Ilex cassine	Dahoon Holly			✓

ADD 2004-00060

MAY 20, 2004

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

Additional Suggested Plants
Optional
Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Small Trees continued	Ilex vomitoria 'Pendula'	Weeping Yaupon Holly	✓		
	Ligustrum japonicum	Wax/Japanese Privet	✓		
	Magnolia	'Bracken's Brown Beauty' Magnolia	✓		
	Magnolia	'Little Gem' Magnolia	✓		
	Magnolia virginiana	Sweet Bay	✓		
	Myrcianthes fragrans 'simpsonii'	Simpson's Stopper	✓		
	Myrica cerifera	Wax Myrtle	✓		
	Persea borbonia	Red Bay	✓		
	Piscidia piscipula	Jamaica Dogwood	✓		
	Quercus laurifolia	Southern Laurel Oak	✓		
	Viburnum odoratissimum	Sweet Viburnum	✓		
	Viburnum odoratissimum 'Awabuki'	Awabuki' Viburnum	✓		
Palm Trees	Cocos nucifera 'Maypan'	'Maypan' Coconut Palm	✓		
	Cyrtostachys retida	Sealing Wax Palm	✓		
	Livistona chinensis	Chinese Fan Palm	✓		
	Phoenix canariensis	Canary Island Date Palm	✓		
	Phoenix dactylifera 'Medjool'	'Medjool' Date Palm	✓		
	Phoenix dactylifera 'Sylvestris'	'Sylvestris' Date Palm	✓		
	Phoenix dactylifera 'Zahidi'	'Zahidi' Date Palm	✓		
	Phoenix reclinata	Senegal Date Palm	✓		
	Phoenix reclinata x roebelenii	Hybrid Clumping Date Palm	✓		
	Phoenix roebelenii	Pygmy Date Palm	✓		
	Phoenix spp.	Date Palm	✓		
	Raphis excelsa	Lady Palm	✓		

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

Additional Suggested Plants

Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Palm Trees continued	Ravenala Madagascariensis	Travelers Palm		✓	✓
	Rhapidophyllum hystrix	Needle Palm		✓	
	Roystonea elata	Florida Royal Palm	✓		
	Sabal palmetto	Sabal Palm	✓		
	Serenoa repens	Saw Palmetto	✓		
	Serenoa repens 'cinerea'	Silver Saw Palmetto	✓		
	Syagrus romanzoffiana	Queen Palm	✓		
	Thrinax parviflora	Florida Thatch Palm		✓	
	Thrinax spp.	Thatch Palm	✓		
	Trachycarpus fortunei	Windmill Palm		✓	
	Washingtonia robusta	Washington Palm	✓		
	Wodyetia bifurcata	Foxtail Palm	✓		
Shrubs/Groundcover/Vines	Acalypha wilkesiana	Copperleaf		✓	
	Acalypha hispida	Chenille Plant	✓		
	Acrostichum danicifolium	Leather Fern	✓		
	Agave attenuata	Spineless Century Plant		✓	
	Alpinia spp.	Ginger		✓	
	Bougainvillea spp.	Bougainvillea	✓		
	Calliandra haematocephala	Powder Puff		✓	
	Callicarpa americana	Beauty Bush		✓	
	Capparis cynophallophora	Jamaica Caper	✓		
	Carissa macrocarpa	Natal Plum	✓		
	Cassia alata	Candle Bush		✓	

ADD 0004-00060

MAY 20, 2004

Additional Suggested Plants

Recommended & Approved

Optional

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Shrubs/Groundcover/ Vines continued	Chrysobalanus icaco	Cocoplum	✓		
	Clerodendron quadriloculare	Starburst	✓		
	Coccoloba uvifera	Seagrape		✓	
	Conocarpus erectus	Green Buttonwood	✓		
	Conocarpus erectus 'sericeus'	Silver Buttonwood	✓		
	Crinum spp.	Crinum Lily	✓		
	Cycas revoluta	King Sago		✓	
	Dodonaea viscosa	Varnish Leaf		✓	
	Dracaena arborea	Dracaena		✓	
	Duranta erecta 'Sapphire Shower'	Purple Dewdrop	✓		
	Duranta repens	Golden Dewdrop		✓	
	Eleagnus pungens	Silverthorn	✓		
	Eugenia rhombea	Red Stopper		✓	
	Eugenia uniflora	Sourinam Cherry		✓	
	Euphorbia milii "Rosy"	Dwarf Crown of Thorns	✓		
	Evolvulus glomeratus	Blue Daze		✓	
	Fatsia japonica	Fatsia		✓	
	Feijoa sellowiana	Pineapple Guava		✓	
	Forestiera segregata	Florida Privet	✓		
	Galphimia gracilis	Thryallis	✓		
	Gamolepis chrysanthemoides	African Daisy Bush		✓	
	Gardenia spp.	Gardenia		✓	
	Hamelia patens	Firebush	✓		
	Helianthus debilis	Beach Sunflower		✓	

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

MAY 20, 2004

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

Additional Suggested Plants

Recommended & Approved

Optional

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	Hemerocallis spp.	Day Lily	✓		
	Hibiscus rosa-sinensis	Chinese Hibiscus	✓		✓
	Hymenocallis latifolia	Spider Lily	✓		
	Ilex spp.	Holly	✓		
	Ilex vomitoria	Dwarf Yaupon Holly		✓	
	Irish hexagona savannarum	Blue Flag Iris		✓	
	Ixora coccinea	Red Ixora			✓
	Ixora spp.	Hybrid Ixora	✓		
	Jasminum multiflora	Downy Jasmine		✓	
	Jasminum spp.	Jasmine	✓		
	Juncus spp.	Rush	✓		
	Juniperus chinensis 'Parsonii'	Parson's Juniper		✓	
	Juniperus spp.	Juniper	✓		
	Kosteletzkya virginica	Salt Marsh Mallow		✓	
	Lantana camara	Lantana		✓	
	Lantana montevidensis	Trailing Lantana		✓	
	Ligustrum spp.	Privet	✓		
	Liriope muscari 'Evergreen Giant'	'Evergreen Giant' Liriope		✓	
	Liriope spp.	Lily Turf	✓		
	Lonicera sempervirens	Coral Honeysuckle		✓	
	Muhlenbergia capillaris	Muhly Grass	✓		
	Murraya paniculata 'Lakeview'	Orange Jasmine	✓		
	Myricanthes fragrans 'simpsonii'	Simpson's Stopper	✓		
	Myrica cerifera	Wax Myrtle	✓		

ADD 2004-00060

MAY 20, 2004

Additional Suggested Plants
Optional
Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	Nandina compacta	Heavenly Bamboo	✓		✓
	Nephrolepis Falcata	Macho Fern	✓		✓
	Nephrolepis biserrata	Fishtail Fern	✓		✓
	Nephrolepis spp.	Fern	✓		✓
	Nerium oleander	Common Oleander	✓		✓
	Nerium oleander 'Ice Pink'	Dwarf Oleander	✓		✓
	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander	✓		✓
	Pennisetum setaceum	Green Fountain Grass	✓	✓	✓
	Pentas	Egyptian Star Cluster	✓		✓
	Philodendron selloum	Split Leaf Philodendron	✓		✓
	Philodendron spp.	'Xanadu' Philodendron	✓		✓
	Pittosporum tobira	Japanese Pittosporum	✓		✓
	Pittosporum tobira 'Variegata'	Variegated Pittosporum	✓		✓
	Plumbago 'Imperial Blue'	Blue Leadwort	✓		✓
	Podocarpus macrophyllus	Podocarpus	✓		✓
	Polypodium spp.	Polypodium	✓		✓
	Pontederia cordata	Pickrel Weed	✓		✓
	Psychotria nervosa	Wild Coffee	✓		✓
	Rapanea punctata	Myrsine	✓		✓
	Raphiolepis indica	Indian Hawthorn	✓		✓
	Russelia equisetiformis	Firecracker	✓		✓
	Schefflera arboricola	Dwarf Schefflera	✓		✓
	Scirpus spp.	Bullrush	✓		✓
	Senna polyphylla	Desert Cassia	✓		✓

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

RECEIVED

MAY 24 2004

COMMUNITY DEVELOPMENT

Additional Suggested Plants
Optional
Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	<i>Serenoa repens</i>	Saw Palmetto	✓		
	<i>Serenoa repens 'cinerea'</i>	Silver Saw Palmetto	✓		
	<i>Sophora tomentosa</i>	Necklace Pod		✓	
	<i>Spartina spp.</i>	Cordgrass	✓		
	<i>Stachytarpheta jamaicensis</i>	Blue Porterweed		✓	
	<i>Strelitzia Reginae</i>	Bird of Paradise		✓	
	<i>Syzygium paniculatum spp.</i>	Brush Cherry	✓		
	<i>Tabernaemontana</i>	Florida Gardenia	✓		
	<i>Tabernaemontana divaricata</i>	Grape Jasmine		✓	
	<i>Thunbergia spp.</i>	Thunbergia	✓		
	<i>Tibouchina spp.</i>	Glory Bush	✓		
	<i>Tripsacum spp.</i>	Fakahatchee Grass	✓		
	<i>Viburnum spp.</i>	Viburnum	✓		
	<i>Zamia floridana</i>	Coontie	✓		
	<i>Zamia Furfuracea</i>	Cardboard Palm	✓		
	<i>Canna flaccida</i>	Yellow Canna		✓	
Aquatics	<i>Crinum americanum</i>	String Lily		✓	
	<i>Juncus effusus</i>	Soft Rush		✓	
	<i>Nymphaea spp.</i>	Waterlily		✓	
	<i>Sagittaria spp.</i>	Arrowhead		✓	
	<i>Thalia geniculata</i>	Arrowroot		✓	
	<i>Hymenocallis latifolia</i>	Spider Lily	✓		
	<i>Pontederia cordata</i>	Pickering Weed	✓		
	<i>Scirpus spp.</i>	Bullrush	✓		

ADD 2004-00060



Plant Requirement Notes:

Shrubs:

Planting plans that employ improper plant spacing that require excessive maintenance will be rejected.

Sod/Groundcover:

St. Augustine species of Floratam, Seville and Palmetto are required for lawns. Other lawn grasses such as Paspalum, Bahia, and Zoysia varieties may be approved by DRA on a case by case basis.

Acceptable Sod Varieties

<i>Latin Name</i>	<i>Common Name</i>
<i>Paspalum vaginatum</i> 'Sea Isle'	Seashore Paspalum
St. Augustine 'Floratam' & 'Seville'	St. Augustine Grass
Zoysia 'Empire'	'Empire' Zoysia Grass

Vegetation Not Permitted

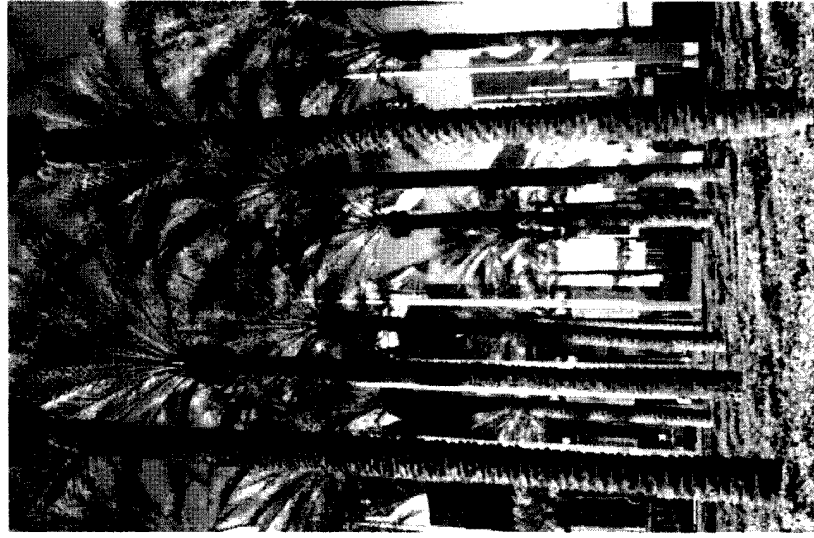
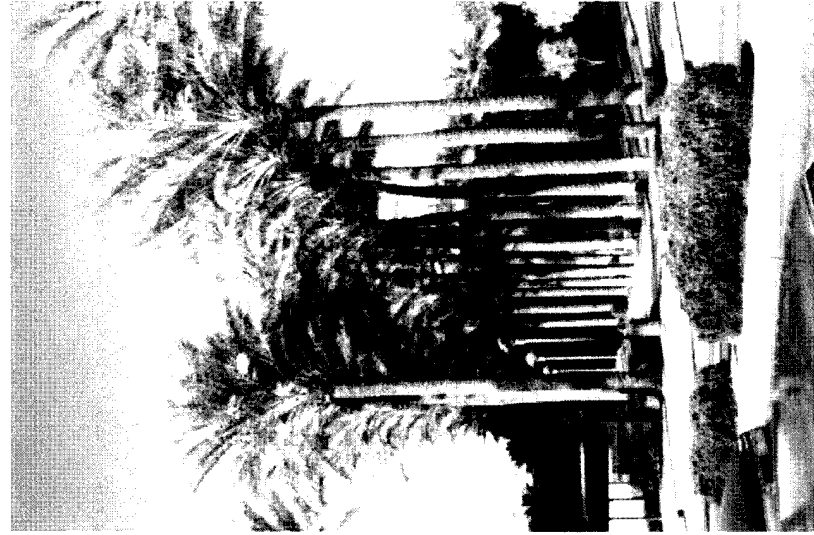
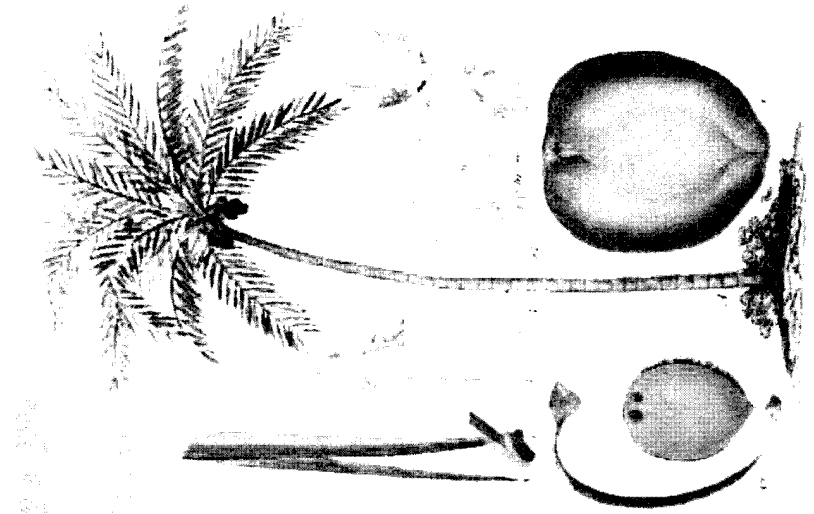
The following list identifies plants which are not permitted in the Coconut Point project.

<i>Latin Name</i>	<i>Common Name</i>
<i>Acacia auriculiformis</i>	Earleaf Acacia
<i>Araucaria heterophylla</i>	Norfolk Island Pine
<i>Casuarina</i> spp.	Australian Pine
<i>Cupaniopsis anacardiopsis</i>	Carrotwood
<i>Melaleuca</i> spp.	Cajeput Tree
<i>Rhodomyrtus tomentosa</i>	Downy Rose Myrtle
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Solanum viarum</i>	Tropical Soda Apple

2. Characteristics of Landscape Design specific to Commercial Retail Zones

Commercial Retail Zones at Coconut Point also incorporate the following specific design techniques and elements. These features accentuate the public nature of these areas, reinforce other corresponding site features such as roadways, water features and open space, and capture the Mediterranean Revival Identity of Coconut Point for the broadest audience of inhabitants and visitors. These Landscape Design techniques propose:

 1. The use of a signature Coconut Palm as a skyline iconographic tree in rhythm with flowering canopy trees.
2. Creating a secondary or pedestrian scale landscape with Royal, Date, and Canary Island Palms and an informal mixture of large canopy trees, both evergreen and deciduous.
3. The use of Sabal Palms as a buffer tree informally placed with groupings of other trees, both evergreen and deciduous.
4. Accent planting can be achieved by planting King and Queen Palms with a mixture of informal, small-scaled tropical palms such as Travelers, Sealing Wax and Windmill as accent planting.

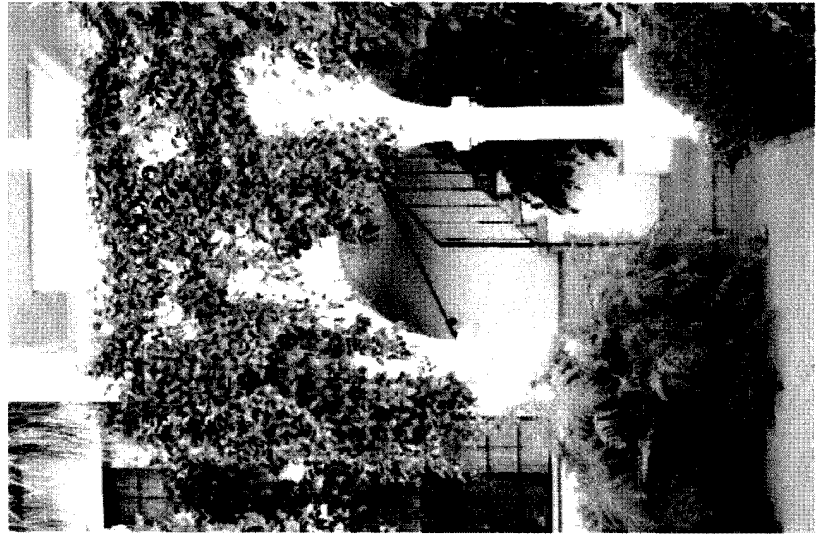
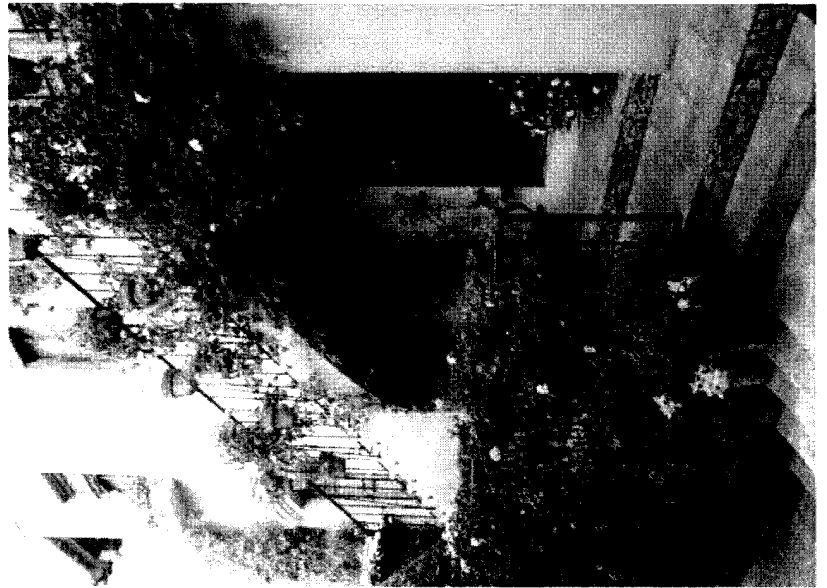


MAY 20, 2004

ADD 2004-00060

3. Characteristics of Landscape Design specific to Residential Zones

Residential Zones at Coconut Point should reflect the more intimate and personal nature of home and dwelling in their landscape as in other design aspects. Rows of trees may still define streets and avenues but will not need to respond to large, multistory commercial building elements. Planting at residential amenities such as bike paths and pedestrian walkways should also reflect a smaller scale design. In general, planting at building edges will be of a smaller scale. Individual residences may incorporate landscape elements appropriate in scale to the corresponding structure, and may also consider the effects of potted plants, low planter walls with groups of various height planting, and groundcover types and locations.



PART 4
SIGNAGE

I. GENERAL

Signage provides project identity, assists in way finding, marks neighborhoods, and locates businesses. Identity, way finding and residential signage at Coconut Point shall incorporate a common theme in keeping with the Mediterranean Revival style of the project. Particular, cohesive designs have been established for project identity signage. In addition, a program of way finding sign types and environmental graphics will be incorporated into the project. Signage criteria for the individual storefronts of commercial tenants allow more flexibility for expression through business logos and variation of sign type and construction.

These guidelines are intended to provide an appropriate level of sign control without limiting creative sign design by tenants and businesses. All signage must meet these criteria and receive approval by the DRA. In addition, all signs at Coconut Point must conform to local sign ordinances and will not exceed any local size restrictions for signs.

ADD 2004-00060

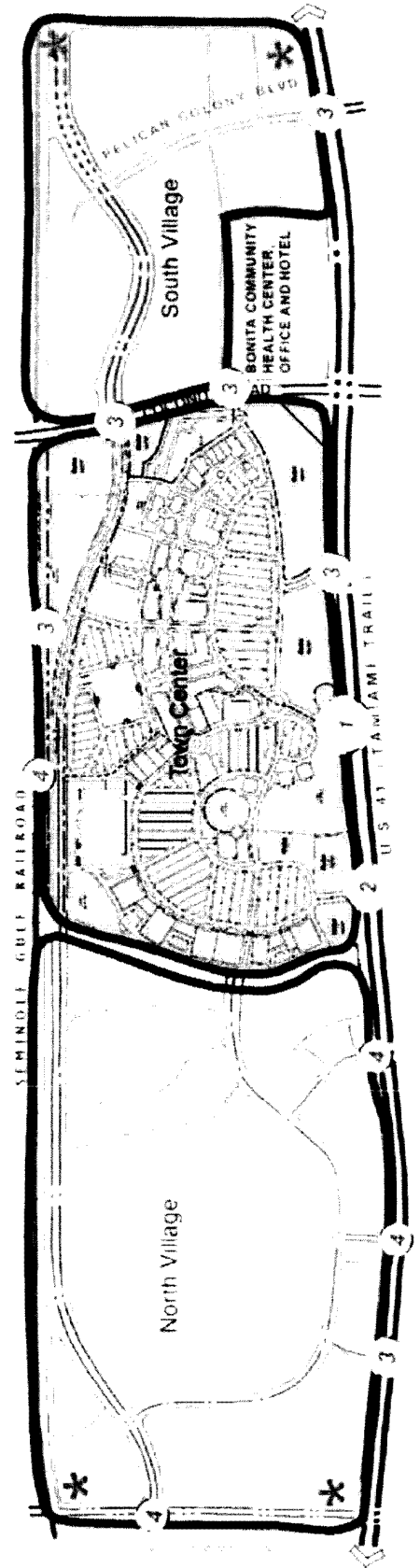
RECEIVED

MAY 20 2004

COCONUT POINT DEVELOPMENT

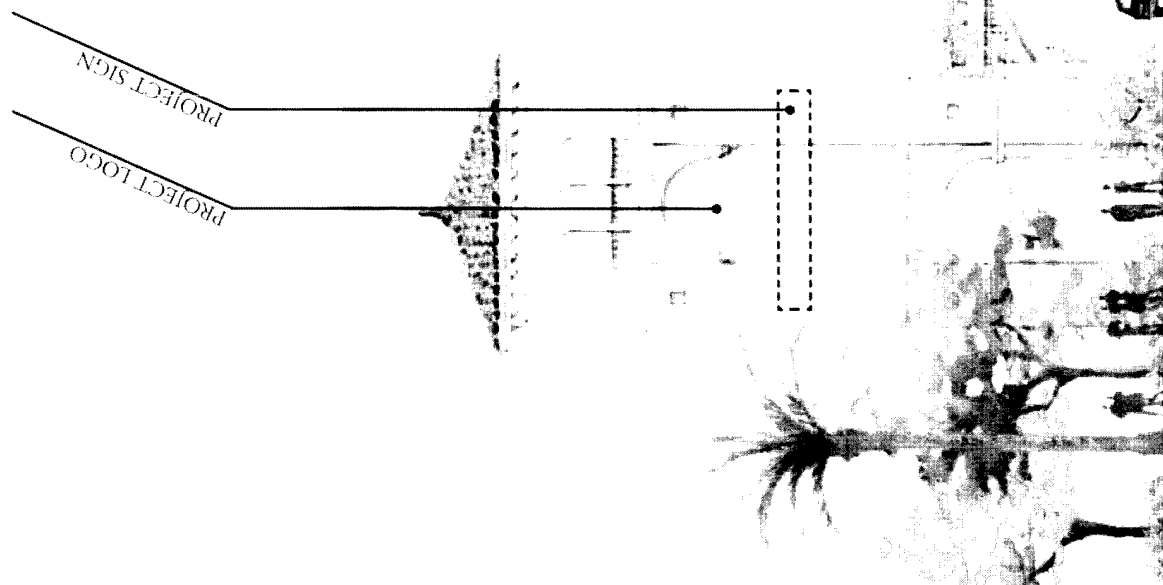
II. GENERAL CHARACTERISTICS OF SIGNAGE AT COCONUT POINT

1. Project Identity Signage
 - Project Identity Towers - Project Identity Sign Type 1
 - Large Scale Monument Signs - Project Identity Sign Type 2
 - Medium Scale Monument Signs - Project Identity Sign Type 3
 - Entry Sign Walls - Project Identity Sign Type 4
 - Project Identity Sign (shown on keyplan as ★)



A. Feature Entry Tower - Entry Sign Type 1

A major architectural statement, the Feature Entry Tower is located at the Town Center entrance along US 41. This sign type spans the roadway with an arched trellis structure and serves as the primary identity gateway to and from Coconut Point. Distinct arched portals provide separate access for vehicles via roadways and pedestrians via walkways. The architectural language and unique identity of Coconut Point is captured in these structures that punctuate the landscape and provide for project and district signage. In addition, the Feature Entry Tower is complimented with verdant landscaping, and may include pedestrian amenities such as seat benches, water fountains and water features. The location for Feature Entry Tower is shown on the accompanying key plan. Maximum dimensions are shown on the accompanying elevation diagram for Project Identity Towers.



ADD 2004-00060

B. Large Scale Monument Signs - Project Identity Sign Type 2

Large Scale Monument signs allow for streetside announcement of multiple large-scale commercial Tenants at Coconut Point. Locations for Large Scale Monument signs are shown on the accompanying key plan. Maximum dimensions for Large Scale Monument signs are shown on the accompanying elevation diagram.



Large Scale Monument Signs - Project Identity Sign Type 2

C. Medium Scale Monument Signs - Project Identity Sign Type 3

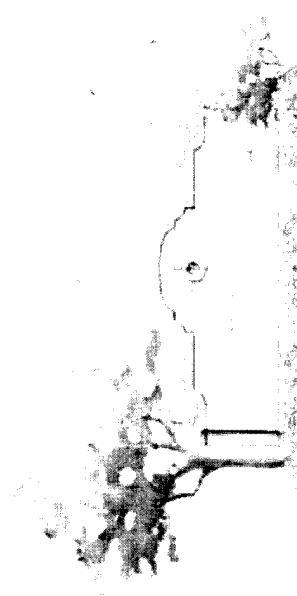
Similar to Large Scale Monument Signs but on a smaller scale, Medium Scale Monument Signs may be provided at the main entries into each district. These will be well landscaped with architectural feature walls providing opportunity for multiple message signage. These signs reflect the district identity signage as well as community identity and may incorporate user names. Locations for Medium Scale Monument are shown on the accompanying key plan.



Medium Scale Monument Signs - Project Identity Sign Type 3

D. Entry Sign Walls - Entry Sign Type 4

Entry Sign Walls are smaller statements at secondary entries into the districts. They will be smaller in scale and detail than other project entry signs, with landscaping and architectural articulation. Locations for Entry Sign Walls are shown on the accompanying key plan. Maximum dimensions are shown on the accompanying elevation diagram for Entry Sign Walls.



Entry Sign Walls - Entry Sign Type 4

E. Project Identity Signs (shown on key plan as *)
These signs mark the four corners of the Coconut Point boundaries and are similar in design to Entry Sign Type 1. Between 18 to 24 feet high, they reinforce the identity of the overall project. Their design shall be in keeping with the Coconut Point Mediterranean Revival aesthetic.

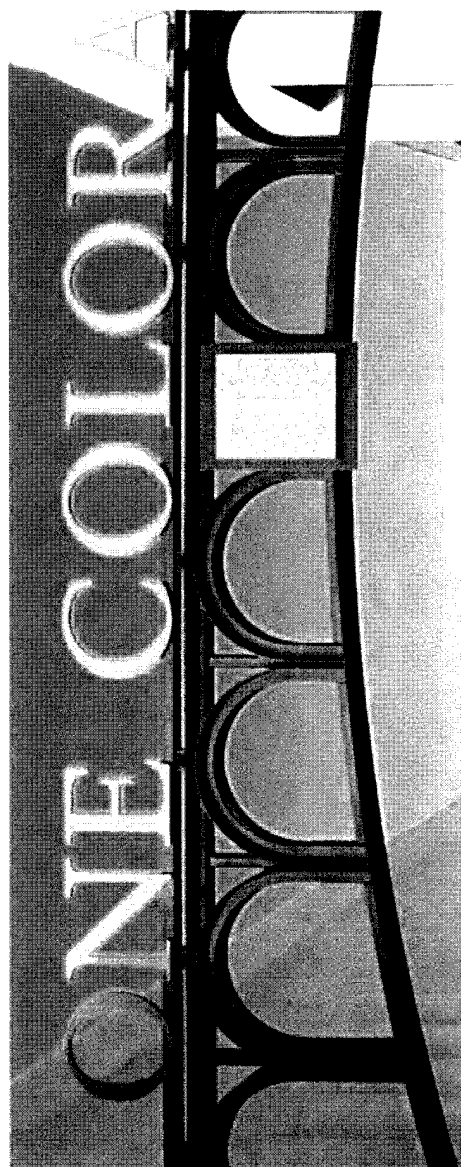
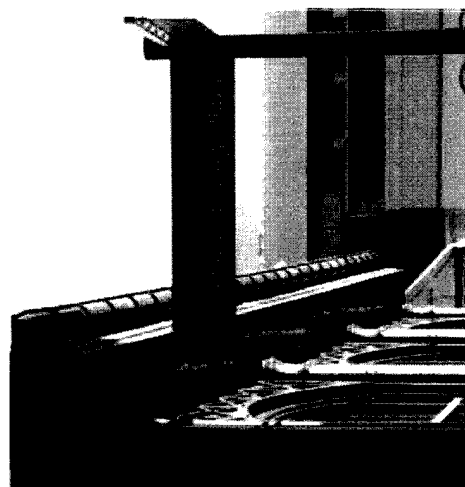
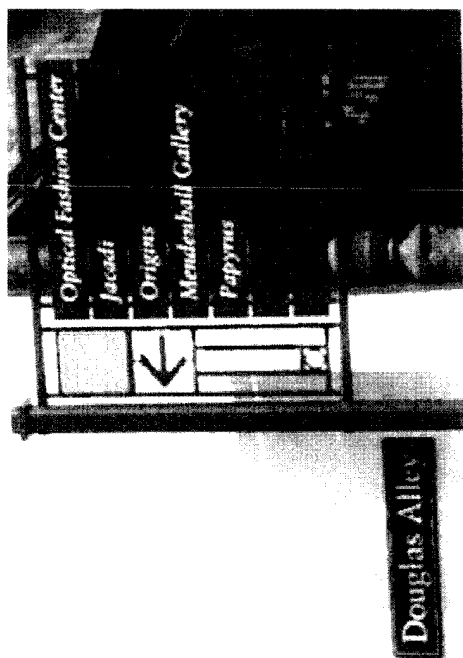
2. Way finding Sign Types

Primarily located in Commercial Areas, Way finding directories will be provided at key decision making locations throughout the project. These will be suitably sized and located to provide easily readable information for all visitors, including pedestrians, bicyclists, and drivers of motor vehicles. All signs within a district will have a consistent design theme and will be suitably sized and placed. In general, signs will provide directions to major destinations or to the larger tenants within Coconut Point.

A. Pedestrian signs are generally similar in style to monument signs on a smaller scale and provide information on tenant locations within the project, frequently including a project key plan.

B. Vehicle signs may be either pole mounted or similar in style to monument signs and may include district names and directional arrows and other project information. Care should be taken to provide adequate clearances above grade for any projecting elements yet maintain visibility and legibility when designing pole mounted way finding signs.

C. Bicycle signs are generally centrally mounted on poles at the eye level of cyclists. Information is provided on orientation, primary destinations and districts.



III. CHARACTERISTICS OF SIGNAGE SPECIFIC TO COMMERCIAL RETAIL ZONES

A Master Sign Plan shall be prepared that will establish size and location requirements for all signage at Coconut Point. In addition, a specific set of design criteria has been established governing the individual buildings and storefronts of commercial tenants at Coconut Point. The types and construction of building signage are outlined on the following pages.

1. Commercial Building Sign Types and Criteria

A. Wall Mounted Fascia Signs.

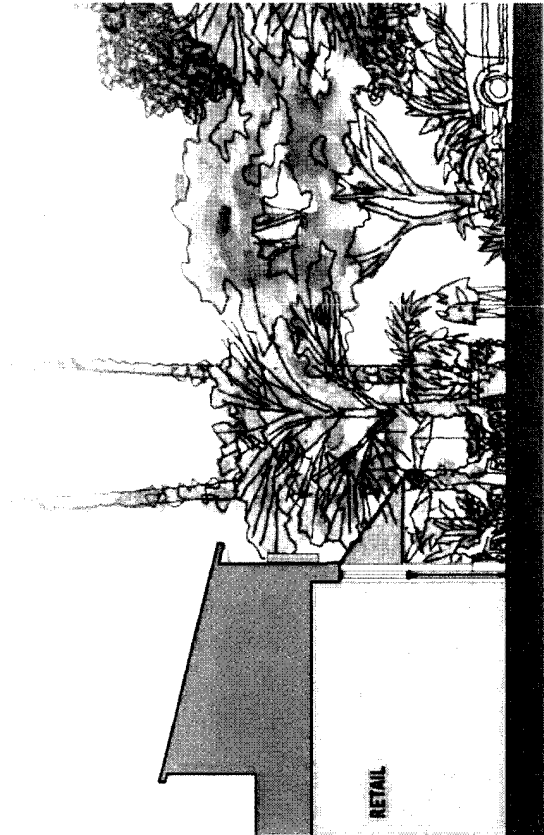
- Wall mounted signs and fascia signs provide key tenant identification above storefronts and on building facades.
- Wall mounted signs and fascia signs of construction types outlined in item 2 of this section are permitted.

B. Awning Signs.

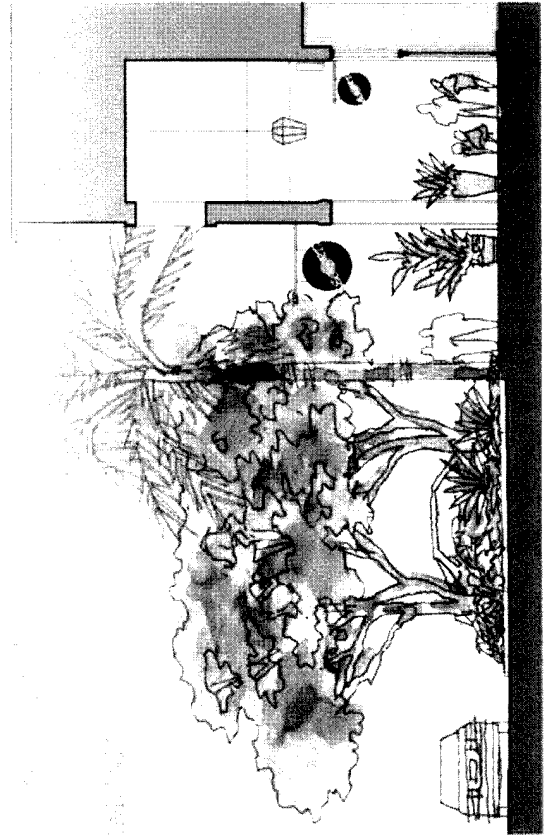
- Awning signage is permitted at awning valances.

C. Projecting Signs

- Projecting signs accentuate the pedestrian character of certain districts at Coconut Point.
- Projecting signs located at a building corner may use the larger of the two building faces adjoining that corner for determination of sign size.
- Building face is defined as the area of wall fronting on leased or owned space of the tenant or owner measured from the roof eave or top of parapet to finished floor.
- Minimum clear distance from the bottom of a projecting sign to a pedestrian walking or vehicular driving surface is 9'-6".
- Projecting signs are governed by the same maximum size as the Sign Ordinance wall signs. There may be both wall and projecting signs, but the total allowable square feet of both signs types is not to exceed that currently allowed for wall signs.

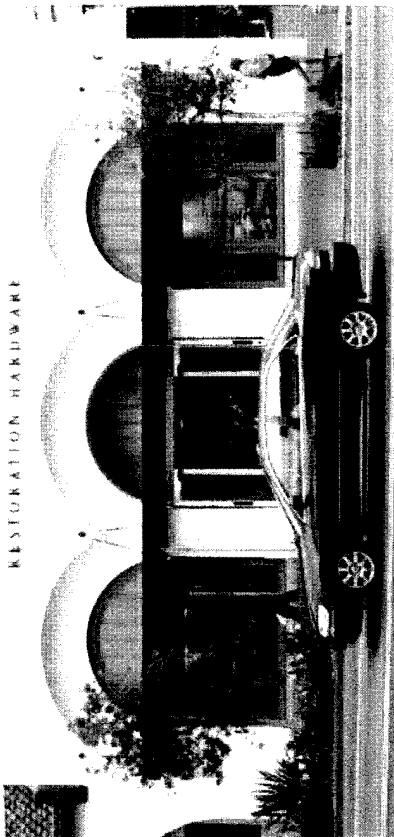


Section at Wall Mounted Sign



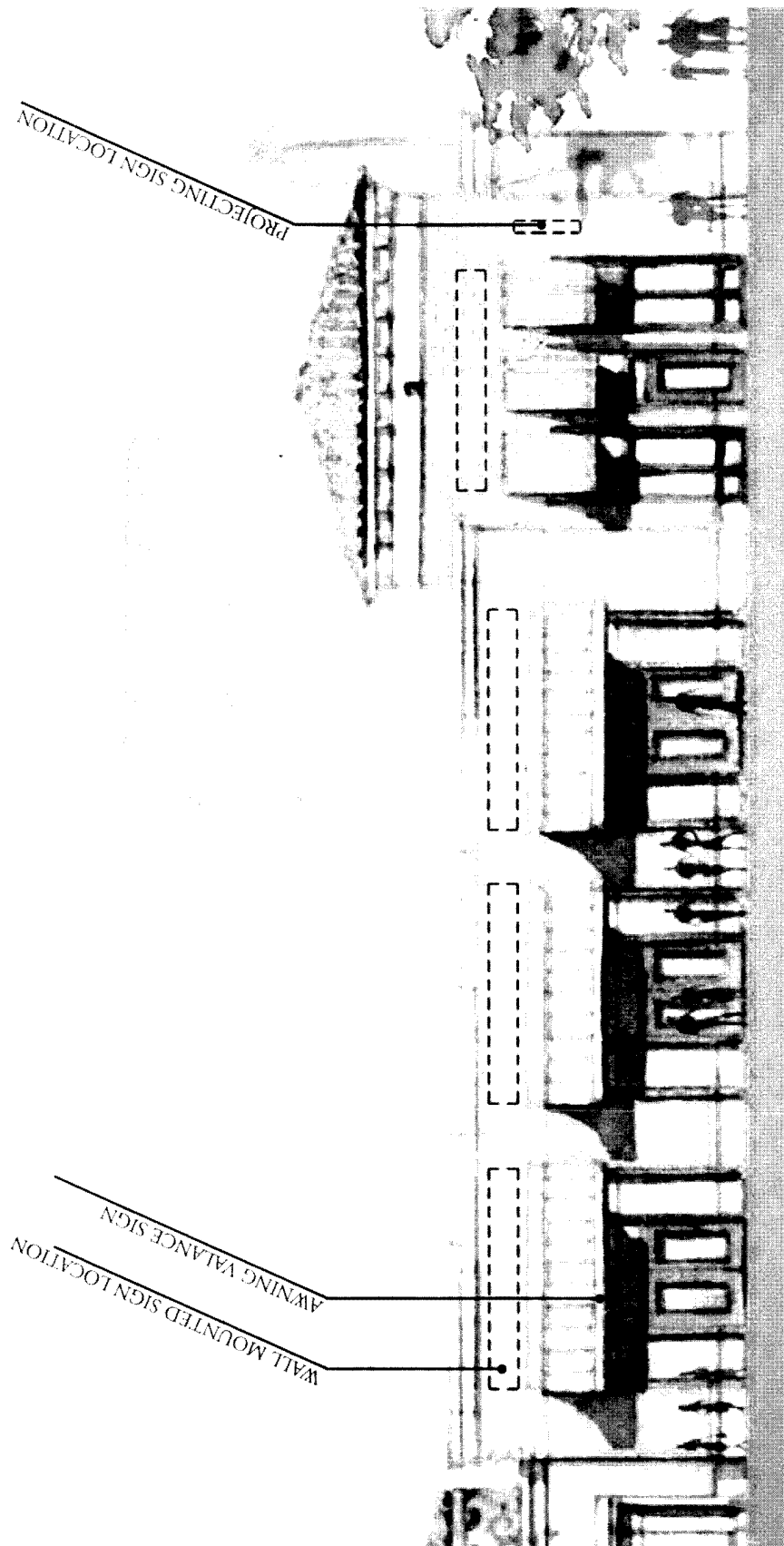
Section at Projecting Sign

RESTORATION HARDWARE



WALL MOUNTED SIGN LOCATION
AWNING VALANCE SIGN

PROJECTING SIGN LOCATION



Elevation at Wall Mounted and Awning Signs

Elevation at Projecting Sign

MAY 20, 2004

ADD 2004-00060

D. Banners

- Banners announce community events and animate streetscapes and pedestrian areas by adding color, texture and rhythm.
- Seasonal theme banners are permitted in commercial zones.
- Banners may not advertise discounts or other sale-type events.
- Banners must be fastened to: arms attached to poles erected for that purpose; lamp posts; or wall brackets on buildings. Arms and brackets must be permanently fastened and integral to the design of the post or façade they are attached to.



82

PART 4 SIGNAGE

- Double illuminated channel letter signs: Individual channel letters are mounted off the wall either by mounting clips or pins with internal illumination projecting out and around the letter backs, as well as through the letter faces.



- Internally illuminated channel letter signs: Individual channel letters are surface mounted to the wall usually with clip angles with internal illumination projecting through translucent letter faces but not through opaque letter sides or backs.



- Edge illuminated channel letter signs: Individual channel letters are surface mounted to the wall usually with clip angles with internal illumination projecting through translucent letter edges but not through opaque letter faces or backs.



- Dimensional cut or cast letter signs: Dimensional cut or cast letters are mounted off the wall either by mounting clips or pins, with concealed illumination projecting out and around the letters.



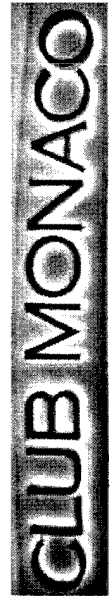
- Sign cut from an opaque panel: Individual letters are cut from an opaque panel, with concealed illumination projecting through the letters and possibly out and around the panel as well.



2. Construction of Commercial Building Sign Types and Criteria

The following types of sign construction are permitted for Commercial Retail Signs at Coconut Point. For all sign construction types, all transformers, wiring, ballasts, connectors and labels must be concealed from view.

- Internally illuminated, reverse channel letter signs: Individual channel letters are mounted off the wall either by mounting clips or pins with internal illumination projecting out and around the letter backs.



MAY 20, 2004

ADD 2004-00060

COCONUT POINT
MAY 20, 2004
COCONUT POINT

PART 5 LIGHTING

I. INTRODUCTION

Lighting sets the tone for all of Coconut Point and serves to enhance the nocturnal atmosphere by creating delightful spaces with soft pools of light and sparkling reflections. Proper lighting not only creates enchanting, inviting spaces and experiences but also functions as an integral element of way finding systems by creating a sense of safety and well being. Outdoor lighting techniques at Coconut Point should accent architecture, entries, hardscape and plant features in the landscape. Just as the architectural design and landscape architecture will reflect a definite style and quality, the outdoor lighting effects will likewise express the distinct Mediterranean Revival character of this community. The outdoor lighting system for the project shall be well designed and coordinated. The thoughtful application of lighting techniques at Coconut Point will add value to property from a safety and security standpoint as well as provide beautiful, luminescent visual and functional effects.

ADD 2004-00060

II. GENERAL CHARACTERISTICS OF LIGHTING AT COCONUT POINT

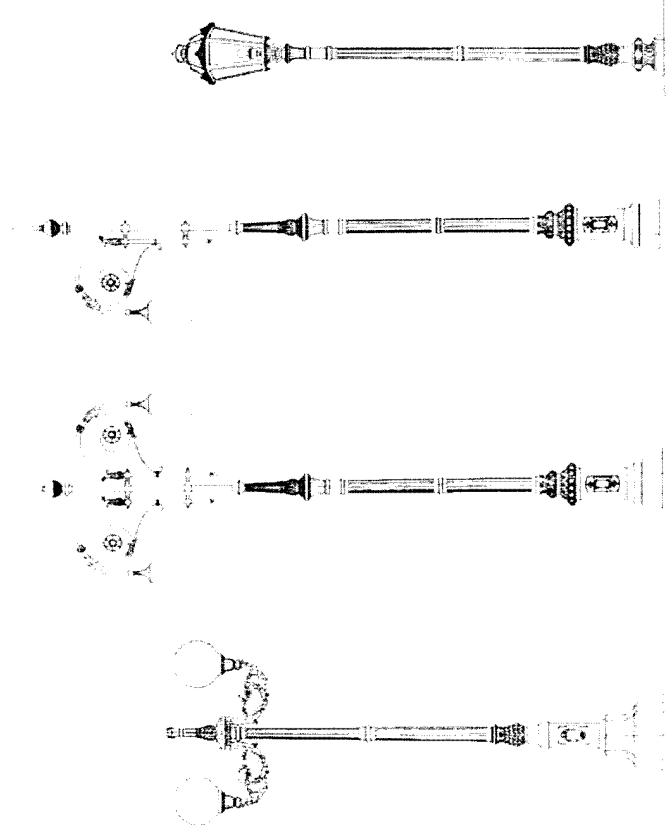
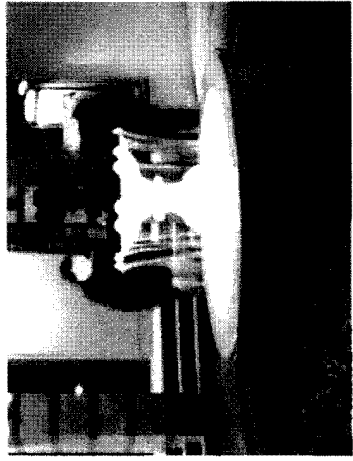
Designers should acknowledge and adhere to the following general lighting principles affecting all outdoor lighting at Coconut Point:

- Accent lighting of building facades, signage and entry drives is encouraged. Accent lighting will be indirect in character.
- Site and accent lighting shall be coordinated with the landscape design.
- Building mounted floodlights will not be permitted except for internally protected service court areas or emergency lighting.
- No lighting design or fixture shall be directed at the public right of way that would be a nuisance to abutting properties.

1. Site Lighting - Overall

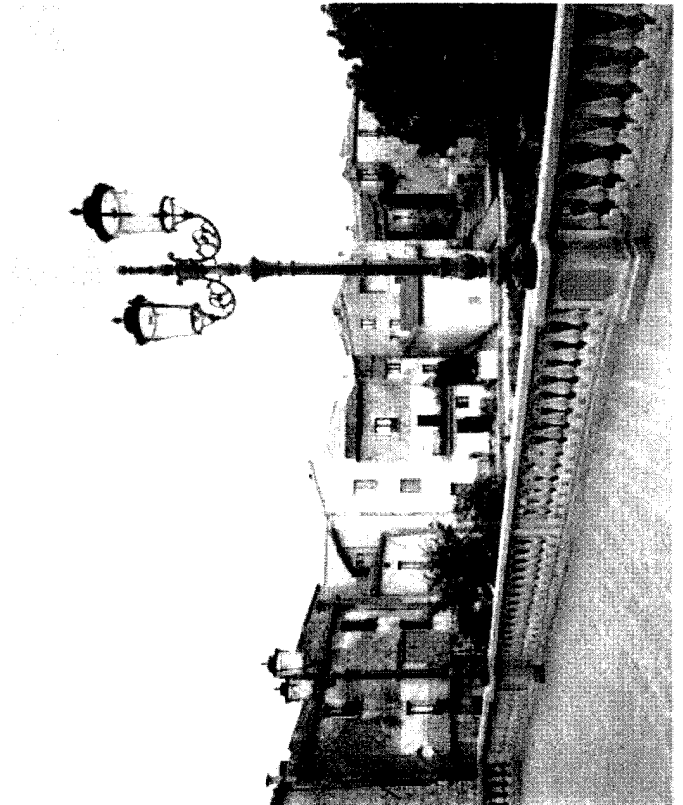
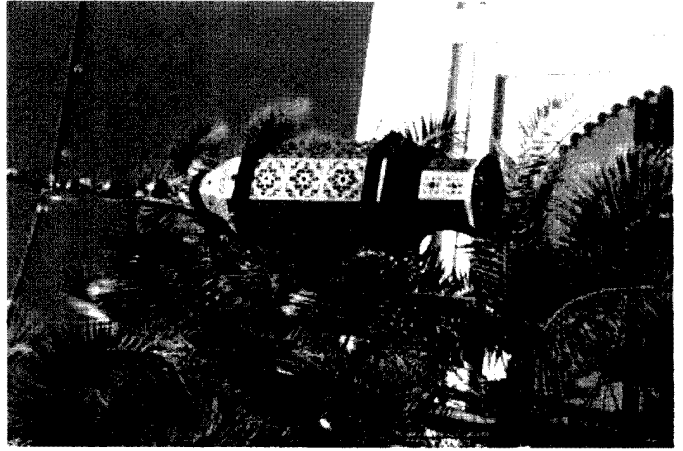
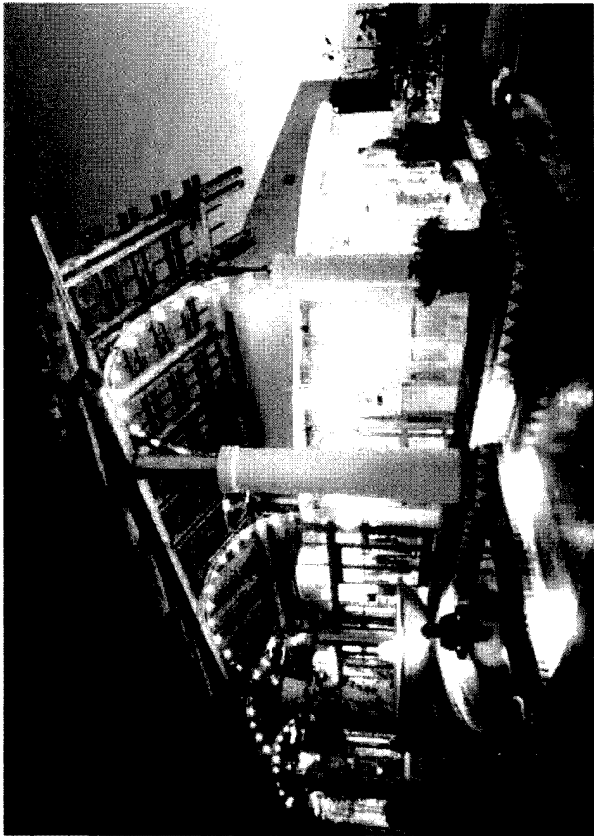
Site lighting at Coconut Point sets the ambience for nighttime outdoor activities, accentuates paths and roadways, and creates overall safe conditions. The following items are important components to successful site lighting at Coconut Point:

- Parking Lots**
 - All parking lots shall be lighted utilizing a shoebox type fixture on a high pole. Fixture shall be metal halide.
 - Parking lot fixtures shall be spaced so as to provide light evenly distributed throughout the lot.
 - Parking lot light fixture design shall be consistent within each district.
- Pathways and Pedestrian Lighting**
 - A street and pedestrian lighting program has been established for all public rights-of-way as an integral part of the Coconut Point streetscape.
 - Pedestrian pole lights are to be furnished, installed, maintained and powered by an association and individual property owners.
 - Pedestrian lighting shall be mounted at a height of 12 feet to the bottom of the fixture. Fixtures may be mounted on either freestanding poles or brackets on building facades.
 - Appropriate lighting shall be provided to ensure that pathways are safe at night.



2. Landscape Lighting

Landscape lighting plays a critical role in enhancing Coconut Point's lush greenery. The following lighting techniques are encouraged at landscaped areas, including plant groupings and special landscape features: bullet lighting on trees, canopy down lights, garden lights, decorative lanterns at tree canopies, concealed up lights, and ambient landscape lighting.



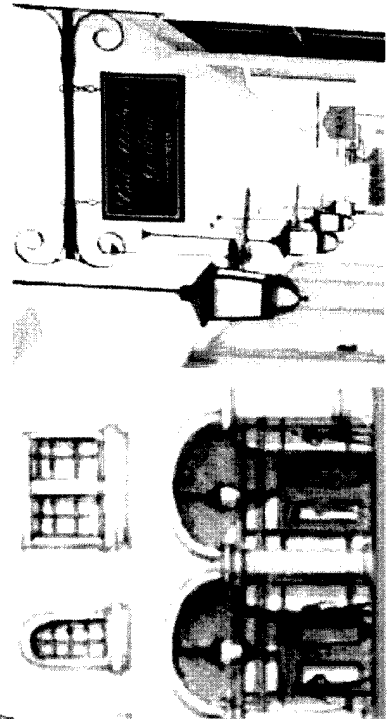
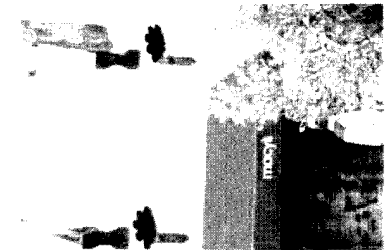
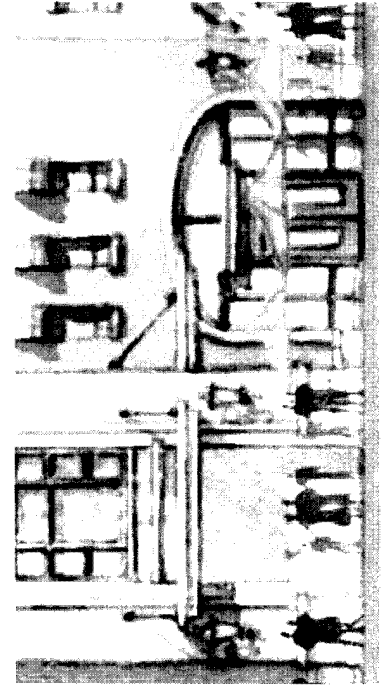
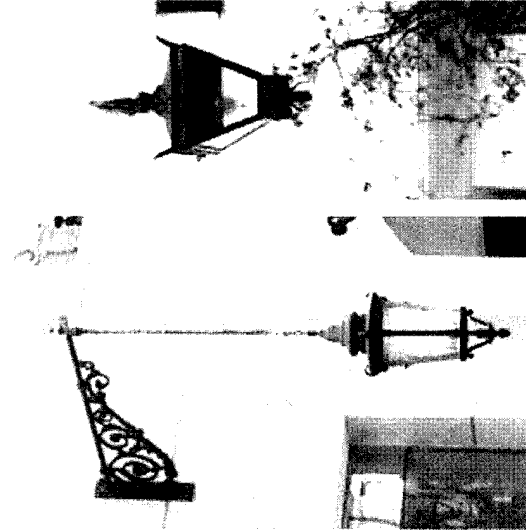
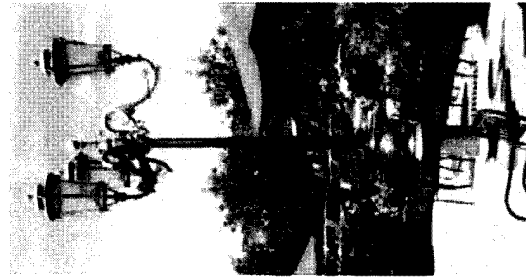
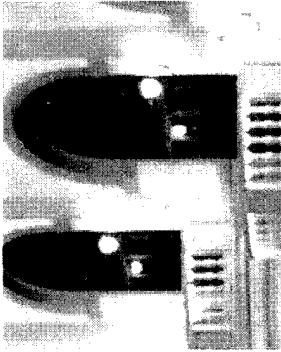
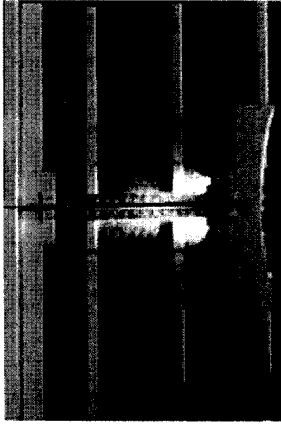
MAY 20, 2004

ADD 2004-00060

III. CHARACTERISTICS OF COMMERCIAL RETAIL LIGHTING AT COCONUT POINT

A studied application of lighting in commercial retail areas sets a tone for all of Coconut Point and serves to enliven entire districts and zones. The following items are important components to successful commercial retail lighting at Coconut Point:

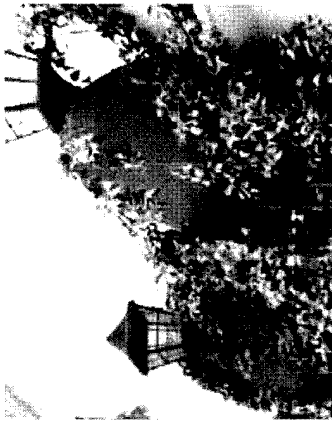
- Building lighting in the form of sconces, up lights, cove lights and ornamental fixtures can define and enhance building massing and color.
- A cohesive design language reflecting the Mediterranean Revival architectural identity of Coconut Point shall be reflected in the design of all visible building lighting elements.
- Concealed accent lights at building façades emphasize accent features and focal points such as towers and portals.
- Freestanding pole lights adjacent to building exteriors further reinforce the project design intent.
- Encouraged materials for visible building light fixtures include: wrought iron and glass, painted metal and aged metals.



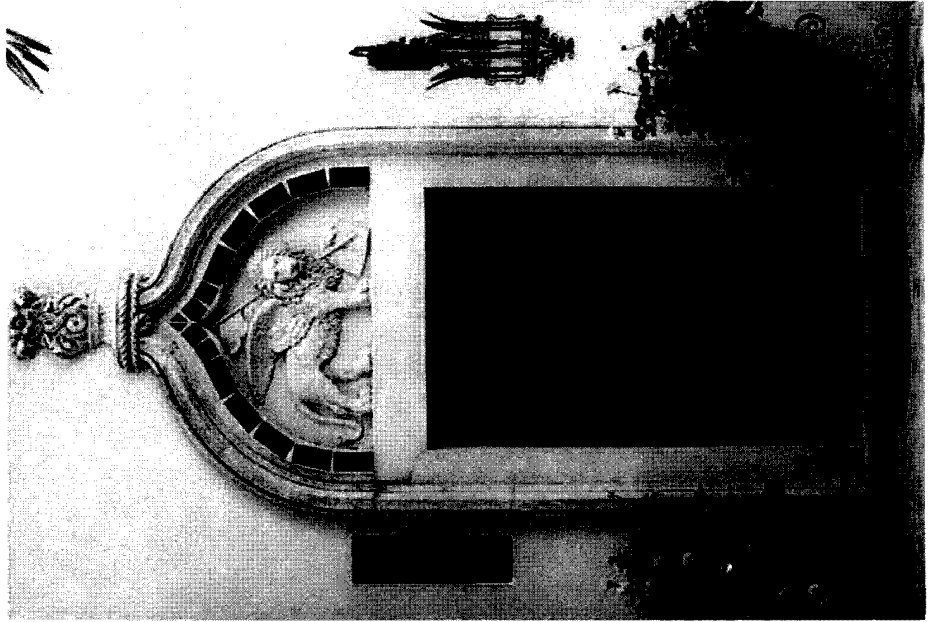
IV. CHARACTERISTICS OF RESIDENTIAL LIGHTING AT COCONUT POINT

Residential lighting creates safe neighborhoods and homes and can emphasize architectural features. DRA approval is not required for exterior residential lighting if lighting is installed in accordance with the following guidelines:

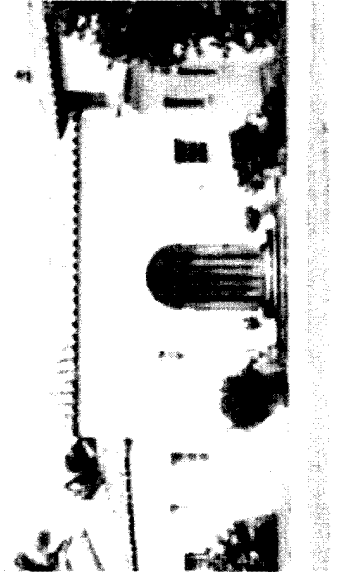
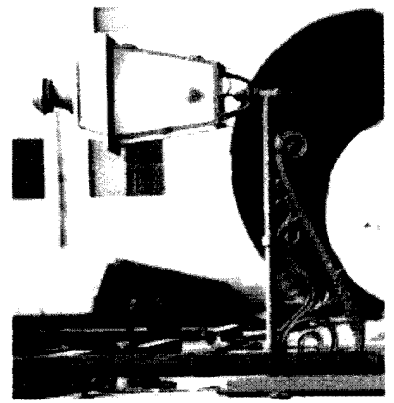
- Exterior lights shall be conservative in design and as small in size as is reasonable practical.
- Exterior lighting shall be directed toward the house and be of low wattage to minimize glare sources to neighbors and adjacent structures.
- Lighting for walkways generally must be directed toward the ground. Lighting fixtures shall be dark colored so as to be less obtrusive.
- Low voltage (12 volts) lighting is preferable to conventional house-voltage systems because of its safety advantages.
- Colored lights are prohibited, except as temporary holiday decor.

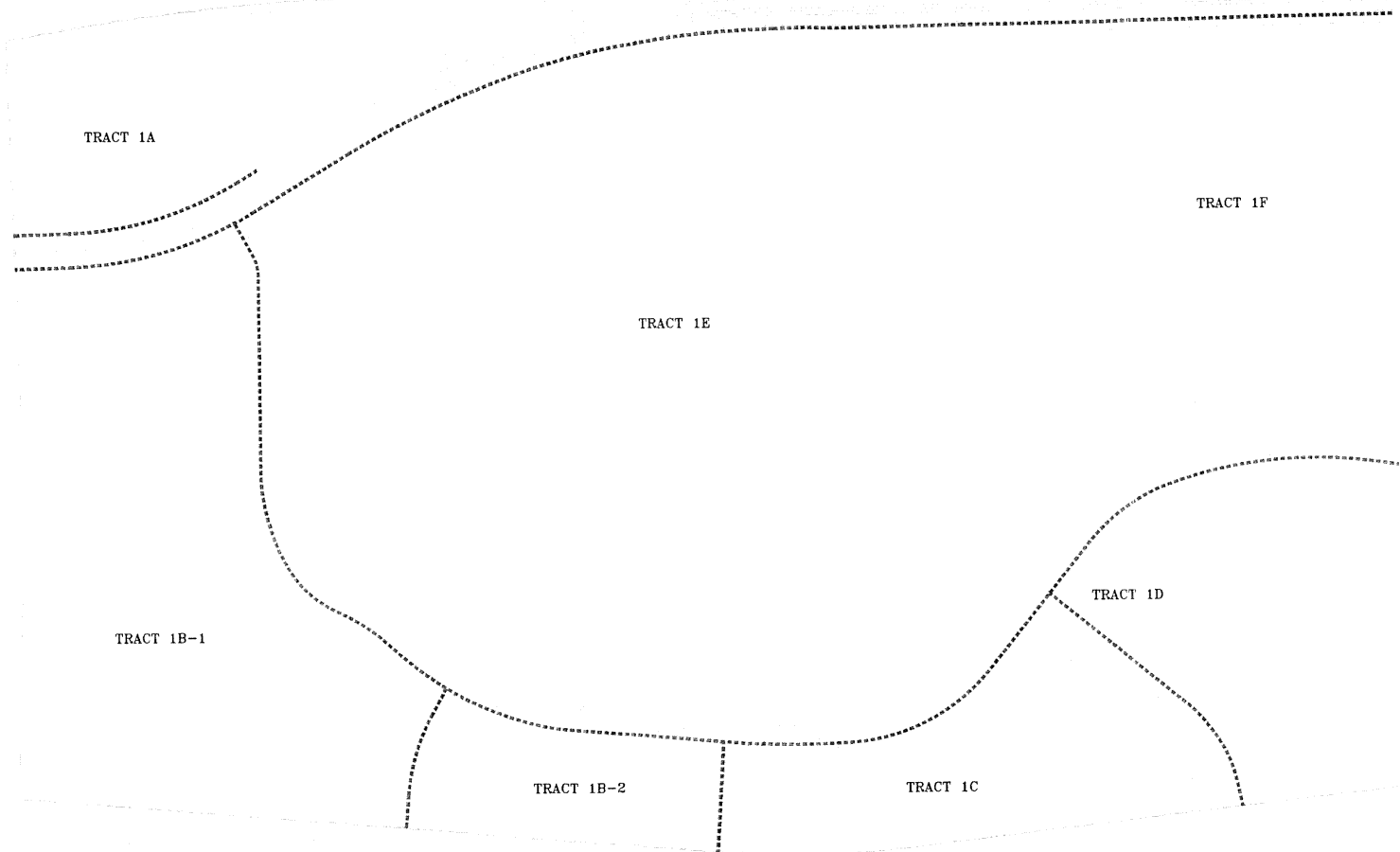


PA



2004-00060





LEGEND:

----- PRIMARY PEDESTRIAN
WALKWAYS (typ.)



ATTACHMENT 'B1'

NO. 03116D-01 (1/04)

The project is prepared by the owner, City of Bonita Springs, and the design is intended to be a guide. It is not intended to be a final design. The design is subject to change without notice. The design is not intended to be used for any other purpose without the written consent of the City of Bonita Springs.

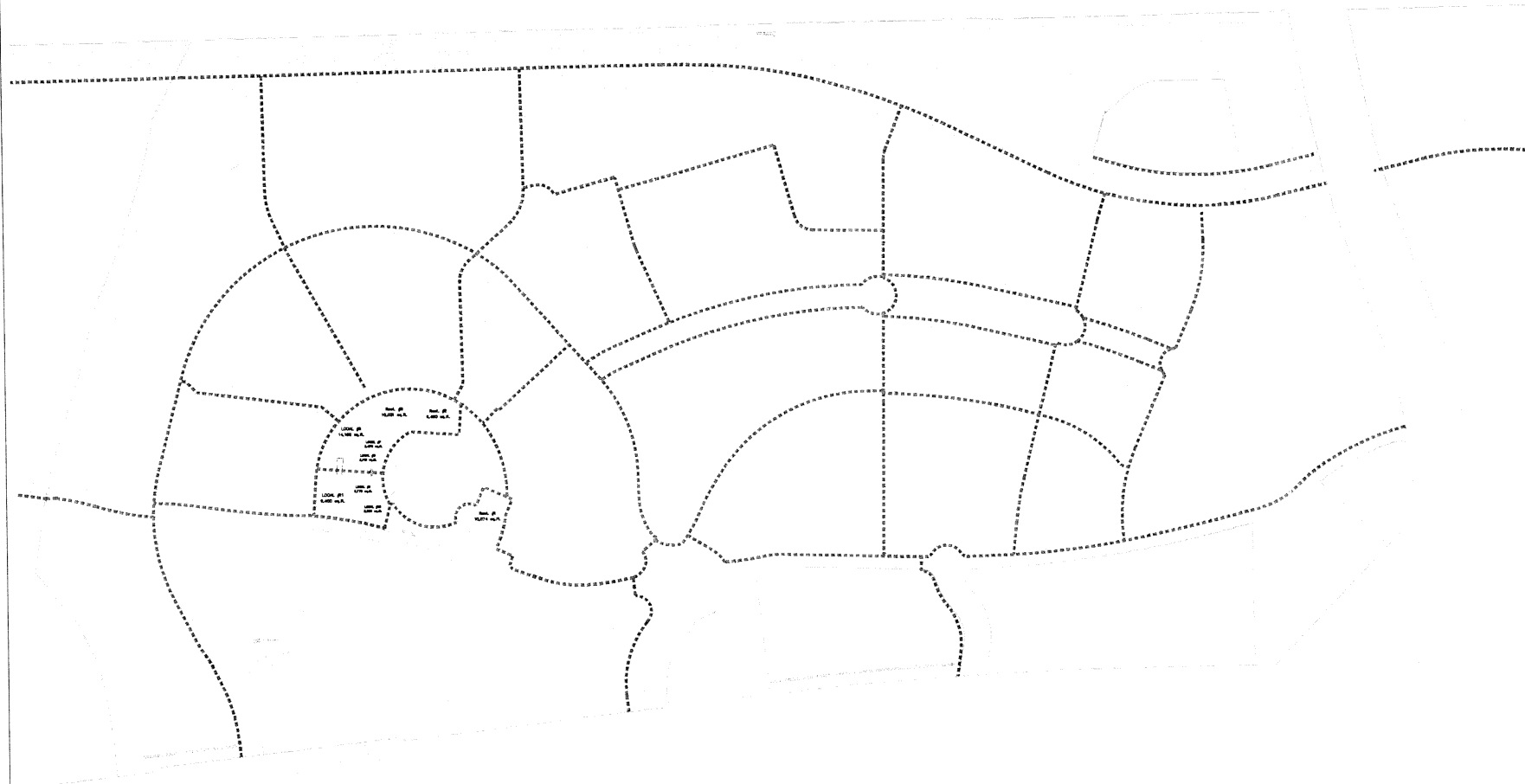
SIMON™
National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

PROJECT
The Shops at
Coconut Point

LOCATION
BONITA SPRINGS
FLORIDA

DESCRIPTION
PROPOSED PEDESTRIAN
CIRCULATION PLAN

CREATED BY	C.F.B.	PROJECT NO.	2003-116-01
DRAWN BY	C.F.B.	DATE LAST MODIFIED	MARCH 2004
CHECKED BY		SCALE	1" = 150'
DRAWING NO.			
03116D_PED CIRC PLAN_030904			



LEGEND:

----- PRIMARY PEDESTRIAN
WALKWAYS (typ.)

ind 2004-00060



SCALE: 1" = 150'

ATTACHMENT 'B2'

SIMON
National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

PROJECT
The Shops at
Coconut Point

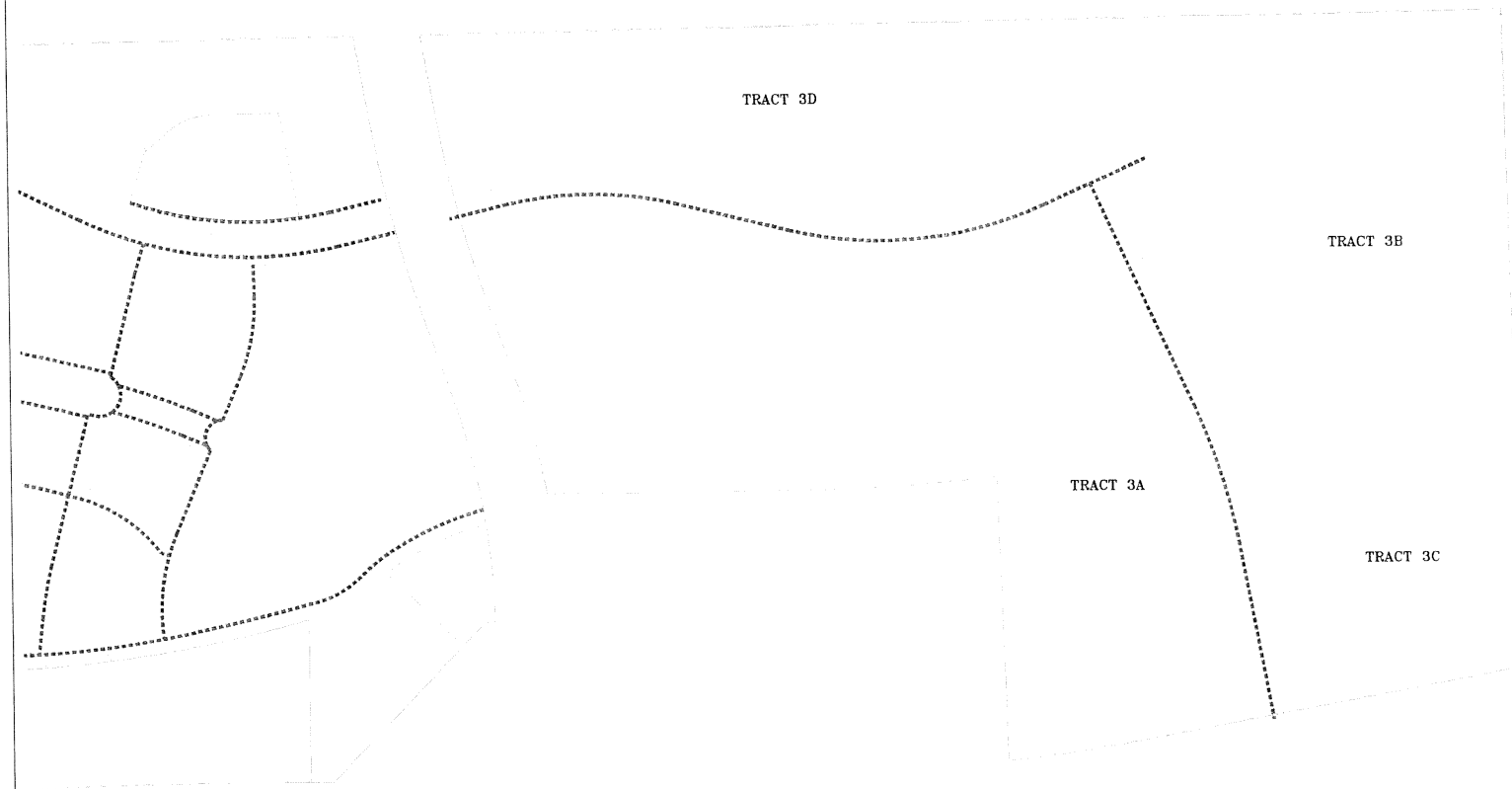
LOCATION
BONITA SPRINGS
FLORIDA

DESCRIPTION
PROPOSED PEDESTRIAN
CIRCULATION PLAN

CREATED BY	C.F.B.	PROJECT NO.	2003.116-02
DRAWN BY	C.F.B.	DATE LAST MODIFIED	MARCH 2004

CHECKED BY	NO.	DATE	1" = 150'
------------	-----	------	-----------

03116D_PED CIRC PLAN 030904



TRACT 3B

TRACT 3A

TRACT 3C

TRACT 3D

LEGEND:

----- PRIMARY PEDESTRIAN
WALKWAYS (typ.)



ATTACHMENT "B3"

SIMON™
National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

PROJECT
**The Shops at
Coconut Point**

LOCATION
**BONITA SPRINGS
FLORIDA**

DESCRIPTION
**PROPOSED PEDESTRIAN
CIRCULATION PLAN**

DESIGNED BY	C.A.B.	PROJECT NO.	2003-175-01
DRAWN BY	C.R.B.	DATE LAST MODIFIED	MARCH 2004
CHECKED BY		SCALE	1" = 100'
DRAWING NO. 03116D_PED CIRC PLAN_030904			

COMMUNITY
CENTER
PHASE ONE

100% OPEN
7/21/04

ADD 2004-00060



ATTACHMENT 'C'

SIMON
National City Center
115 W. Washington Street
Indianapolis, IN 46204
(317) 636-1600

PROJECT
The Shops at
Coconut Point

LOCATION
BONITA SPRINGS
FLORIDA

DESCRIPTION
PROPOSED SITE
PHASING PLAN

CREATED BY C.R.B. PROJECT NO. 2001-108-B

DRAWN BY C.R.B. DATE: LAST MODIFIED: 10/26/04

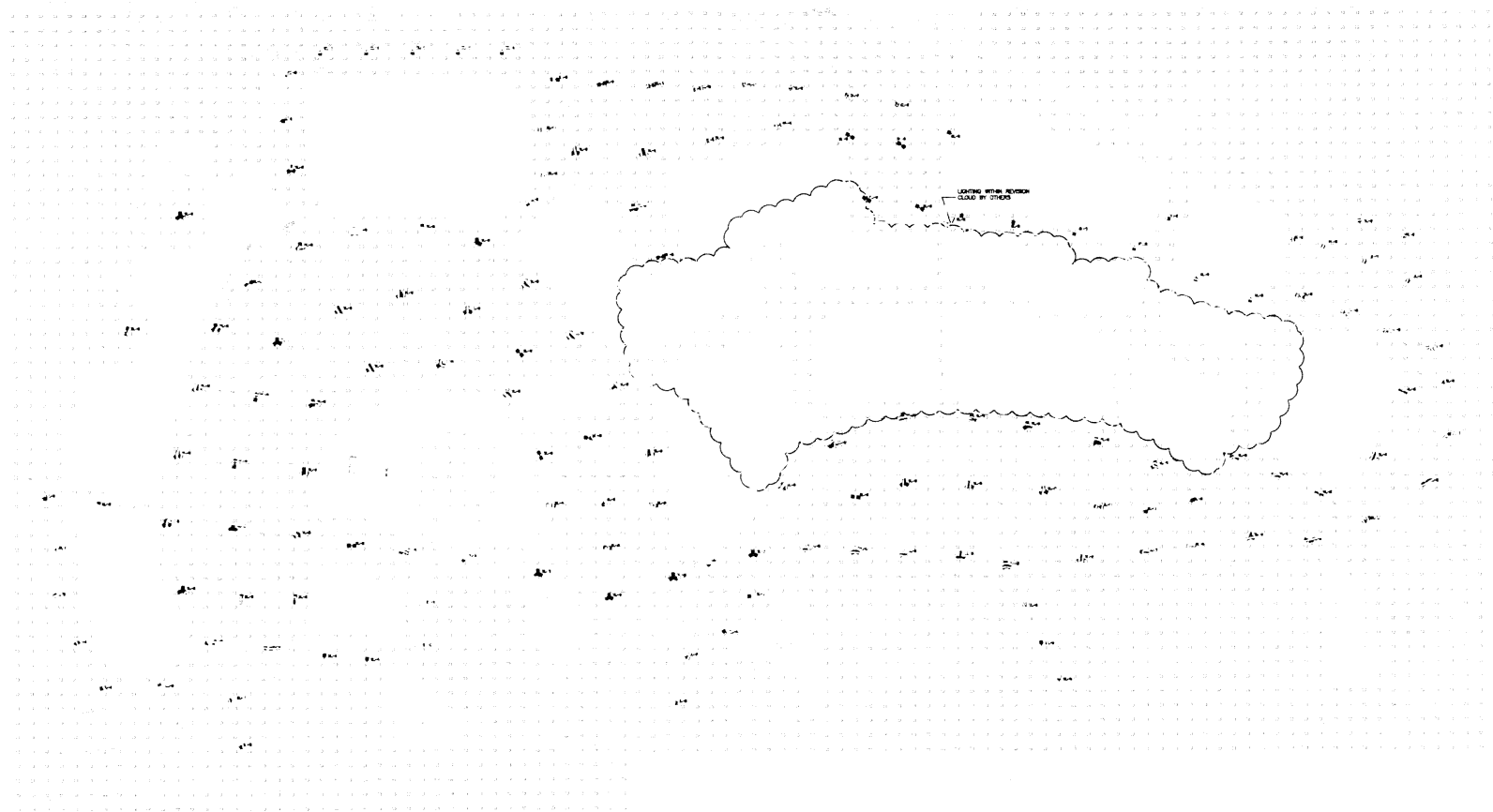
CHECKED BY: SCALE: 1" = 100'

DRAWING: 03116B_PARKING PLAN_030904

Based on the information provided, all dimensions and luminaires locations shown represent recommended positions. The engineer and architect must determine applicability of the layout to existing or future conditions.

The lighting pattern represents illumination levels calculated from laboratory data taken under carefully controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamp, and other service field conditions.

Revisions			Revision Notes
Rev.	Date	By	
1	02-03-04	WCP	REVISED SITE PLAN



PRELIMINARY LIGHTING LAYOUT (148 POLES)

SITE LIGHTING NOTES:

1. ALL POLES ARE 33' TALL ON A BASE 2'-6" TALL.
BOTTOM OF LAMP IS LESS THAN 35' ABOVE GRADE.
2. ALL LIGHT LEVELS ARE INITIAL.
3. ALL LIGHT FIXTURES ARE CLASSIFIED UNDER THE IESNA
AS FULL CUT-OFF.
4. ALL LIGHT FIXTURES HAVE A FLAT LENS.

Statistical Area Summary						
Projects All Projects						
Label	Avg	Max	Min	Avg/Min	Max/Min	
PARKING AREA	6.58	11.9	1.7	3.87	7.00	
Numeric Summary						
Projects All Projects						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Footcandle	Illuminance	Fc	6.58	11.9	1.7	7.00



ATTACHMENT 'E1'									
CBMC INC.									
3000 EASTERN DRIVE, SUITE 4 BONITA SPRING, FL 33435 TEL: 352-790-4500 FAX: 352-790-4500									
LIGHTING LAYOUT FOR Bonita Springs Florida Shore Mall Site Lighting									
SCALE: 1" = 150'									
STARTING DATE: 12.08.03 DRAWN BY: W.C.P.									
PROJECT: 016440									
TYPE	QTY	POLE	HEIGHT	QTY	BRACKET	QTY	OTHER	QTY	FIXTURE
BL-5	43	35'6" OVERALL, VERIFY TYPE	-	1					GFR-5-1000-MHR
TL-5	51	35'6" OVERALL, VERIFY TYPE	-	1					GFR-5-1000-MHR
SL-2	16	35'6" OVERALL, VERIFY TYPE	-	1					GFR-2-1000-MHR-F-HSS
SL-3	9	35'6" OVERALL, VERIFY TYPE	-	1					GFR-3-1000-MHR-F-HSS
SL-4	14	35'6" OVERALL, VERIFY TYPE	-	1					GFR-4-1000-MHR-F-HSS
SL-5	15	35'6" OVERALL, VERIFY TYPE	-	1					GFR-5-1000-MHR
ASSEMBLY EACH CONSISTING OF:									
BRI: NO MATERIAL									
VATTS/ASSEMBLY: 316440									

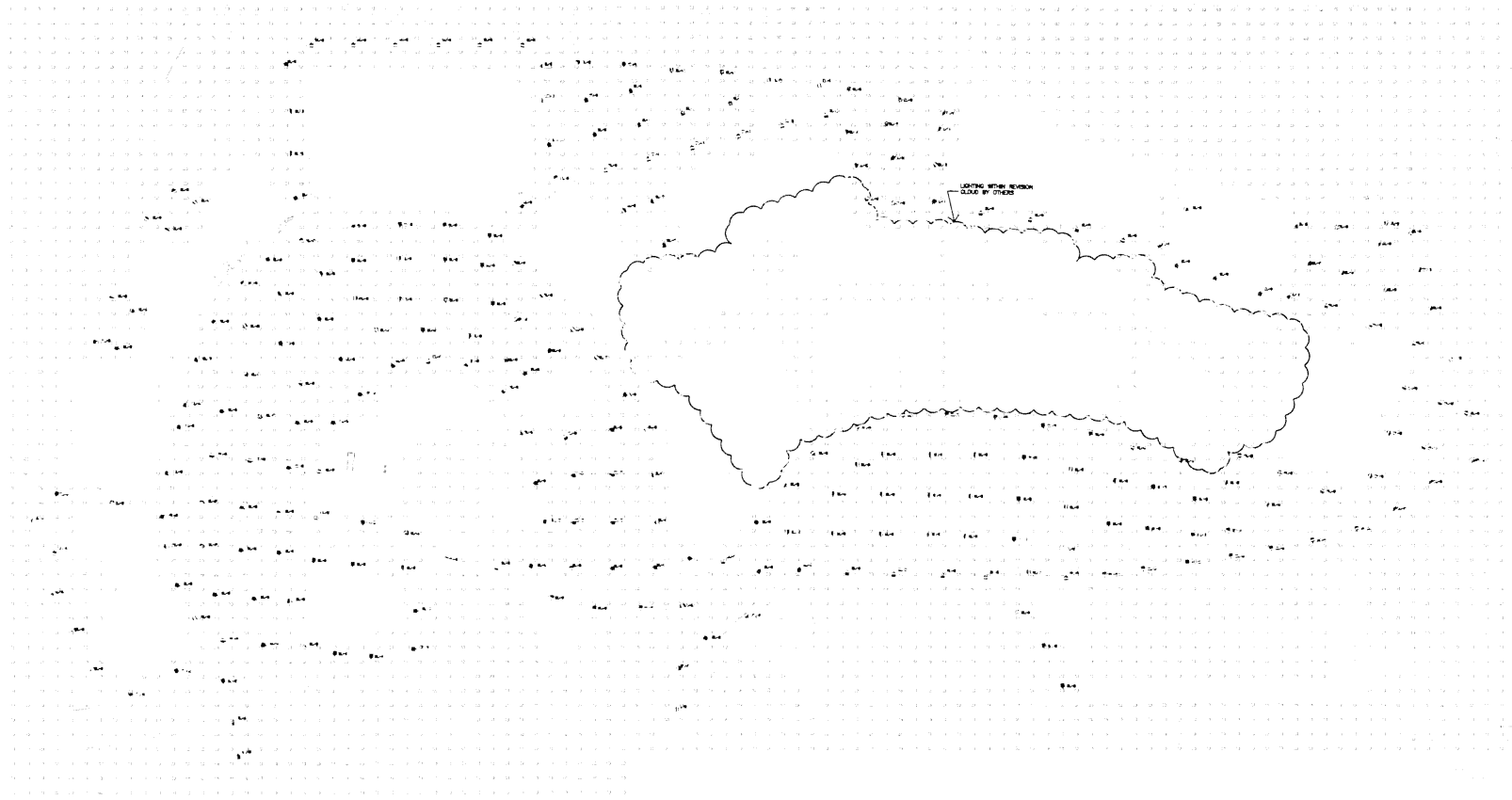
CBMC INC.
3000 EASTERN DRIVE, SUITE 4
BONITA SPRING, FL 33435
TEL: 352-790-4500 FAX: 352-790-4500
LIGHTING LAYOUT FOR
Bonita Springs Florida
Shore Mall Site Lighting
SCALE: 1" = 150'
STARTING DATE: 12.08.03 DRAWN BY: W.C.P.
PROJECT: 016440

CB1129-1A

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and architect must determine applicability of the layout to existing or future conditions.

Lighting fixture placement is based on calculations from laboratory data taken at 100 feet and 100 feet in accordance with Illuminating Engineering Society (IES) methods. Actual performance of any luminaire may vary due to variation in electrical voltage, tolerance in lamp, and other variable field conditions.

Revisions			Revision Notes	
Rev.	Date	By		
1	02-03-04	WCP	REVISED SITE PLAN	



APP 2004-00060

PRELIMINARY LIGHTING LAYOUT (268 POLES)

SITE LIGHTING NOTES:

- ALL POLES ARE 23' TALL ON A BASE 2'-6" TALL.
BOTTOM OF LAMP IS LESS THAN 25' ABOVE GRADE.
- ALL LIGHT LEVELS ARE INITIAL.
- ALL LIGHT FIXTURES ARE CLASSIFIED UNDER THE IESNA
AS FULL CUT-OFF.
- ALL LIGHT FIXTURES HAVE A FLAT LENS.

Statistical Area Summary						
Project All Projects						
Lamp	Avg	Max	Min	Avg/Min	Max/Min	
PARKING AREA	5.61	13.1	1.7	3.30	5.94	
Numeric Summary						
Project All Projects						
Lamp	CalcType	Upper Avg	Max	Min	Avg/Min	Max/Min
FLAT	Pc	2.49	25.5	0.2	0.00	0.00



ASSEMBLY	POLE	HEIGHT	QTY	BRACKET	QTY	OTHER	QTY	FIXTURE	QTY	WATT/ASSEMBLY
SL-2	10	25'6" OVERALL, VERIFY TYPE	1					GFR-2-1000-MHR-F-HSS	1	1080
SL-3	31	25'6" OVERALL, VERIFY TYPE	1					GFR-3-1000-MHR-F-HSS	1	1080
SL-4	4	25'6" OVERALL, VERIFY TYPE	1					GFR-4-1000-MHR-F-HSS	1	1080
SL-5	223	25'6" OVERALL, VERIFY TYPE	1					GFR-5-1000-MHR	1	1080
TYPE	QTY									

ATTACHMENT 'E2'

CBMC INC.
200 SOUTH 1ST AVE. SUITE 1
BIRMINGHAM, AL 35203
TEL: 205-944-4330 FAX: 205-944-4331
LIGHTING LAYOUT FOR
Bonita Springs Florida
Simon Mall Site Lighting

SCALE: 1" = 150'
DRAWING DATE: 12.05.03
DESIGNED BY: W.C.P.
CB129-A

20'

10'

6'

COMMUNITY CENTER OPENING SEPTEMBER 2005
VILLAGE OPENING OCTOBER 2006

COCONUT POINT

SIMON | more choices

simon.com

VILLAGE LEASING • MATT BARGER

330.965.5416

COMMUNITY CENTER LEASING • PAUL ALDAHARIAN

800.759.2020



Dillard's MUVICO DSW 

 PETSMART

 ROSS
DRESS FOR LESS

 BERT'S

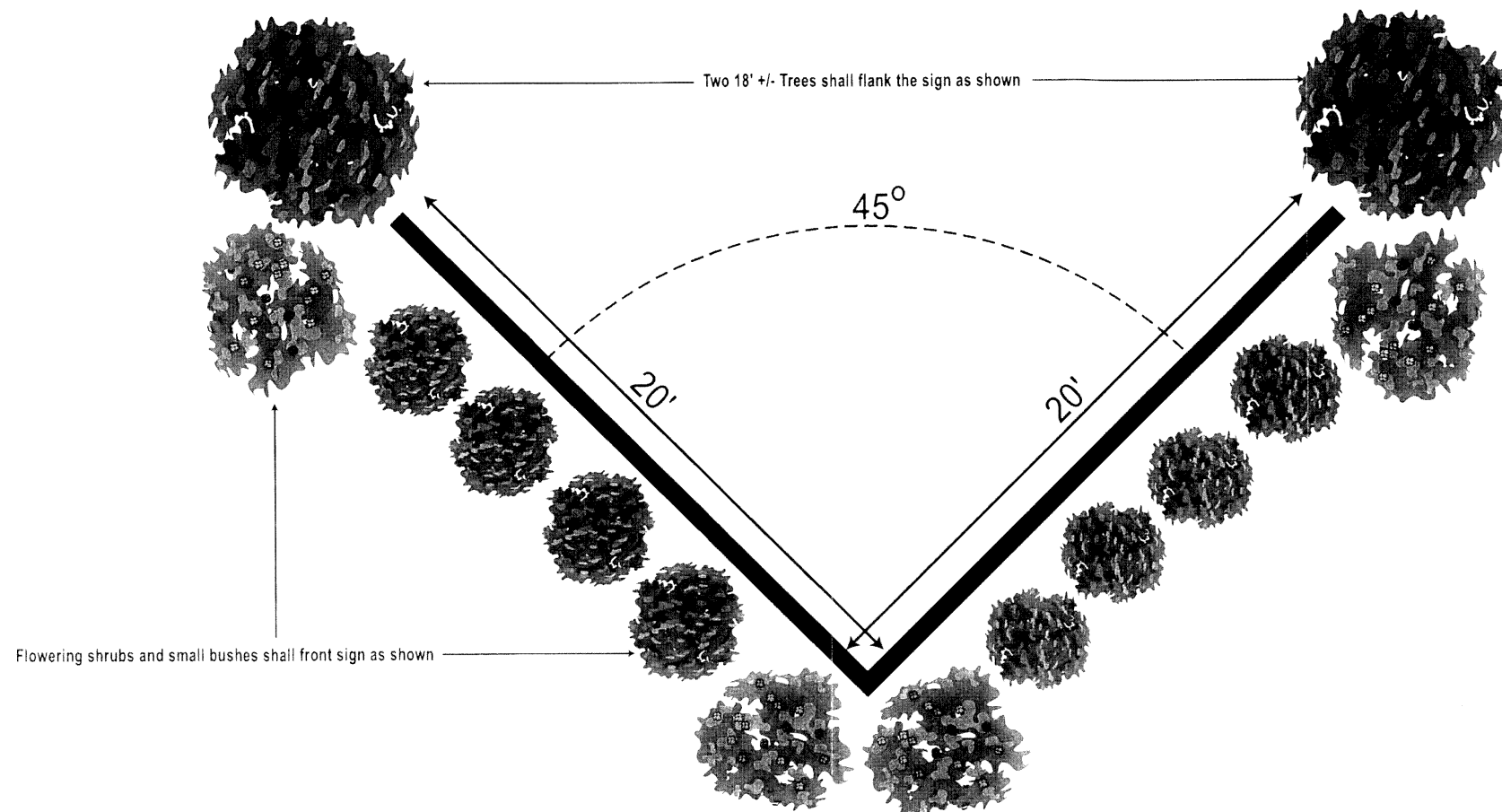
 TJ-MAXX

...and much more!

South Panel of Two-Panel Sign Facing US 41 Northbound Traffic

Coconut Point
Estero/Bonita Springs, FL

MAY 18 2004
ADD 2004-00000
SIMON

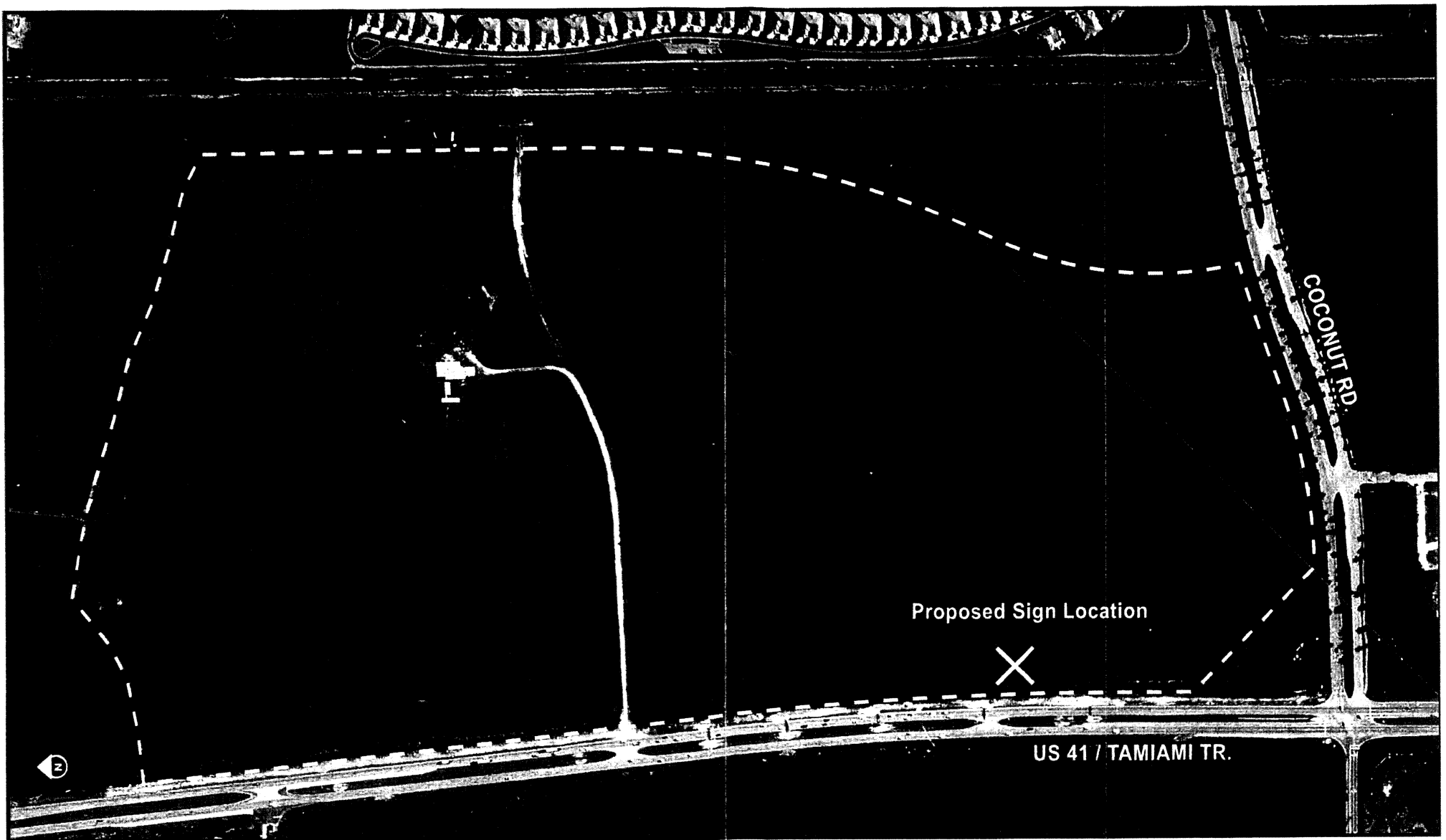


Ann 2004-00060

Proposed Plan of Sign at US 41

Coconut Point
 Estero/Bonita Springs, FL

SIMON



Proposed Sign Location at US 41

Coconut Point
Estero/Bonita Springs, FL

SIMON
APP 2004-00060

ADD 2004-00060

Coconut Point

ESTERO, FLORIDA

2007 JUL 19 11:23 AM
2007 JUL 19 11:23 AM
2007 JUL 19 11:23 AM

DESIGN REVIEW C. DELIN

REVISIONS

JUNE 11, 2004

TABLE OF CONTENTS/PAGE i
add: V. ADMINISTRATIVE MATTERS to ToFC

PART 1/ SECTION V/ PAGE 6
add: V. ADMINISTRATIVE MATTERS

PART 3/SECTION D/PAGE 52
revised: Parking paragraph

JUNE 14, 2004

PART 5/SECTION III/PAGES 80-81
revised: Commercial Sign Types and Criteria

REVISIONS

PERMIT COUNTER

RECEIVED
JUN 30 2004

ADD 2004-00060

Coconut Point

ESTERO, FLORIDA

A MIXED USE DEVELOPMENT BY
SIMON PROPERTY GROUP, INC.
OAKBROOK PROPERTIES, INC.

PREPARED BY: THE JERDE PARTNERSHIP
WITH CONTRIBUTIONS BY:
BEAME ARCHITECTURAL PARTNERSHIP

JUNE 14, 2004

DESIGN REVIEW GUIDELINES
INTRODUCTION
ARCHITECTURE
SITE PLANNING AND LANDSCAPE
SIGNAGE
LIGHTING

JUNE 14, 2004

ADD 2004-00060

RECEIVED
JUN 30 2004

PERMIT COUNTER

TABLE OF CONTENTS

RECEIVED
JUN 3 0 2004
PERMIT COUNTER

TABLE OF CONTENTS

PART 1
OVERVIEW

1	I. INTRODUCTION
2	II. GUIDELINE OBJECTIVES
3	III. DISTRICT CHARACTERISTICS
	1. District 1 - North Village
	2. District 2 - Town Center
	3. District 3 - South Village
6	IV. HOW TO USE THE DESIGN GUIDELINES
6	V. ADMINISTRATIVE MATTERS

PART 2
ARCHITECTURE

7	I. INTRODUCTION - ARCHITECTURE
8	II. GENERAL ARCHITECTURAL CHARACTERISTICS
8	1. Architectural Language
9	2. Architectural Components
	Arcades
	Awnings
	Balconies
	Ceramic Tile
	Chimneys
	Color Palette
	Columns

JUNE 14, 2004

ADD 2004-00060

Cornices and Wall Caps
 Eave Types
 Entryways
 Facades and Exterior Walls
 Fountains
 Lighting at Building Facades
 Massing
 Medallions
 Moldings
 Ornament
 Portals and Pass-Throughs
 Railings
 Roofs - Types and Massing
 Roofs - Clay Tile
 Storefront/ Window Frames
 Stucco Texture
 Towers
 Trellis
 Wall Base
 Window Types

RECEIVED
 JUN 3 0 2004

PERMIT CENTER

TABLE OF CONTENTS

33	III. ARCHITECTURE - COMMERCIAL RETAIL
33	1. Characteristics of Commercial Retail Buildings
	A. Large Format Retail
	B. Secondary and Service Retail
	C. Commercial Retail Façade Articulation by type
	a. Façade Type "A"
	b. Façade Type "B"
	c. Façade Type "C"
38	2. Characteristics of Office/Institutional/Hospitality Buildings
39	IV. ARCHITECTURE - RESIDENTIAL
39	1. Characteristics of residential architecture
44	2. Characteristics specific to mixed-use residential architecture

RECEIVED
JUN 3 0 2004

PART 3
SITE PLANNING AND LANDSCAPE DESIGN

45	I. INTRODUCTION - SITE PLANNING AND LANDSCAPE DESIGN
46	II. SITE PLANNING
46	1. General Characteristics of Site Planning at Coconut Point
	A. Pedestrian Circulation, Sidewalks, and Paving
	B. Vehicular Circulation
	C. Site Furnishings and Amenities
	D. Parking
	E. Screening Devices
55	2. Characteristics of Site Planning specific to Commercial Retail Zones
56	3. Characteristics of Site Planning specific to Residential Zones
58	III. LANDSCAPE DESIGN
58	1. General Characteristics of Landscape Design at Coconut Point
	A. Planting Points
	B. General Landscape Care
	C. Irrigation
	D. Landscaped Entries
	E. Plant Material List
73	2. Characteristics of Landscape Design specific to Commercial Retail Zones
74	3. Characteristics of Landscape Design specific to Residential Zones

iii TABLE OF CONTENTS

**PART 4
SIGNAGE**



PERMIT COUNTER

TABLE OF CONTENTS

75	I. INTRODUCTION - SIGNAGE
76	II. GENERAL CHARACTERISTICS OF SIGNAGE AT POINT
76	1. Project Identity Signage
	A. Project Identity Tower
	B. Large Scale Monument Signs
	C. Medium Scale Monument Signs
	D. Entry Sign Walls
	E. Project Identity Markers
79	2. Way Finding Signage
	1. Pedestrian signs
	2. Vehicle signs
	3. Bicycle signs
80	III. Characteristics of Signage specific to Commercial Retail Zones
80	1. Commercial Building Sign Types and Criteria
	A. Wall Mounted and Fascia signs
	B. Awning Signs
	C. Projecting Signs
	D. Banners
82	2. Construction of Commercial Building Sign Types and Criteria
	IV. CHARACTERISTICS OF SIGNAGE SPECIFIC TO RESIDENTIAL ZONES

**PART 5
LIGHTING**

83	I. INTRODUCTION - LIGHTING
84	II. GENERAL CHARACTERISTICS OF LIGHTING AT COCONUT POINT
84	1. Site Lighting
	A. Parking Lots
	B. Pathways and Pedestrian Lighting
85	2. Landscape Lighting
86	III. CHARACTERISTICS OF LIGHTING SPECIFIC TO COMMERCIAL RETAIL ZONES
87	IV. CHARACTERISTICS OF LIGHTING SPECIFIC TO RESIDENTIAL ZONES

TABLE OF CONTENTS PERMIT COUNTER

RECEIVED
JUN 3 0 2004

JUNE 14, 2004

ADD 2004-00060

I. INTRODUCTION

The community of Coconut Point introduces a new lifestyle to Southwest Florida, creating a mixed-use environment for living, working and playing. The development integrates a range of housing types, shopping, office, hotels and recreational facilities into a unified whole, with the sunny ambience that draws millions to Florida every year.

Located in Southwest Florida along U.S. 41 between Williams Road on the north and the Bonita Springs incorporation limit on the south, Coconut Point is well situated in a growing community that is establishing a tradition of quality development and exceptional design. Coconut Point is approximately midway between Fort Myers and Naples enabling it to cater to the retail, cultural and service needs of South Lee and North Collier Counties.

The community of Coconut Point is a hub of activity and a unique regional destination. It features vibrant neighborhoods with attractive streets and sidewalks complemented by varied buildings and courtyards. Providing for a diversity of uses, Coconut Point resonates to the elegant styles of the Mediterranean, embodying a rich architectural heritage in a lush tropical landscape. Supporting the distinctive design and exceptional environmental characteristics of Coconut Point are a comprehensive set of design guidelines.

These guidelines have been created primarily to assist owners, tenants and developers at Coconut Point in working together toward the common objectives of the development. The adjacent communities of Estero and Bonita Springs have already done much to establish a regional identity and high quality of life reflected in their built environments. The Coconut Point Design Guidelines recognize these qualities and strive to further expand on the accomplishments of these communities.

The Design Guidelines aim to establish the character of the overall development and encourage creative solutions that support the project objectives and design intent. While design solutions will always adhere to local building and planning authority requirements, the guidelines are not intended to prescribe any one particular design condition or application, nor are they intended to imply the creation of a redundant, bland or unimaginative environment. Functioning as a framework for owners and tenants to work within, they will enhance the beauty, harmony and livability of Coconut Point.

An important step in implementing the Coconut Point Design Guidelines is the submittal and review process. During this phase, the Design Review Authority (DRA) will review all proposed designs. This process is covered in a separate document.

II. GUIDELINE OBJECTIVES

- Create a unifying style for Coconut Point

The character and style of Coconut Point will be based on the Mediterranean Revival vernacular of historic Florida towns. This is a unique interpretation of architectural styles, blending the elegant and splendid European Mediterranean traditions of Italy, Spain and France with references to the closer regions of Mexico and the Caribbean. The thoughtful integration of these visually rich traditions results in a distinctive contemporary identity for Coconut Point.

- Establish a unique sense of character and place through a creative and harmonious use of architecture, landscape, lighting, signage and amenities

Coconut Point places a heavy emphasis on creating quality communal public spaces with unique focal points and distinctive landscaping. Architecture at Coconut Point employs appropriate building scale, massing and articulation. Attention to detail is encouraged at all areas, and should be further developed at the pedestrian level and at areas of high visibility. Using this same principle, the project augments the natural environment through landscape and site amenities creating pleasing and comfortable outdoor spaces.

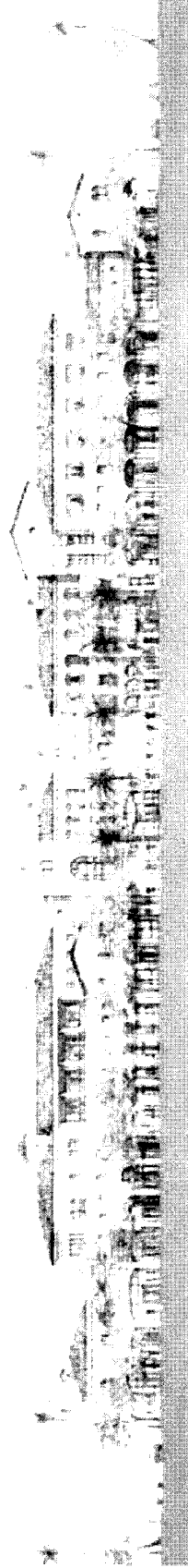
- Uphold the sense of quality and commitment established by the growing communities of Estero and Bonita Springs

Coconut Point contributes to the regional identity established by its neighboring communities. By supporting the aesthetic direction and values of the adjacent communities, Coconut Point creates a high quality of life for visitors and residents alike.

- Incorporate the best current design and planning concepts.

Coconut Point enhances the physical environment through high quality design practices. Sound planning principles create fluid and pleasing pedestrian and vehicular circulation patterns. Careful building siting and orientation is further complemented by a studied application of landscaped zones, including charming squares and a park. The sensitive integration of mixed-use and other residential components allows residents to enjoy the benefits of a vibrant community in subdued courtyard settings.

RECEIVED
JUN 9 6 2004
PLANNING DEPARTMENT



JUNE 14, 2004

ADD 2004-00060

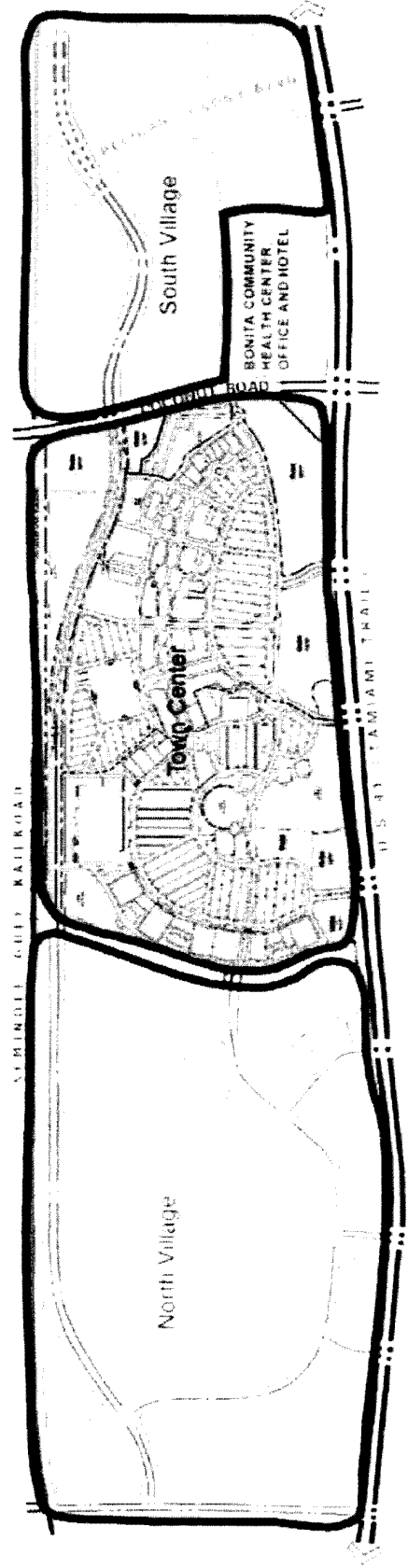
III. DISTRICT CHARACTERISTICS

Coconut Point is made up of three districts: the North Village, the Town Center, and the South Village. Each of these districts maintains a distinct neighborhood character while at the same time contributing thoroughly to a unifying overall identity for Coconut Point. The differences between the districts are characterized primarily by differences in use.

The North Village, with its lower density single and multi-family housing, together with an array of open space, commercial support and recreational activities, projects a decidedly suburban image. The Town Center is a rich mix of commercial activity: shops and restaurants, entertainment venues and public courtyards. This is a gathering place for the community, lively and active because of the urban housing, offices and hotels that are part of the mix. South Village lies directly adjacent to the Town Center and contains a concentration of medical offices, the Bonita Community Health Center, congrate care, convenience shopping and residential neighborhoods. The residential component of the South Village is comprised of moderate density, attached unit housing types.

While the differences in use between the districts gain subtle expression in a variety of factors such as the massing and architecture of the distinct building types and unique site and landscape requirements, the districts remain governed by the design principles and standards outlined in this manual. Further descriptions of the three districts, intended as a means to provide design direction and outline key district features and neighborhood character, are outlined below.

PLANNED
FOR A 2002
PRIVATE COMMUNITY



1. District 1 - North Village

An elegant Mediterranean village located north of the Town Center, North Village Residential includes residential and retail development. The multi-family homes and villas are designed to take advantage of the wetlands that border the North Village and a series of lakes that will connect the different neighborhoods. The neighborhood features intimate open spaces and uses pedestrian scale elements. The North Village also includes shopping, commercial offices, and institutional uses catering to the day-to-day needs of the residents of Coconut Point and the surrounding communities. The architecture of all buildings shall be consistent with the Mediterranean Revival style, incorporating a common palette of soft colors and materials such as tile, stucco, ornamental stone and iron.

A series of bicycle paths and pedestrian sidewalks link the entire Coconut Point community making it convenient for the residents and visitors to travel between villages and the Town Center of Coconut Point.

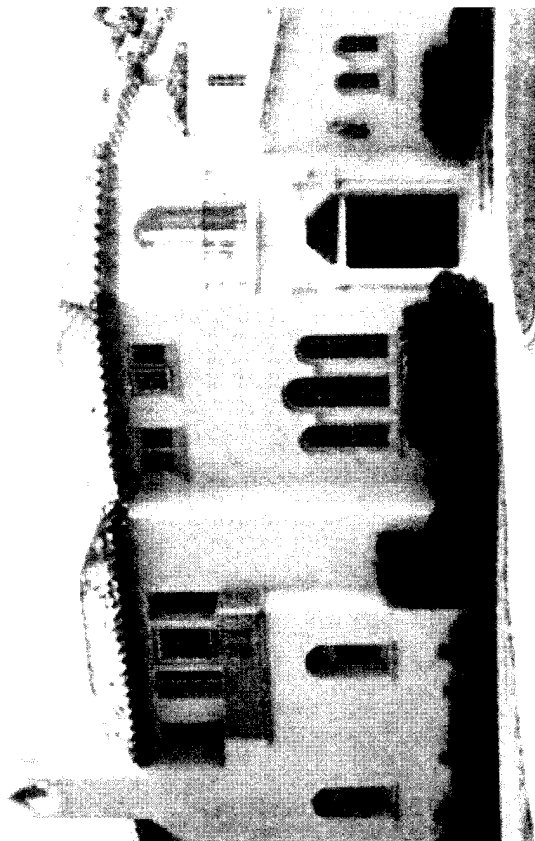


2. District 2 - Town Center

The Coconut Point Town Center site located at the intersection of US 41 (Tamiami Trail) and Coconut Road is proposed to be a mixture of retail anchor stores, smaller retail stores, entertainment and dining venues located along a main street and within a community retail center. In addition, residential, office uses and a hotel will be located above the retail along the main street. Out parcel development in this district includes financial institutions, home furnishing stores and casual dining restaurants.

Visitors approach the Town Center district by way of a number of connected routes within the community and via a distinctively landscaped boulevard road from U.S. 41. Designed to provide easy access for vehicles, cyclists and pedestrians, the transportation system layout connects the Town Center with the surrounding neighborhoods and the community at large.

Two distinct zones characterize the Town Center. At the north portion of the Town Center lies vibrant community retail with nationally recognized retailers. The focal point of this zone is a large scenic lake that creates a lakefront dining district with notable restaurants. The community retail provides the convenience of shopping with the excitement and pleasure of vibrant night and day entertainment and community gathering at water's edge.

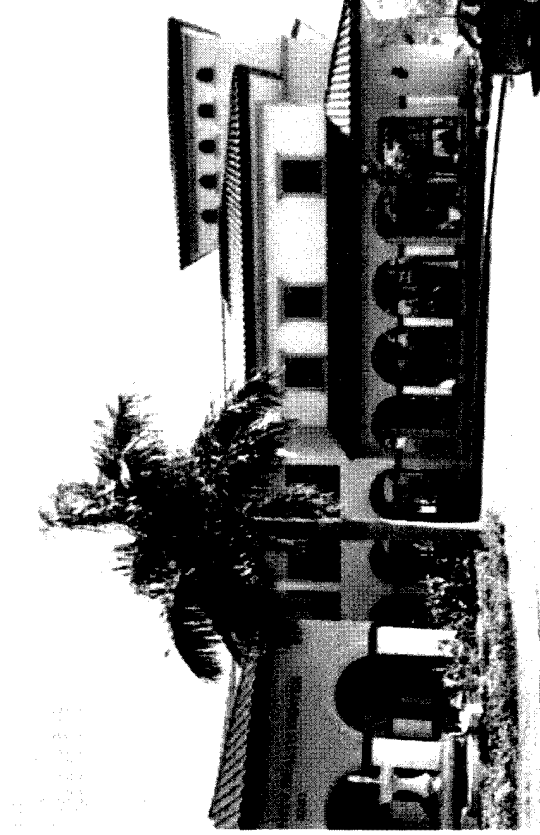


At the southern portion of the Town Center lies a charming main street. Portals, archways, plazas, covered walkways and arcades link the intimate pedestrian and vehicular streets found here. As visitors meander through the zone with its generous, shady sidewalks and avenues adorned with streetlights reminiscent of Mediterranean Revival architecture, they discover discreet courtyards, colorful fountains, bustling cafes, and lively shopfronts.

In the tradition and splendor of historic Mediterranean public spaces and villages, the Town Center will be the premier retail core of this community and surrounding neighborhoods. It is the setting for community shopping, entertainment and leisurely gathering.

3. District 3 - South Village

Located south of the Town Center and Coconut Road, the mixed-use South Village complements the surrounding community it supports. The South Village includes primarily medical office and adult congregate living apartments. The neighborhood has been planned to provide synergy with the existing Bonita Springs Community Health Center located at U.S. 41 and Coconut Road. Consistent with the design of all of Coconut point, the buildings shall be of a Mediterranean Revival style. Buildings are generally set back from the roadway, tucked into the landscape and accessed through landscaped parking areas. Signage, common landscaping and lighting are consistent with the Coconut Point design criteria. Cohesive design elements will ensure the quality and beauty of the Coconut Point South Village.



IV. HOW TO USE THE DESIGN GUIDELINES

Follow the steps below in the order noted to effectively apply the guidelines outlined in this manual:

1. Review and follow the guidelines in the General Characteristics section for each development aspect (i.e. architecture, landscape, lighting, signage.) This umbrella category establishes the general guidelines that apply to all development and building types at Coconut Point.
2. Determine the building type of your project (i.e. commercial-retail, residential) and check that it conforms to any specific additional guidelines established for that category.
3. Check which district your project is located in and review and apply any district specific guidelines for your project.
4. Follow the design review and submittal procedures.

V. ADMINISTRATIVE MATTERS

A representative of each of the DRA's within Coconut Point shall appear before the Estero Design Review Committee (EDRC) on a quarterly basis to update the EDRC as to its plan reviews and approvals during the preceding three month period.

The EDRC shall be notified of any variance from these Design Review Guidelines granted by a DRA and the reasons/rationale for granting such variance.



PART 2 ARCHITECTURE

I. INTRODUCTION

The architecture of Coconut Point serves as the backdrop, the setting within which the everyday activities of the community unfold. Coconut Point's buildings and environment affect the inhabitants' perceptions, outlook, and daily lives through factors such as spatial quality, visual harmony, stylistic references, and comfort and convenience.

Specific building elements and dimensions define the architectural spatial qualities of Coconut Point. Building heights and massing are maintained at an appropriate, often intimate, scale and avoid dwarfing their surroundings. Changes in massing achieved with towers announce tenant location and punctuate the visual landscape. Façade articulation creates light and shadow transitions, visual interest, and further breaks down building scale into the human realm. Courtyards create intimate areas for repose and reflection. Arcades minimize building scale, provide shade and may announce building entries. A combination of hip type, low angled tile roofs and flat parapet rooflines provide visual variety and opportunities for change in material and texture. The internal streets and walkways between buildings encourage strolling and discovery.

Visual harmony at Coconut Point is achieved through thoughtful application of combinations of surface treatments. The warm, earth tone color palette spreads a soothing feeling among the buildings. Changes in color animate façades and groups of buildings. Variety in texture at building or façade transitions differentiates buildings and creates shade and shadow. Ornament activates building façades and reinforces the identity of the community. Accent materials such as clay tile, ceramic tile, stone and cast stone further enliven the environment.

The style and character of an elegant Floridian town with a unique Mediterranean Revival identity is conveyed through Coconut Point's façade and building design, building siting, and ornament and surface treatments. Careful study and integration of this style, characterized by its low pitched

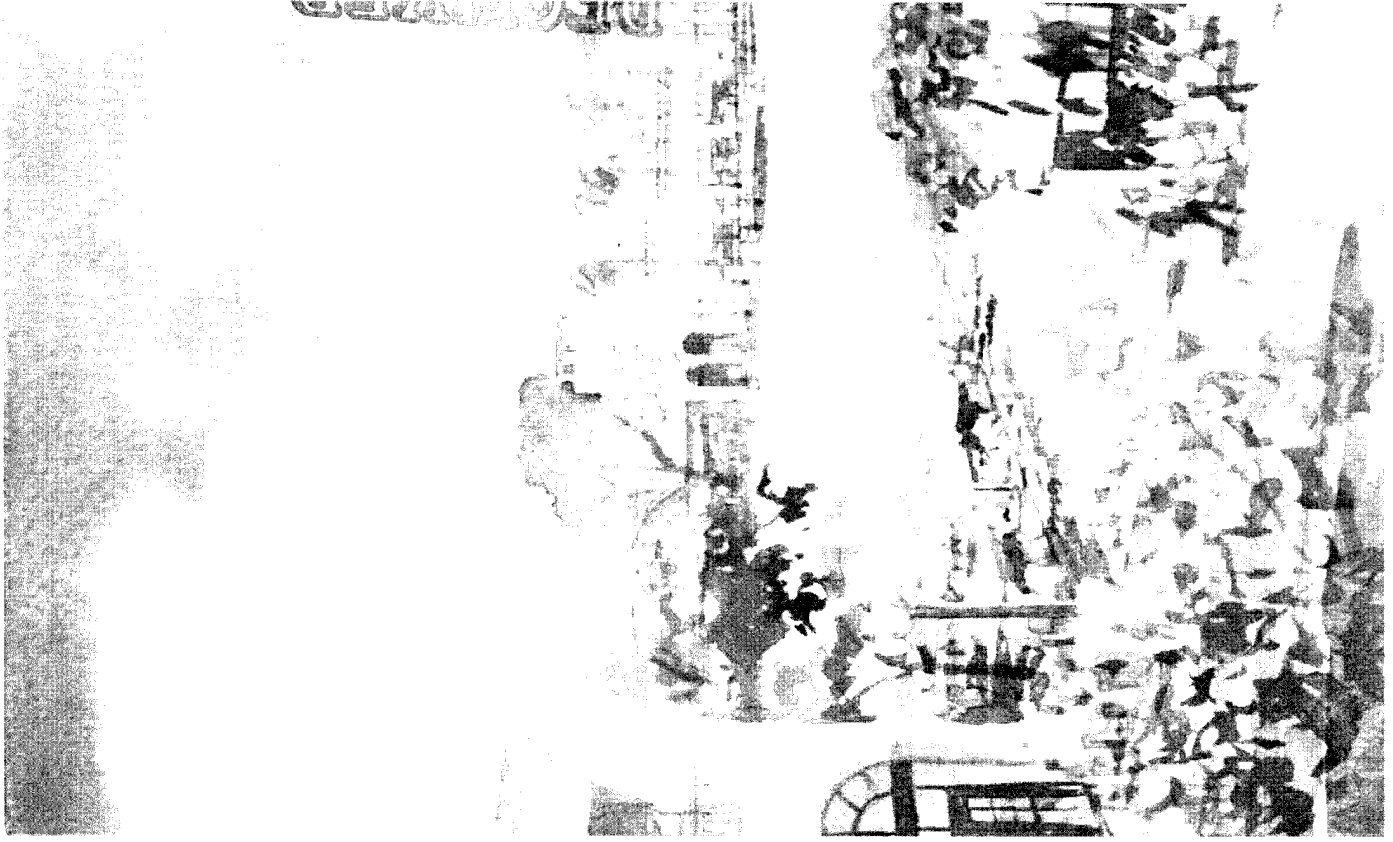
and random clay tile roofs, shady arcades and colonnades, decorative towers, and rational, articulated façades punctuated by arched windows and charming balconies is at the core of Coconut Point's elegant regional identity.

Comfort and convenience round out the architecture of Coconut Point and distinguish it from ordinary commercial retail developments. Awnings, arcades, beautiful greenery and other devices shade the pedestrian; ease of circulation results from well planned building siting and logical building entry locations; and intimate courtyards with site amenities provide places to rest and gather.

8 II. GENERAL ARCHITECTURAL CHARACTERISTICS

1. Architectural Language

A unique language of Architectural components has been established for Coconut Point. Components have been designed and chosen to support the unique Mediterranean Revival style of the community and the design guidelines objectives overall. Used in combination, they provide a thorough and solid basis for the architecture of all the building types at Coconut Point. While there is no minimum number of required components per building facade, designers are encouraged to creatively employ the examples shown on the following pages to enhance the visual flavor and cohesiveness of Coconut Point. Designers are also encouraged to create variations on the particular components in terms of motif, shape, and groupings of forms (such as window lites and frames), while bearing in mind that designs should always reflect a Mediterranean Revival style. Some architectural components have required features and applications as noted on the following pages.

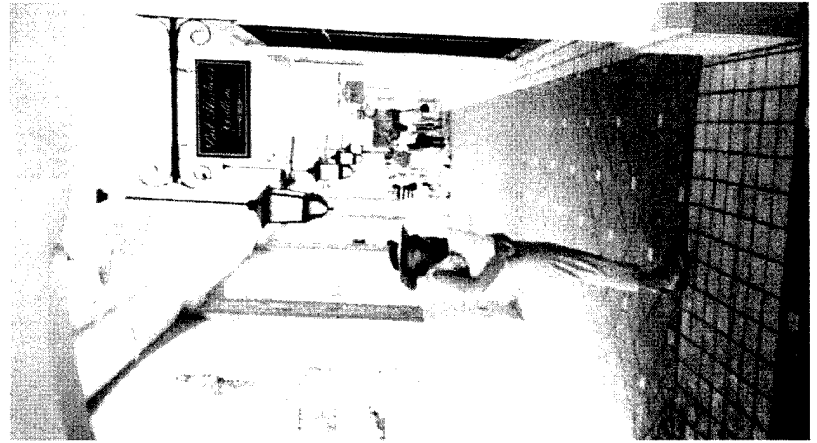
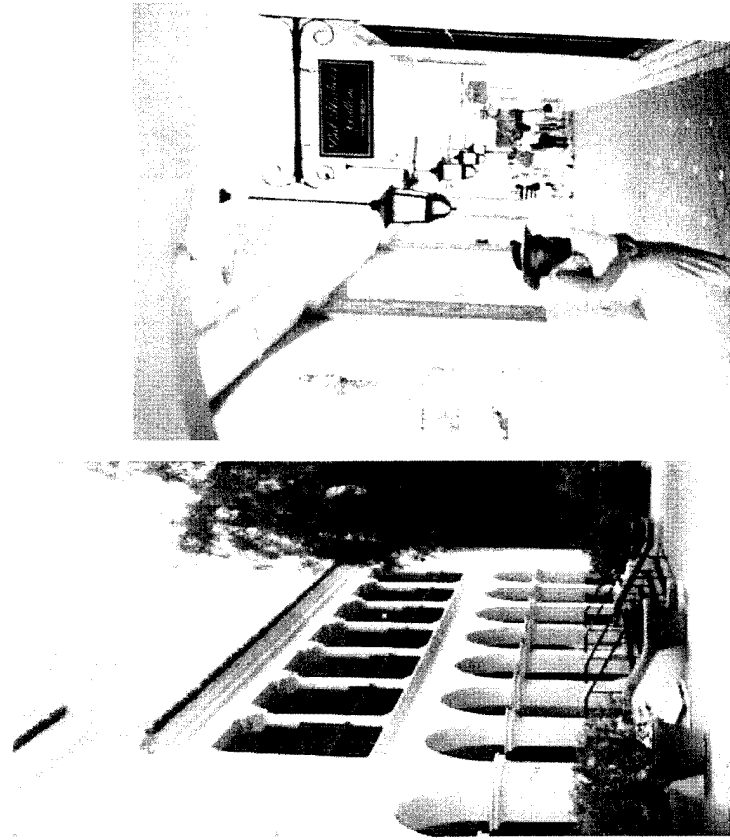




2. Architectural Components

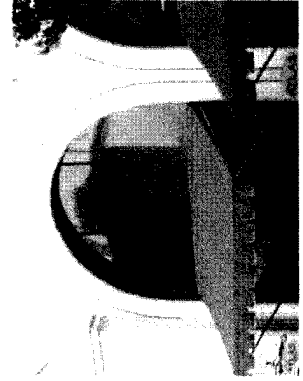
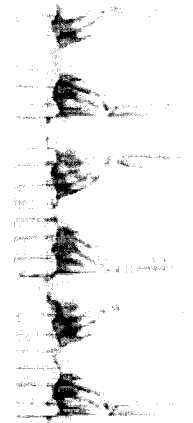
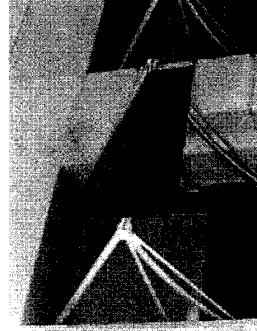
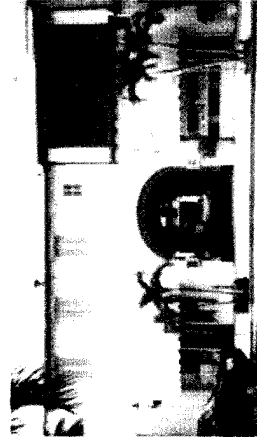
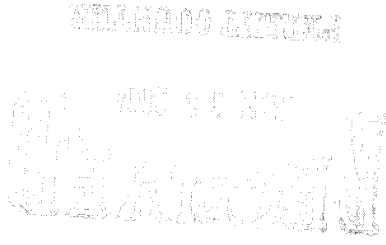
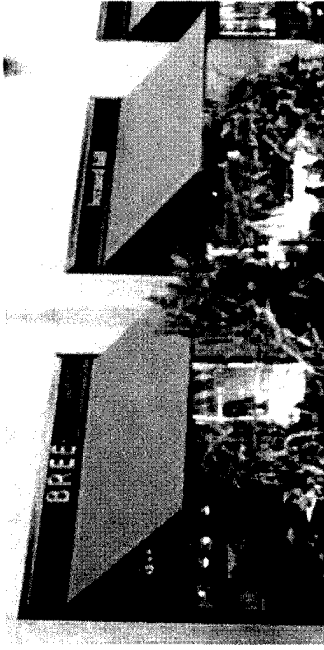
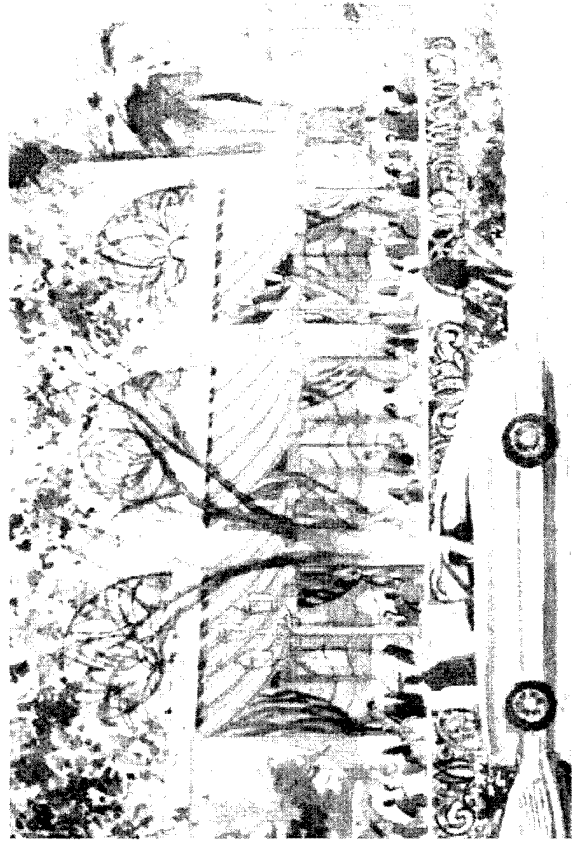
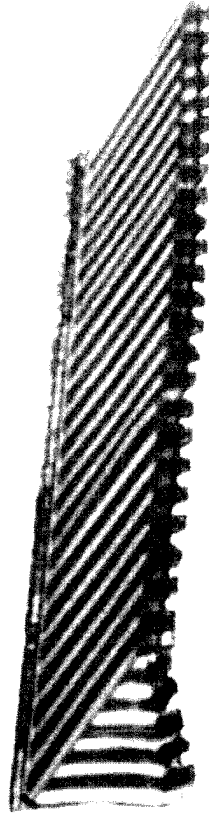
Arcades

Arcades are covered passages in front of or at the side of a building façade. Providing protection from the elements, they also function to break down building massing to a more pedestrian scale through employment of an intermediate roofline. Frequently, they lead to building entrances or are, in fact, part of a storefront or lobby entry condition. Openings in arcades can be either arched or rectangular and establish a rhythm along the building façade.

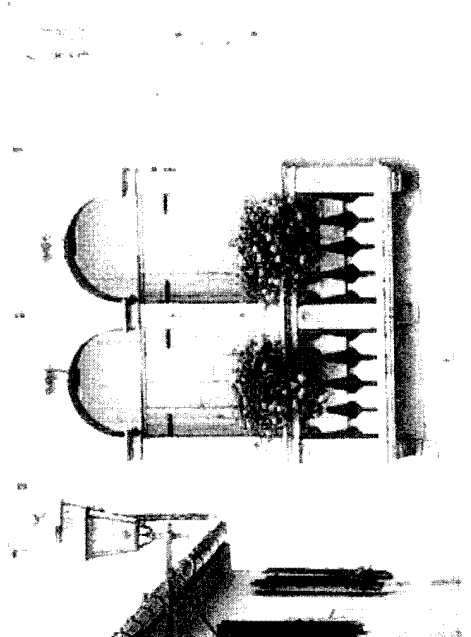
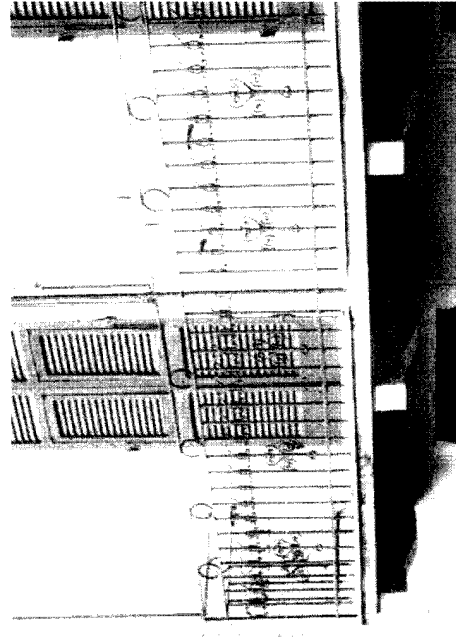
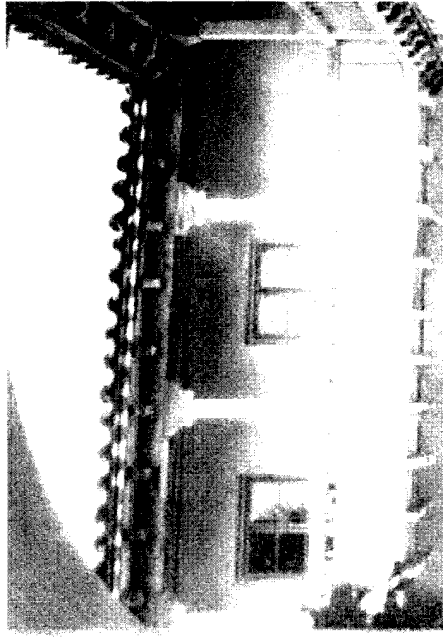


Awnings

Awnings provide sun protection and add color and texture to the building façade. Awning shapes may be curved or rectangular depending on the corresponding window shape. Types of awnings include open-sided, spherical, rectangular, European roll-up, operable, fixed, wood framed, and marquee style. Canvas with metal frame and wood lattice are acceptable materials for awnings at Coconut Point. Materials such as panaflex, plastic, or other vinyls are not permitted.

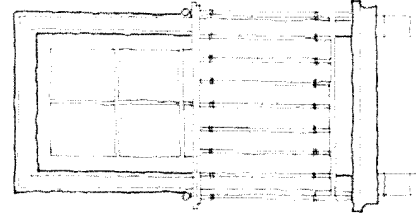
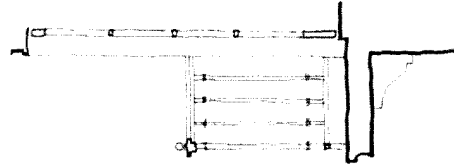
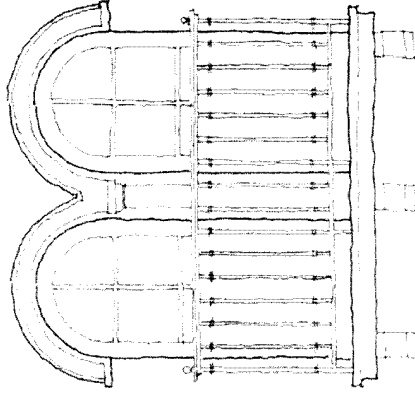
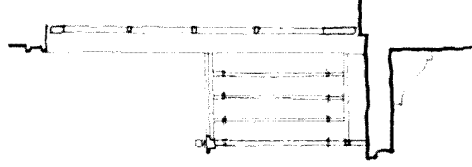


Handwritten signature or initials.



Balconies

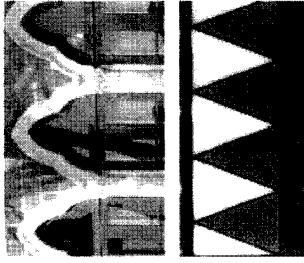
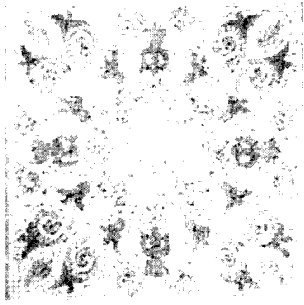
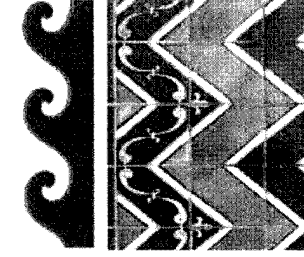
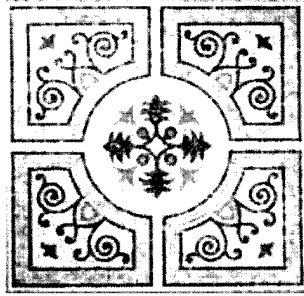
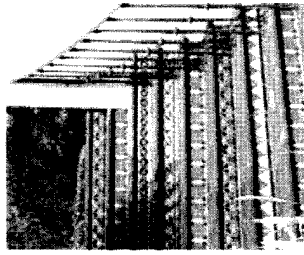
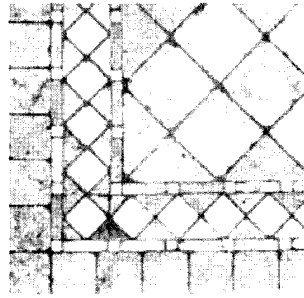
Balconies function as compositional focal points. They act as centering elements of a façade. Balcony rails of wrought iron or wood add ornamental relief and visual interest to the composition. Balconies establish a relationship between the building upper levels and the street level and provide opportunity for planting.



RECEIVED
JUN 30 2004
MILITARY COMMER

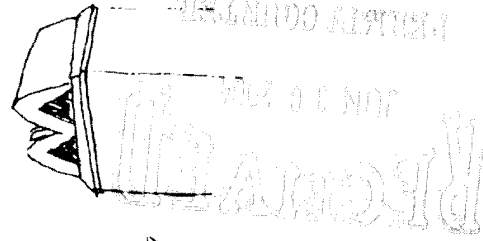
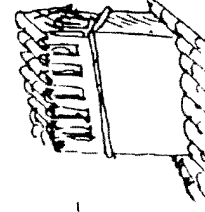
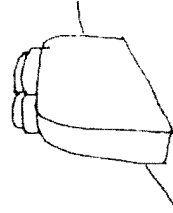
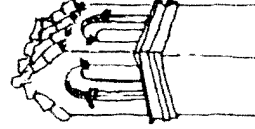
Ceramic Tile

Ceramic tile adds color, pattern, and texture to the building environment. Because of its small scale in relation to many building materials, it should be located with visibility in mind. As an accent in surface paving, at stair risers, storefront window curbs, and wall accents as frames, bands, and small murals are all appropriate applications.



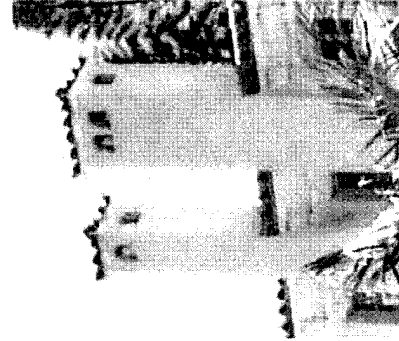
Chimneys

The proper placement of chimneys adds to the architectural scale and intimacy of the buildings at Coconut Point. Clay tile, stucco, and cast stone are appropriate materials for these elements that add punctuation and familiarity to the buildings.



Color Palette

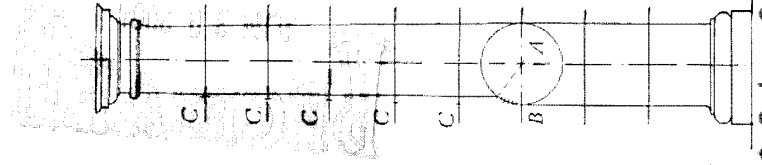
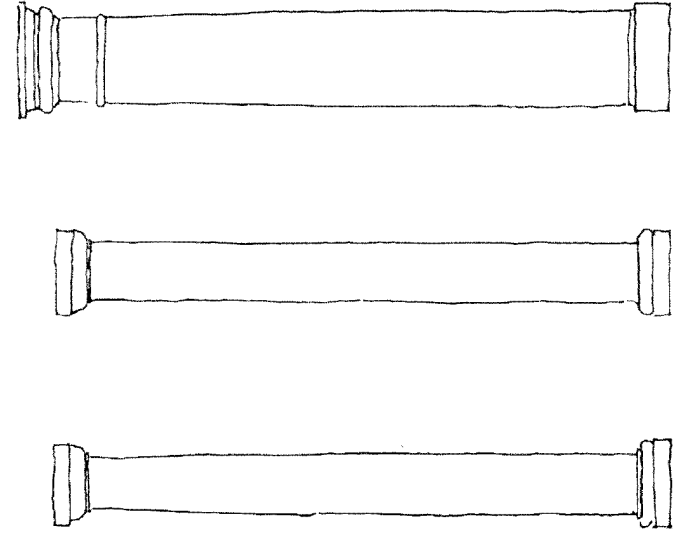
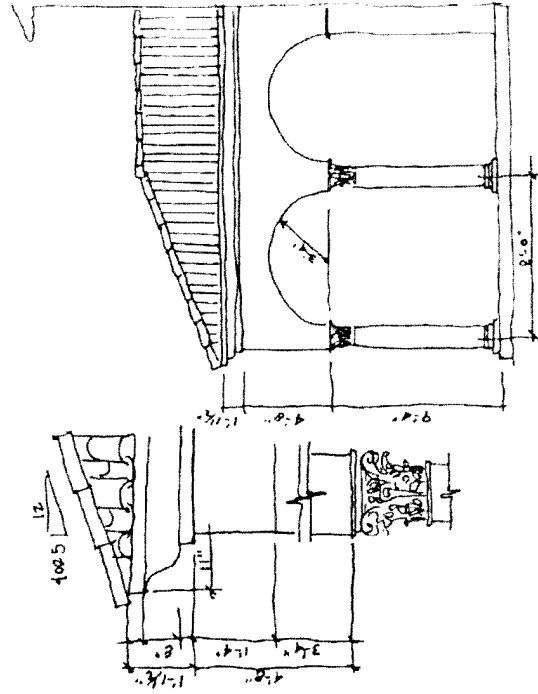
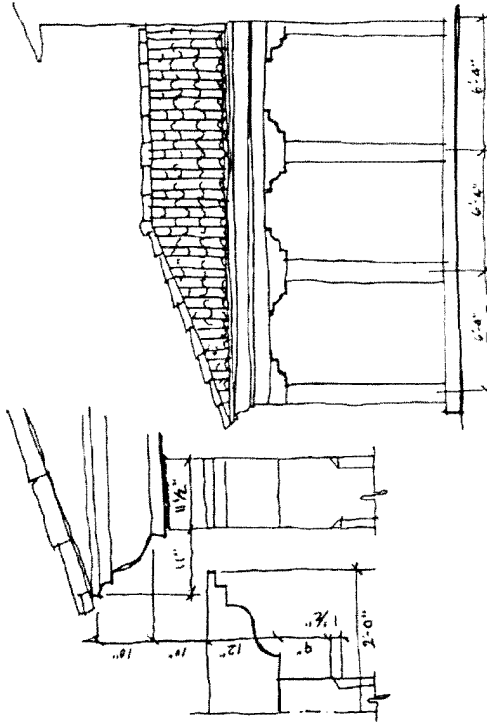
Facade colors at Coconut Point shall be low reflectance and subtle, neutral, warm white or cream color and earth tone colors. Building trim and accent areas may feature lighter or darker saturated colors within an earth tone palette. The use of high intensity colors, metallic colors, black or fluorescent colors is prohibited.



Columns

Columns establish a horizontal rhythm for building facades and correspond in design to the buildings' style. Designers should use careful consideration of building proportion and column dimensions in design of columns for the project. Column capitals and bases may be simple or ornate. In general, columns will be manufactured of cast stone or wood.

Where columns appear as part of a colonnade, they establish a place to walk under protection, and a softening of the building scale and façade. The colonnade also provides shade and shadow relief to storefronts. The composition of colonnades may be formal or relaxed.

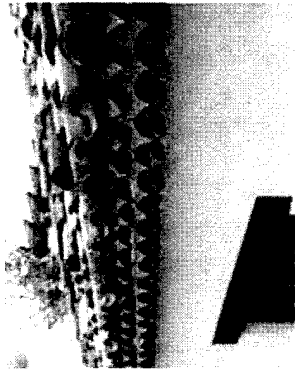


Cornices and Wall Caps

Cornices and wall caps provide a decorative termination element for building parapets at flat roofs. They also serve to direct water away from the top of a building façade. Cornices should be scaled appropriately to the building façade. Cornices must either terminate at a recess or adjacent wall or turn a corner and continue down a façade, terminating at an architectural feature.

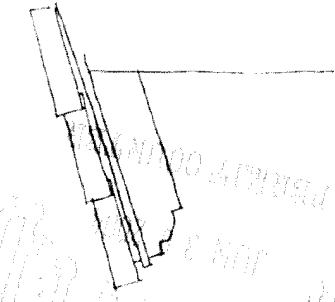
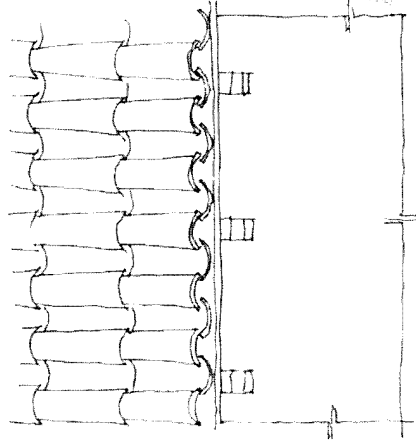
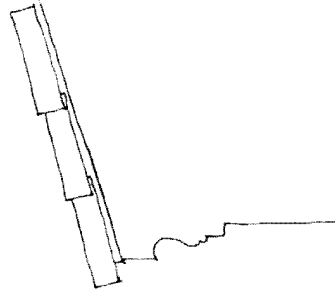
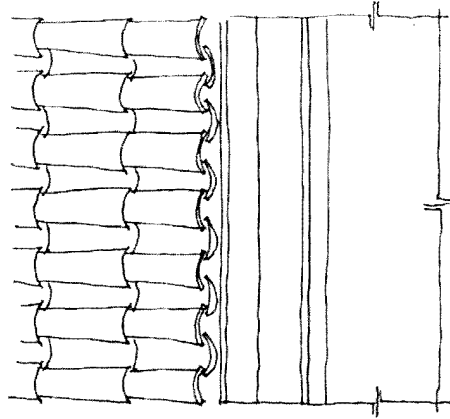
Cast stone is encouraged as a material for the manufacture of cornices and wall caps and corresponds to the Mediterranean Revival language established throughout these guidelines. Additionally, clay tiles may be used as parapet wall caps. Like molding, cast stone cornices and wall caps at Coconut Point incorporate several levels of contrasting curved and faceted elements in combination, creating a richness of texture, ornament and shadow.



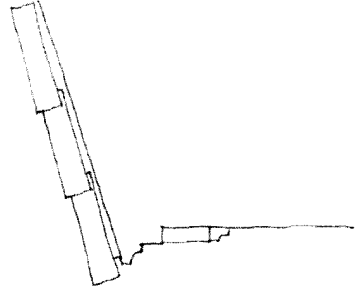
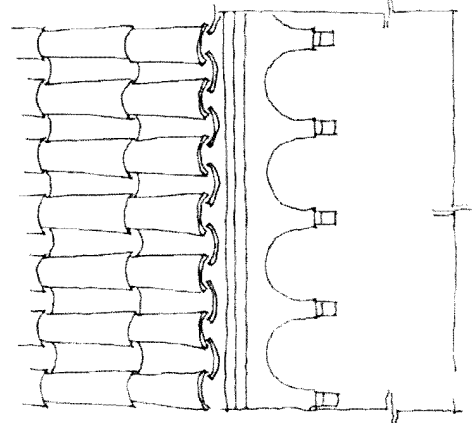
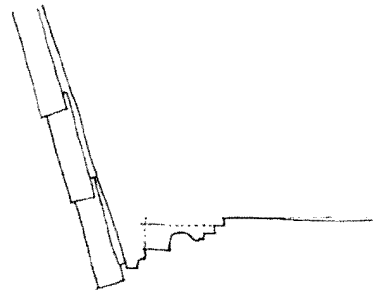
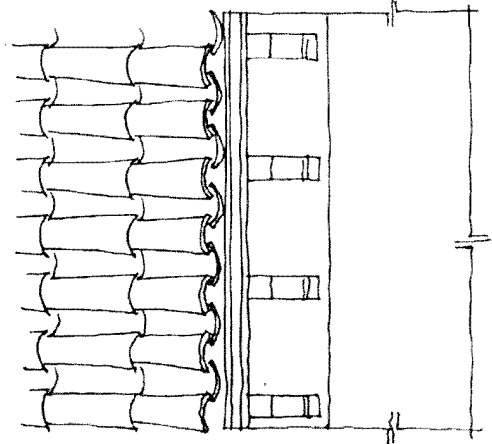


Eave Types

In addition to providing rain and sun protection for the building, eaves are an opportunity for ornament and articulation. Detail elements at eaves create shade and shadow and provide horizontal interest. Repetitive elements such as dentils and exposed rafters set a rhythm for the upper areas of the building facade. Rooflines may meet eave conditions with either exposed decorative rafters, dentils or cornice molding. In general, materials appropriate for eaves are cast stone and wood.



Eave Condition - Cornice Molding



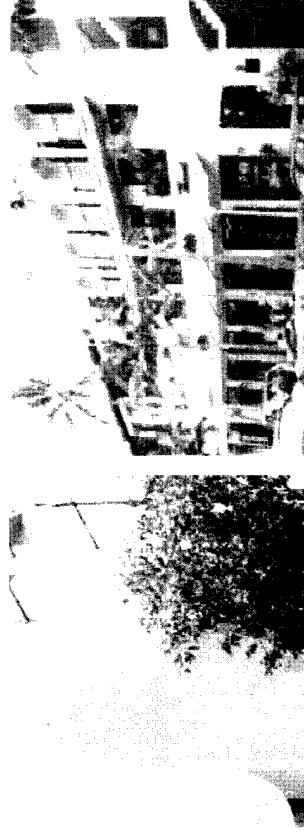
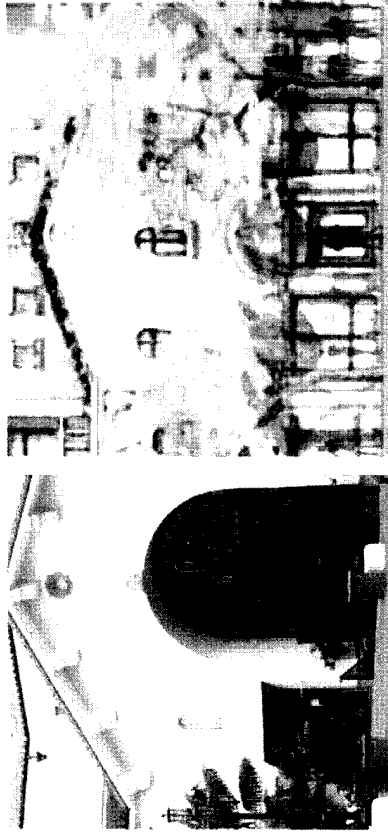
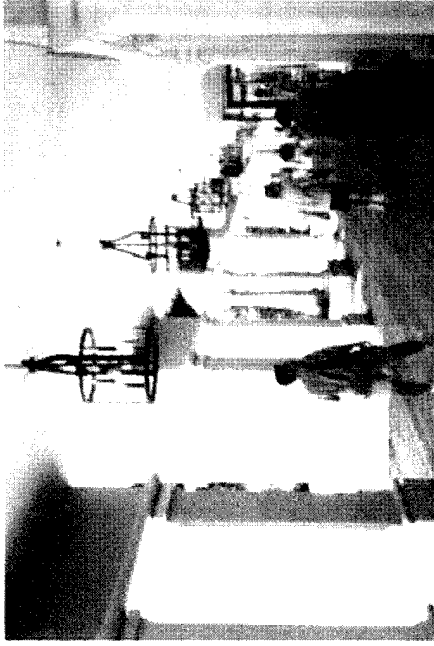
Eave Condition - Exposed Rafter Tails

Eave Condition - Corbel Bracket Band

Eave Condition - Arched Corbel Table

Entryways

Entryways announce the location of access to the inside of a building. Frequently covered, or an articulated portion of an extended arcade, they provide orientation for the visitor and ample circulation. Other building entryway types are recessed within a continuous building façade. Unique entryway features may correspond to a tenant's identity or indicate the building's use. Additional elements that may define entryways include: overhangs and projections, arches, display windows, balconies, and seating areas beside doorways for waiting.

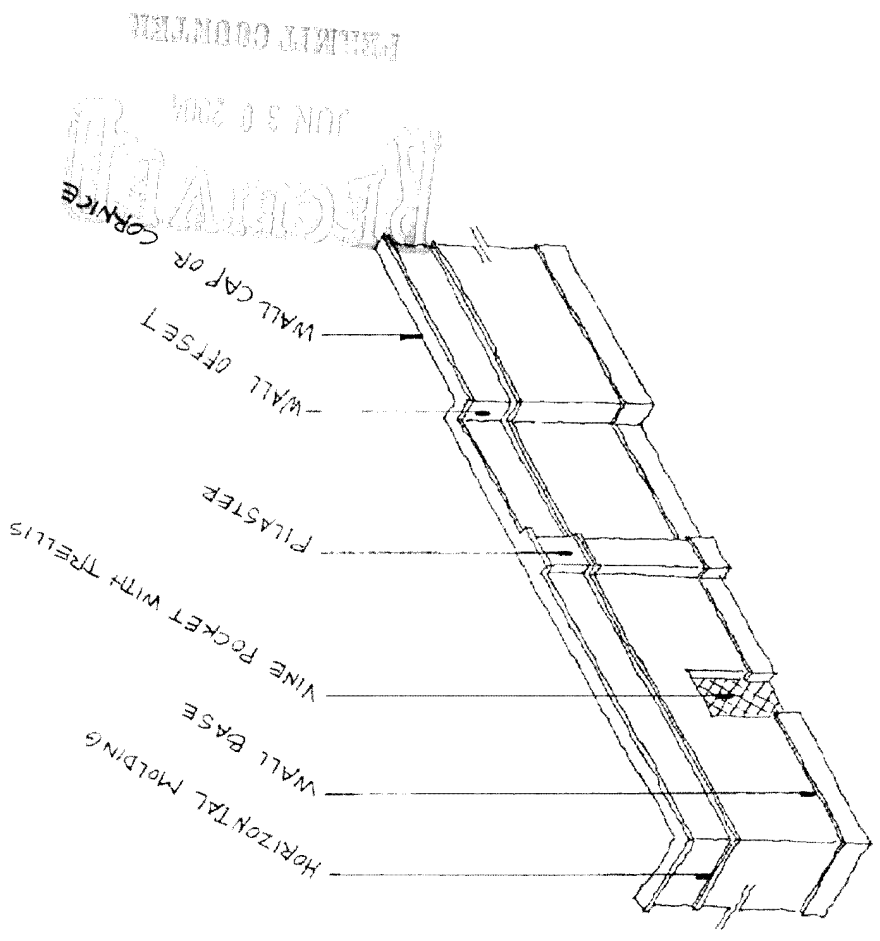


Façades and Exterior Walls

Façades at Coconut Point shall be articulated to reduce building scale and relate to pedestrian and street scale elements. Recesses, plane changes and parapet height changes create visual interest and opportunities for change in color and texture. The incorporation of ornament and detail features such as molding, wall bases, vine pockets, wall caps and pilasters animate façades and reinforce building style.

Developments with facade over 75 feet in linear length shall incorporate wall projections or recesses a minimum of three foot depth and a minimum of 20 continuous feet within each 75 feet of facade length and shall extend over 20 percent of the facade. Developments shall use animated features such as arcades, display windows, entry area or awnings along at least 60 percent of the façades.

17

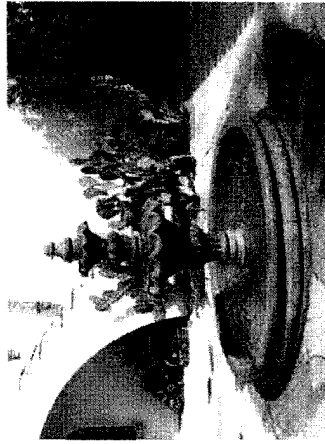
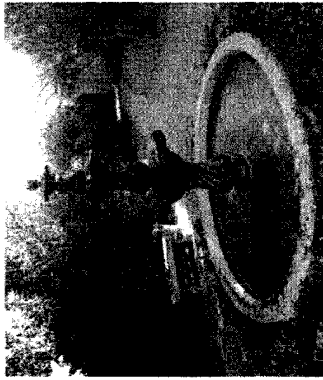
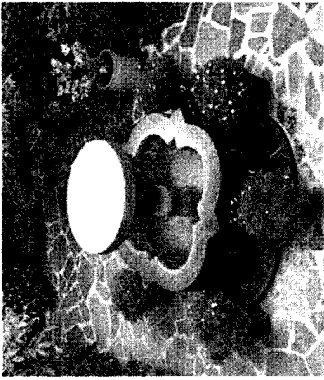
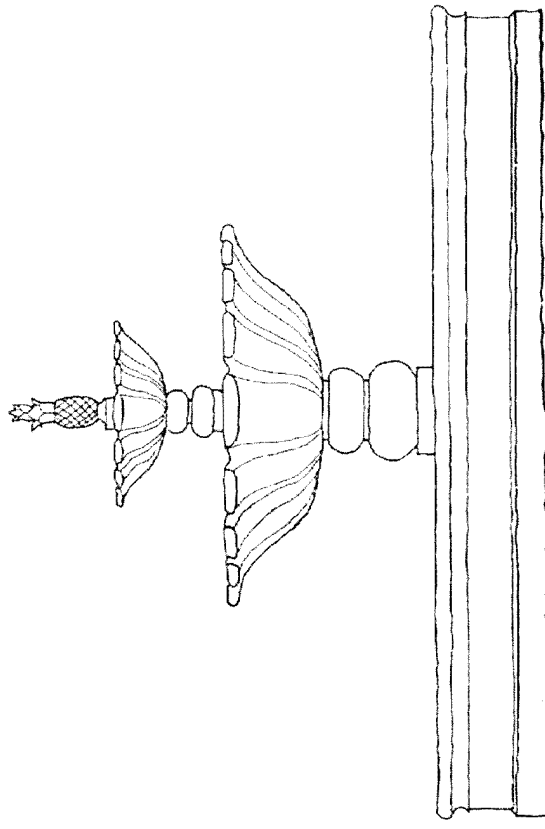


JUNE 14, 2004

ADD 2004-00060

Fountains

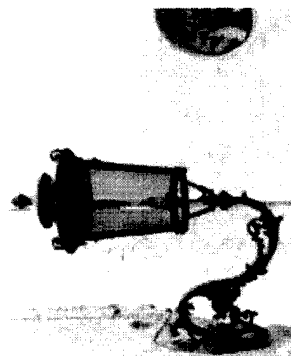
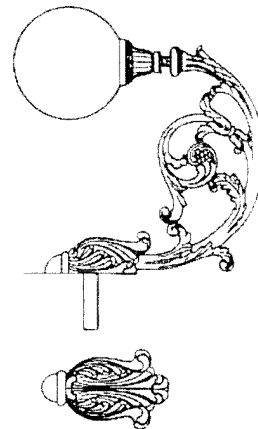
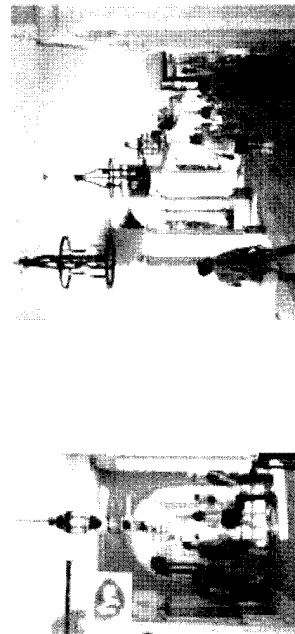
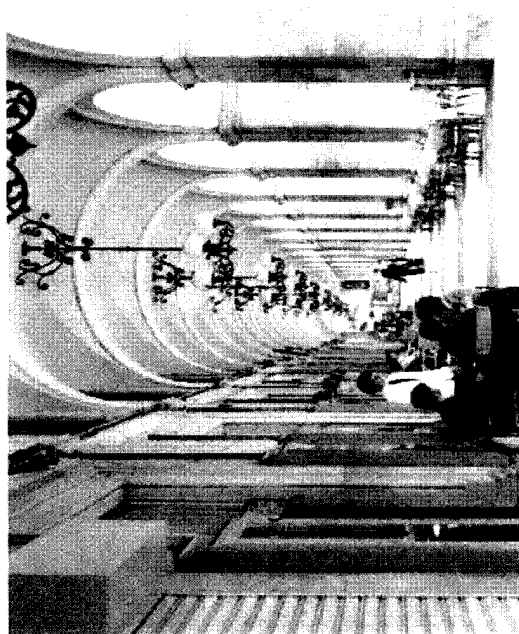
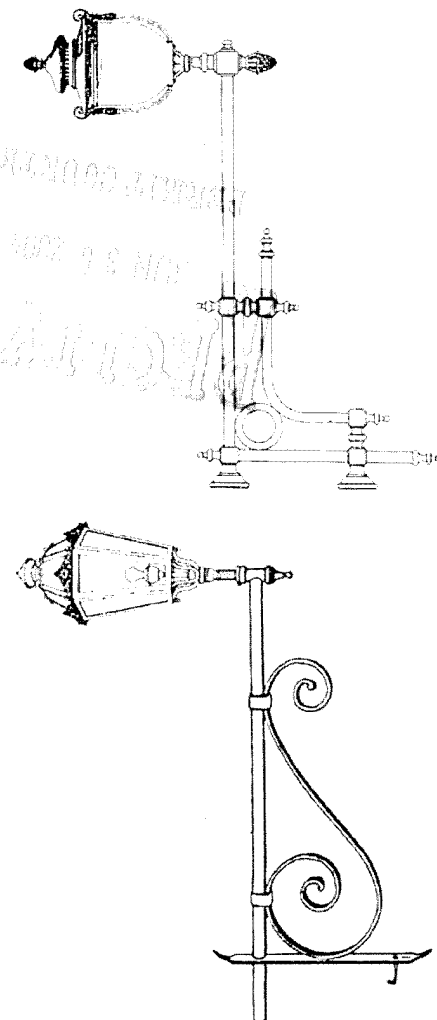
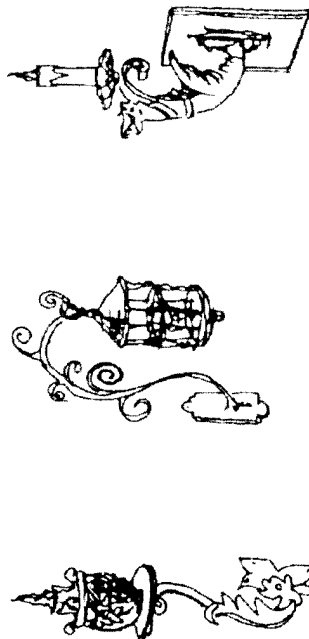
Primarily a site planning feature, fountains compliment the overall architecture of Coconut Point. Occurring most often at courtyard spaces, they provide opportunity for repose and reflection. In general, appropriate materials for fountains are cast stone and ceramic tile. Integral tile patterns can provide a focal point and a degree of intimacy for the entire courtyard space.



RECEIVED
JUN 14 2004
ADD 2004-00060

Lighting at Building Façades

Integrated building lighting sets a tone for the entire project. Building lighting in the form of sconces, uplights, cove lights and ornamental fixtures can define and enhance building massing and color. The same elements can reinforce the architectural identity of the building through their design. Encouraged materials for visible light fixtures are wrought iron and glass, painted metal and aged metals.



Massing

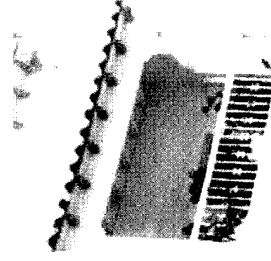
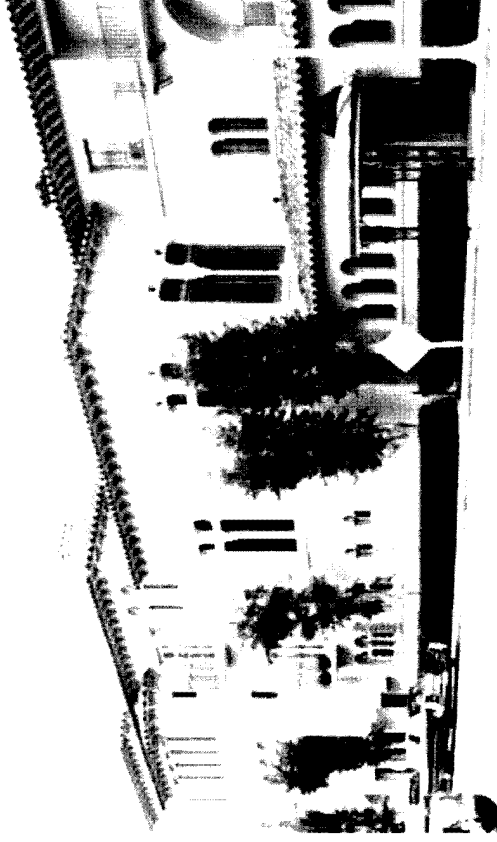
Massing of Mediterranean Revival buildings requires the careful articulation of the ground floor level for the pedestrian and passerby in a vehicle. This is the key to the ability live, work and shop with a sense of community. Ground level windows may be articulated by arched openings, colonnades, canopies or awnings framed in stone, cast stone, stucco or trim.

Upper floors should be composed such that there is a strong, yet romantic, rhythm of both the horizontal and vertical utilizing arched, square and rectangular openings. Attached balconies and recessed porches are appropriate. Walls should give the appearance of being load bearing. Therefore, spacing, size and composition of openings is critical. Buildings two stories or more in height should use classic "base, middle and top" composition.

Building façades shall include a pattern that shall include no less than three elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.

- Color change
- Texture change
- Material module change
- Expression of architectural or structural bay through a change in plane no less than 12" inches in width, such as an offset, reveal or projecting rib.

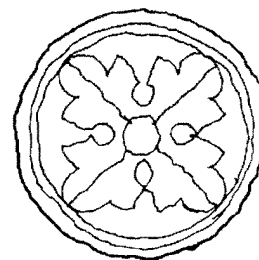
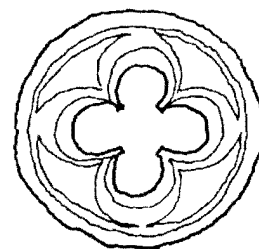
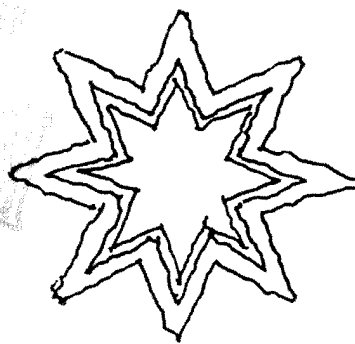
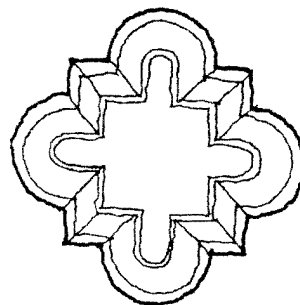
At building corners, façade components such as colonnades, moldings, bases, cornices and other items shall wrap at a ninety-degree angle and terminate at an architectural element.



RECEIVED
JUN 14 2004
PLANNING COMMISSION

Medallions

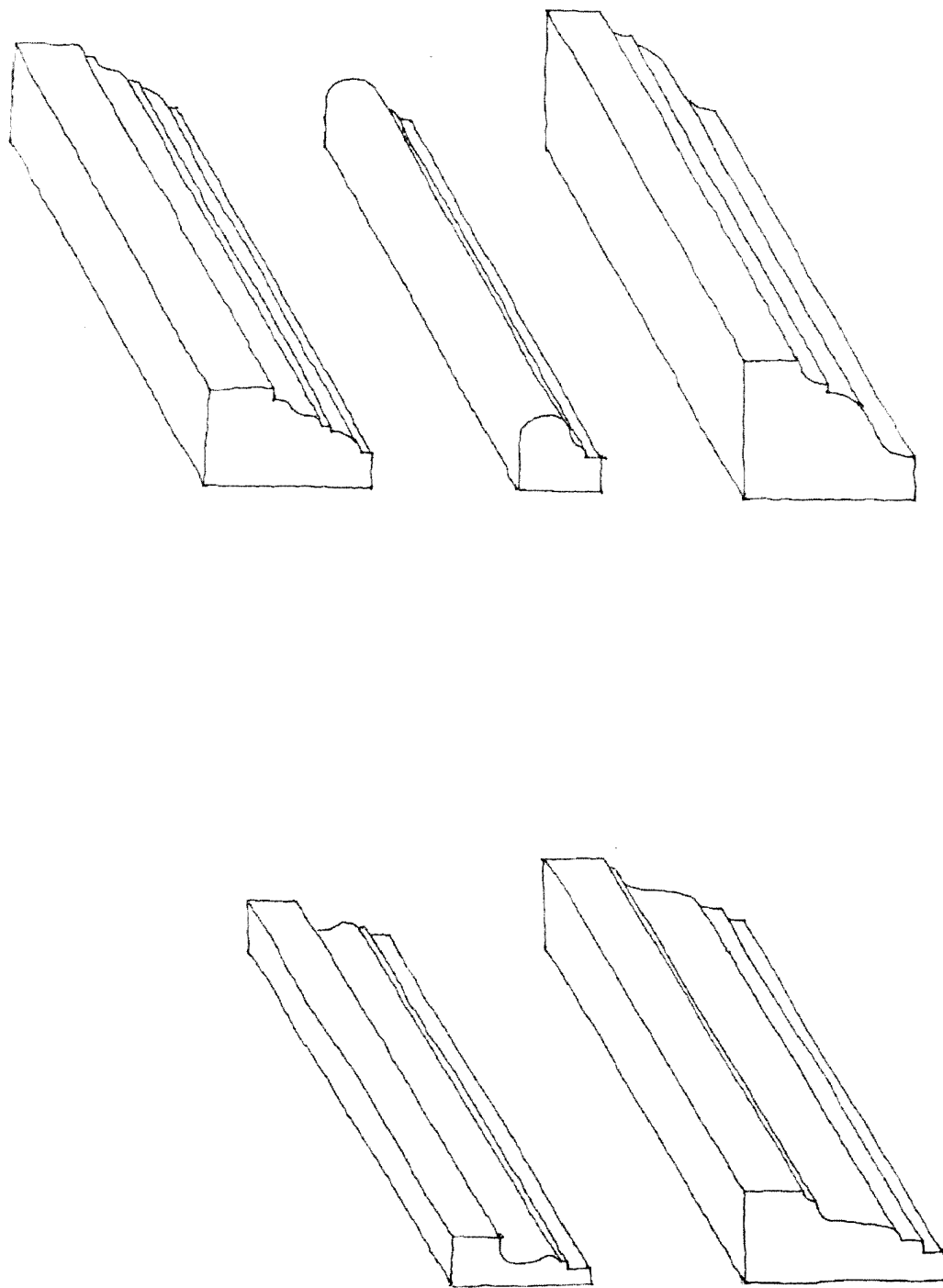
Medallions add texture and ornament to a building façade. They may be used as accents above colonnades or windows. Single applications of medallions are larger in scale and may punctuate façades above arches or entryways. Arranged in a grid or a band they may create texture and shadow on large wall surfaces with limited fenestration. When used as repetitive features, medallions should be smaller and proportional to **building scale**. In general, medallions will be manufactured of cast stone or metal.



Moldings

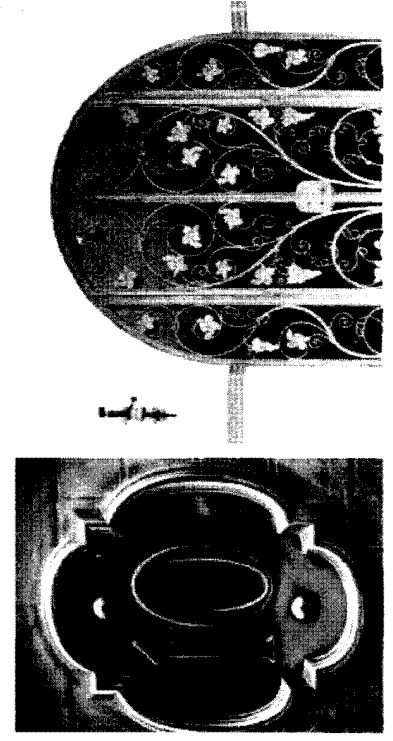
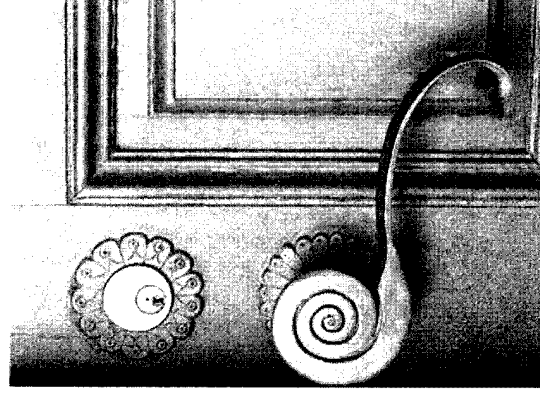
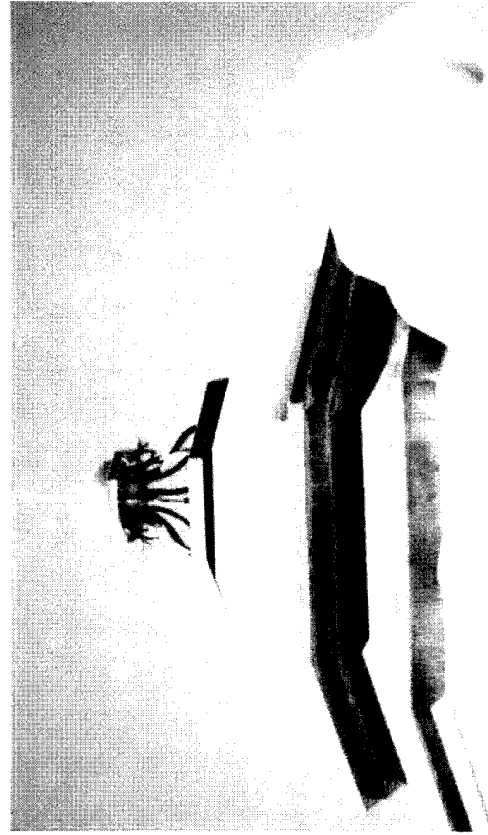
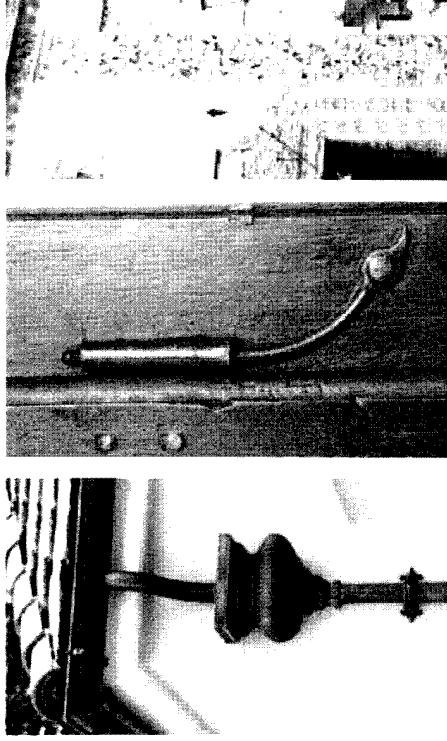
Moldings add horizontal relief to the building façade and provide opportunity for color and texture change. In general, molding will be manufactured of cast stone material. Recommended molding profiles for Coconut Point incorporate several levels of contrasting curved and faceted elements in combination, creating a richness of texture, ornament and shadow.

RECEIVED
JUN 3 6 2004
PERMIT COORDINATOR



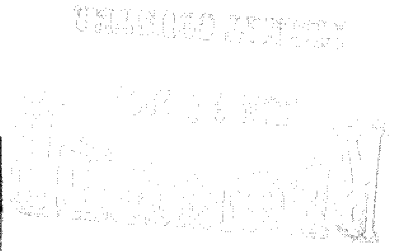
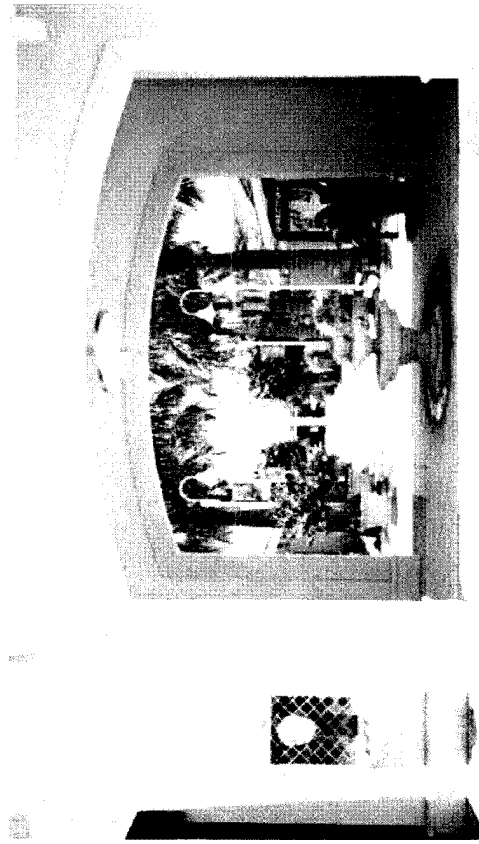
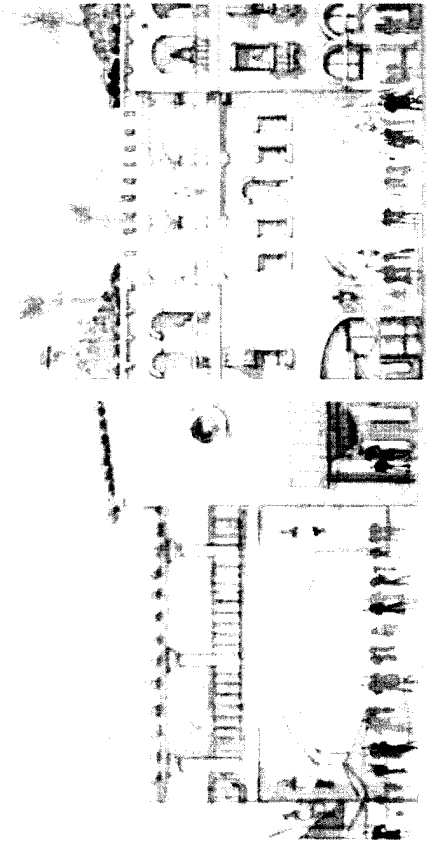
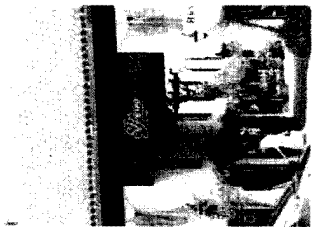
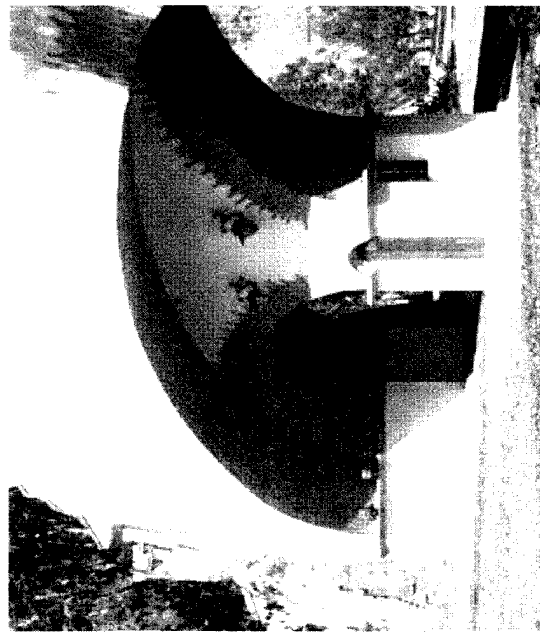
Ornament

Architectural ornament reinforces the project identity through motif and richness of detail. Ornaments such as door pulls and decorative finials are usually fabricated of metal. Ornamental features such as relief bands, pendants, and keystones are generally made of cast stone.



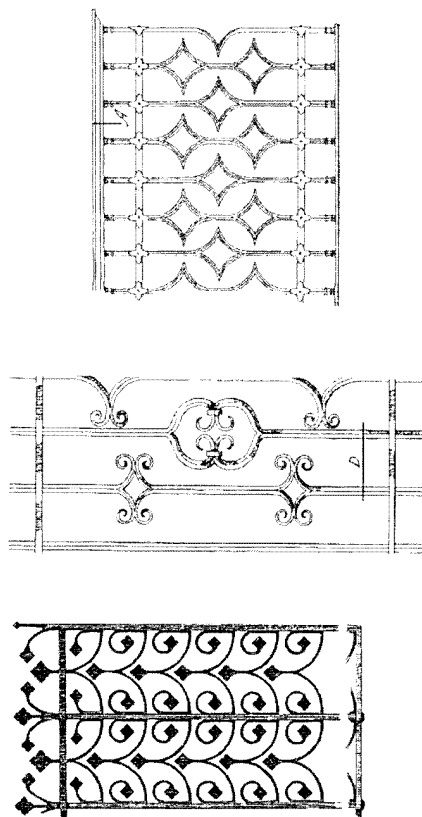
Portals and Pass-Throughs

Frequently recessed in a building façade and articulated by molding and ornament, portals frame an opening, punctuate a façade, and lead the pedestrian to a building entry. Pass-throughs are similar to portals but instead link two exterior spaces at the ground level with building functions spanning above the opening. Either curved or rectangular arch shapes characterize portals and pass-throughs.

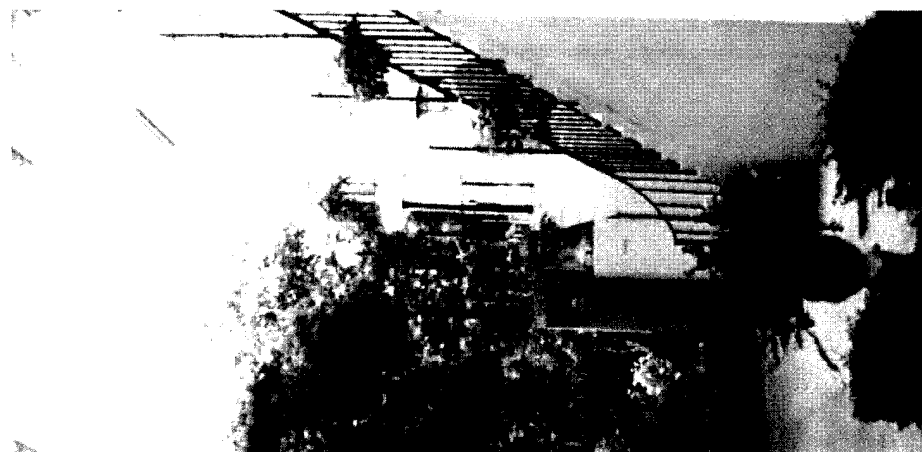
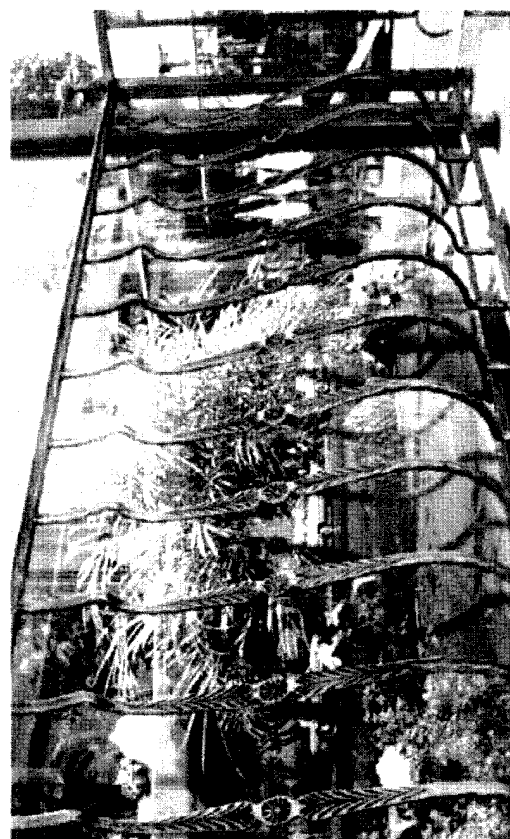
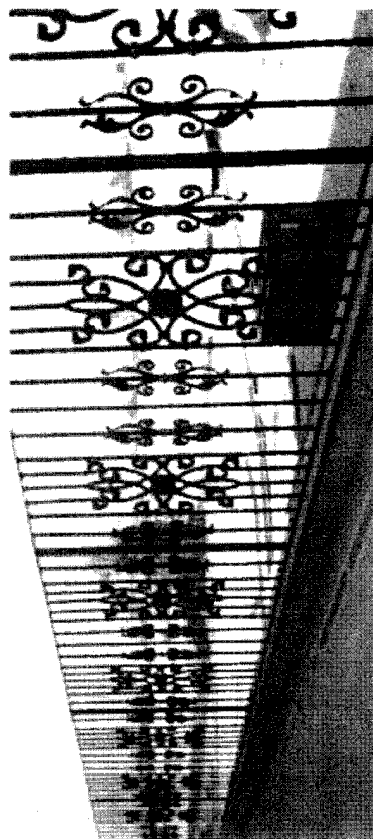


Railings

Typically made of metal with various organic and scroll type designs, railings are primarily installed as safety measures when there are site conditions which might allow a person to fall and sustain injury. Additionally, railings must be designed to resist lateral forces and minimize any openings through which a child might fall. These requirements do not prevent a railing from being very decorative. Railings should complement the architectural character of Coconut Point.



Wrought Iron Metalwork



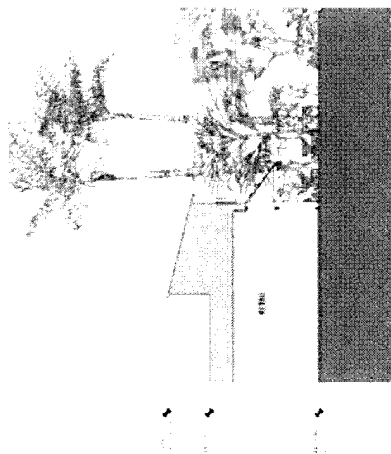
RECEIVED
JUN 14 2004
PLANNING DEPARTMENT

Roofs - Types and Massing

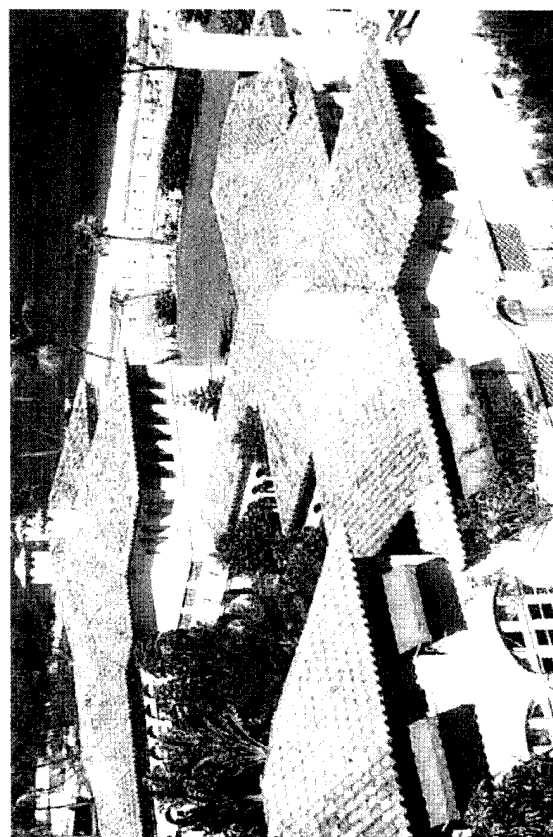
Low pitched and random tile roofs characterize the Mediterranean Revival style. A combination of hip type, low angled roofs and flat parapet rooflines provide visual variety at Coconut Point. Pitched roofs at commercial buildings shall not exceed a 4:12 slope. At commercial areas, roof pitches exceeding 4:12, may be approved at the discretion of the DRA. Pitched roofs at residential buildings shall be between 6:12 and 8:12 for single story elements and 4:12 and 8:12 for two and more story elements. Flat roofs shall include cornices or wall caps at parapets. Rooflines shall be varied with a minimum height change of three feet every 75 linear feet in the building length.

In certain locations, and at the discretion of the DRA, mansard type, pitched roofs with tile are acceptable. These roofs are designed to reflect a pitched Mediterranean style at the front of a building or to accentuate a focal point on the façade. Intended to achieve a similar visual effect as a regular hip roof, these roof types must return in plan at a ninety-degree angle and terminate at an architectural element.

Mechanical and roof top equipment shall be fully screened from view on all sides with material consistent with the main façade of the building and located in areas of low visibility. Asphalt shingles on pitched roofs and metal roofs are not permitted. Metal roofs as accents may be allowed at limited areas with DRA approval. Porte cocheres, if provided, shall incorporate a roof design and roof materials that are compatible with the building they serve.



Typical Section at Mansard Type Roof



Roofs - Clay Tile

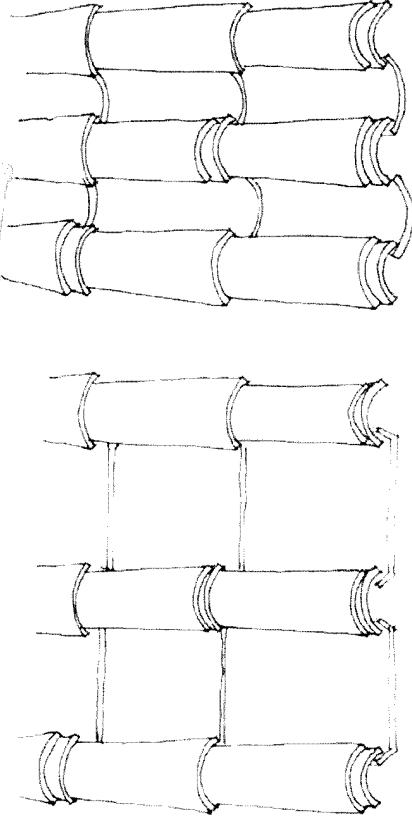
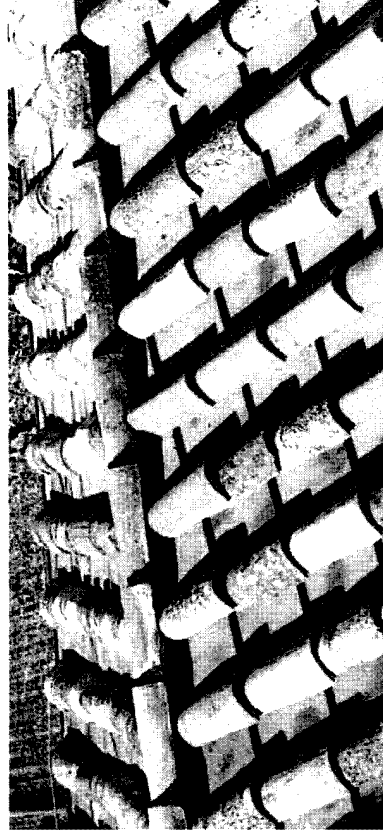
Clay tile roofs offer not only texture and color but also a sense of timelessness. Appropriate varieties for Coconut Point include Roman Pan style and Barrel style. All styles can be laid in an irregular or regular pattern. Roof tile colors shall be of the warm, earth tone color palette. Clay tile roofs may employ "Booster" tiles and/or visible grout to enhance roof dimensionality and create an aged appearance. Flat clay tiles may be interspersed with rounded clay tiles.

Roman Pan Clay Tile

To create visual interest, it is suggested that boosters be used and that a serpentine or random stagger pattern be incorporated into the roof tile pattern.

Clay Barrel Tile

To create visual interest, it is suggested that boosters be used and that a serpentine or random stagger pattern be incorporated into the roof tile pattern.



Roman Pan Clay Tile

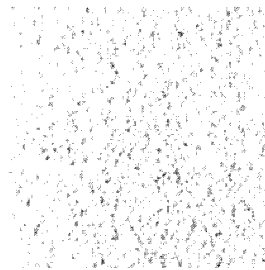
Clay Barrel Tile

Storefront/Ground Level Window Frames

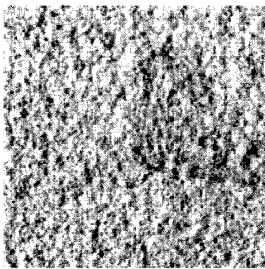
Storefront windows and other large glazed areas at the ground level have additional design requirements. Wider expanses of glass for visibility and entry door locations affect the design of these elements. Designers should include provisions for mullion articulation beyond a basic extruded aluminum profile. This can be achieved through applying cap and pan elements to the basic window assembly to add relief and dimension. Doors within the storefront assembly may be articulated in a similar manner or may include further customized elements to enhance the overall design and building identity.

Stucco Texture

Stucco texture may be smooth finish, light dash finish or medium dash finish. Changes in texture at reveals, building profiles, or molding transitions add variety and distinct shadow conditions to building elevations.

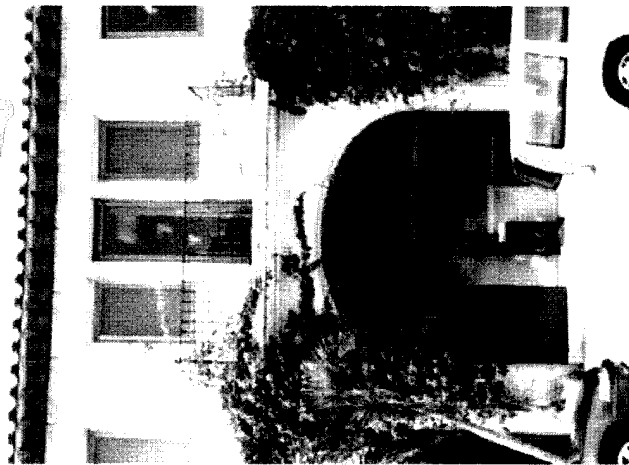


Smooth Finish



Light Dash Finish

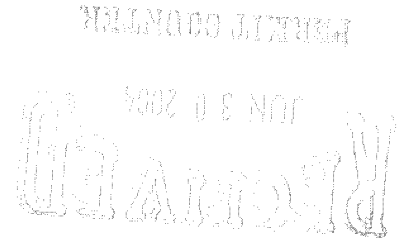
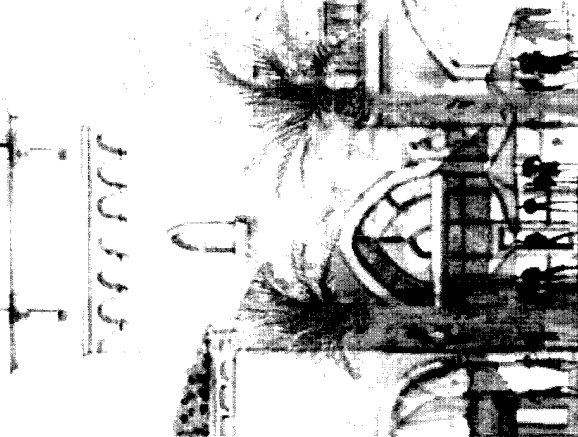
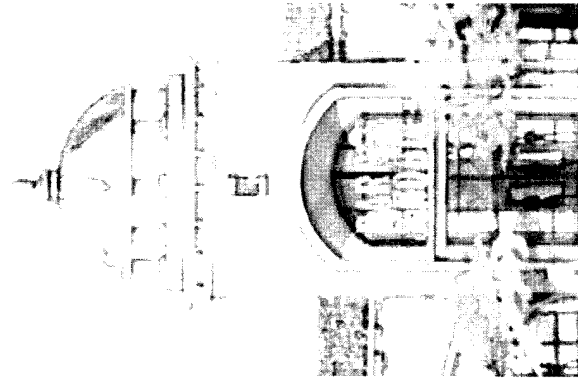
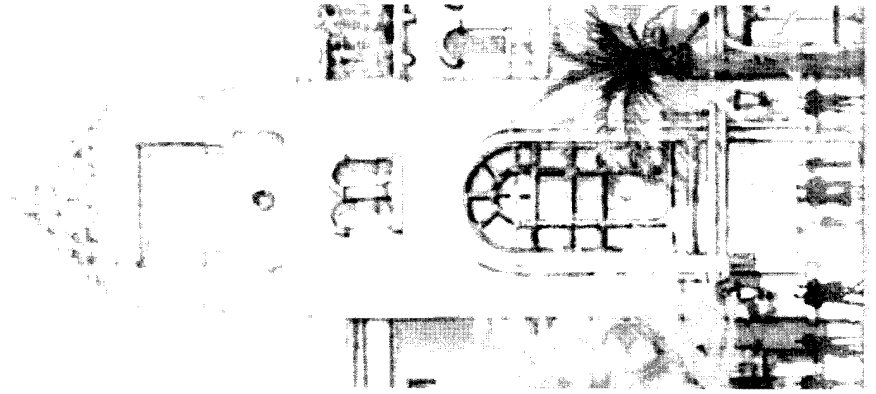
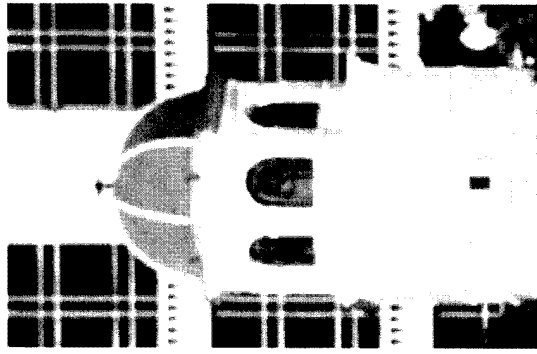
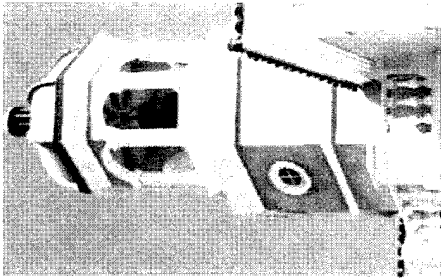
Medium Dash Finish



Storefront System with Decorative Cap and Frame Molding

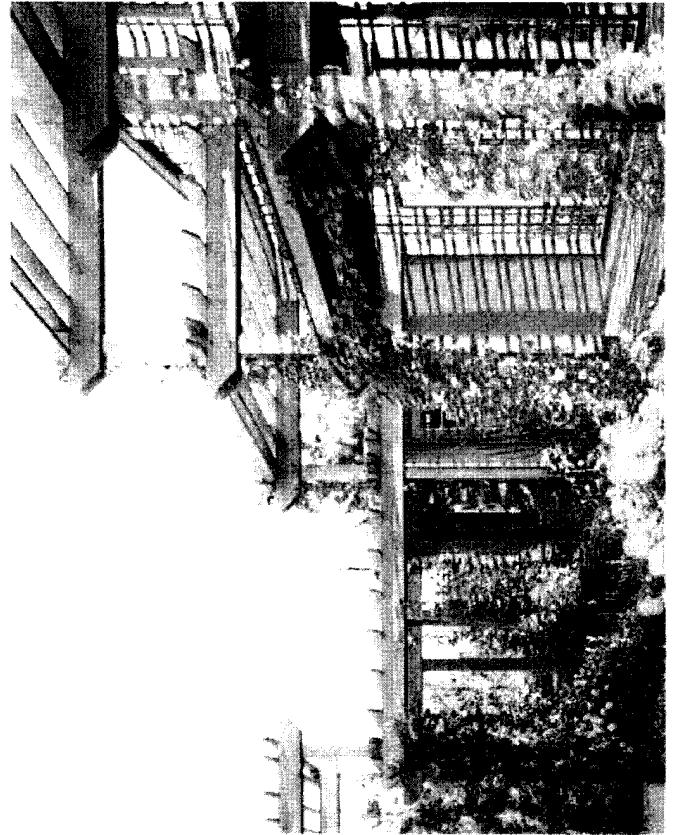
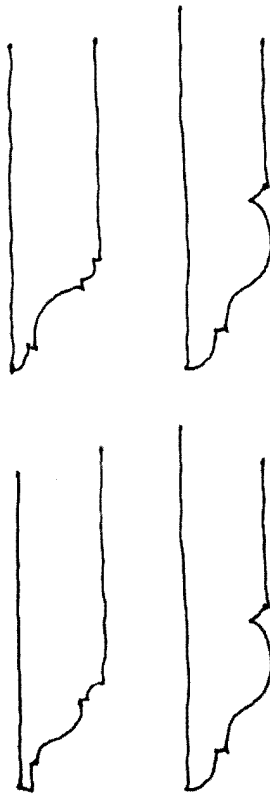
Towers

Towers act as focal points for the Coconut Point master plan. Historically symbolic of public spaces, towers help pedestrians orient themselves in the landscape. On a more intimate level, towers can be used to mark stairways, entries, and sometimes display signage. Frequently, towers have more ornament than their corresponding building façade because of their increased visibility. Successful tower design is a result of careful proportioning and use of materials, and can be a memorable landmark to people moving through Coconut Point.



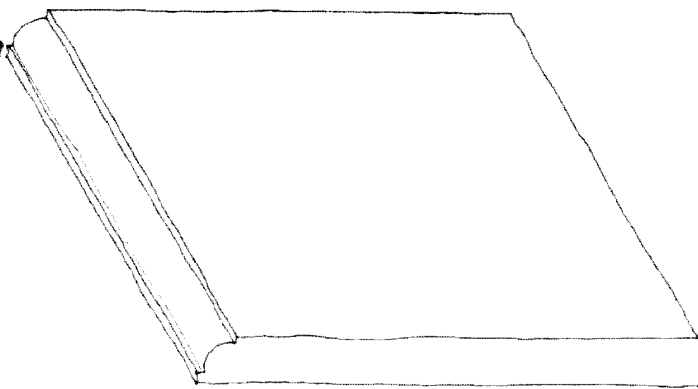
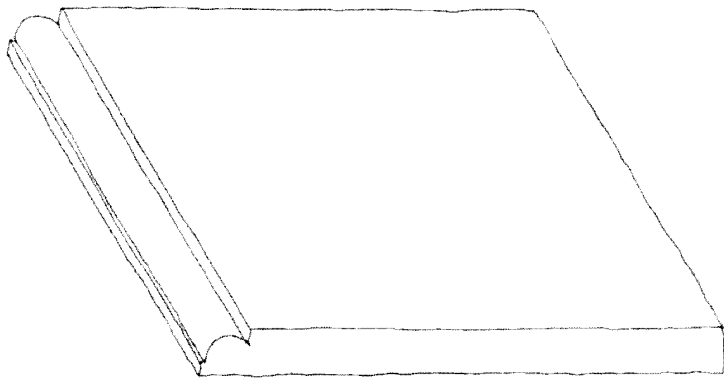
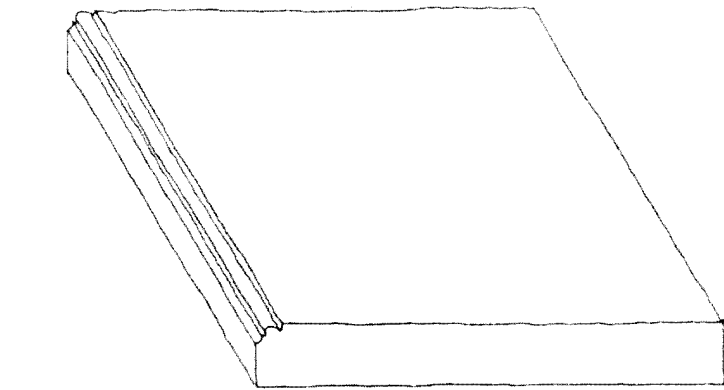
Trellis

Trellis structures provide both sun control and opportunity for planting. Trellis structures can be constructed in front of a façade as a screen upon which greenery can grow. Trellis structures can also be freestanding over sidewalks providing vine-shaded walkways. Trellis beam-ends may be simple or ornate. A layering of beams adds visual interest to a trellis assembly. Acceptable trellis materials include wood, cast stone, and metal.



Wall Base

Wall bases ground the building facade, add horizontal features, and provide a durable transition zone between paved ground surfaces and stucco wall surfaces. In general, wall bases will be manufactured of stone or cast stone. Wall bases may have rounded or articulated corners similar in design to the molding profiles.

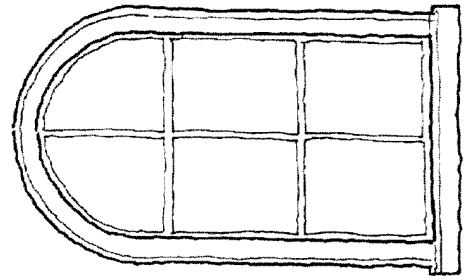
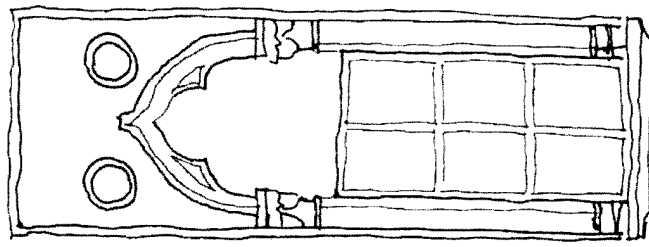
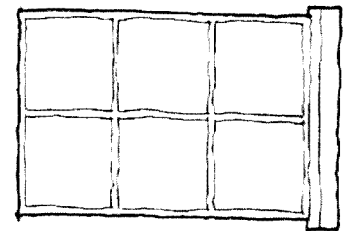
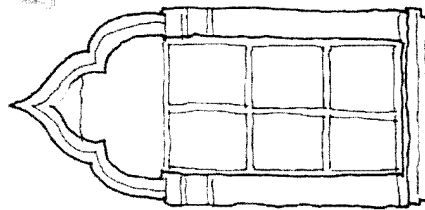
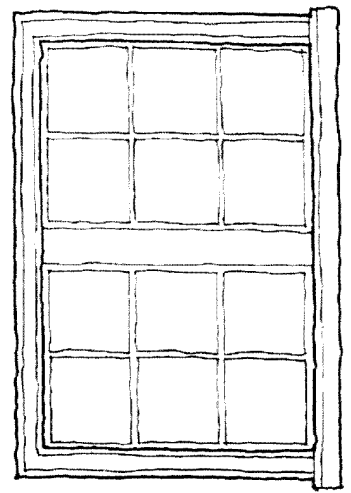
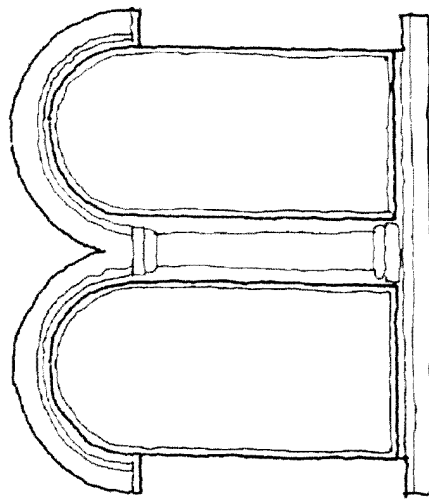


JUNE 14, 2004

09000-4002 ADD

Window Types

Casement windows, single or double by themselves or with flat or arched transoms are typical. Window groupings with simple or ornate cast stone trim are appropriate. Special window types include square, round, and floral. Arched square or Moorish tops having tile inlay are appropriate. Deep returns are encouraged at all window openings to correspond with the Mediterranean Revival theme, add depth, and create an appearance of "thick" walls.



ADD 2004-00060

RECEIVED
JUN 16 2004
PROPERTY CONTROL

III. ARCHITECTURE - COMMERCIAL RETAIL

1. Characteristics of Commercial Retail Buildings

A significant portion of the buildings at Coconut Point falls into the category of Commercial Retail. Large scale shopping and commerce are primary activities that animate the Town Center, while the North Village relies on a base of large scale, national retailers mixed with smaller scaled, secondary community oriented retail shops and services.

A. Large Format Retail

Large Format Retail can be defined as large scale retail anchor stores that derive their profits from high sales volumes. They may operate as stand-alone facilities, or more commonly they are grouped together as part of a shopping center.

The design criteria outlined herein is intended to provide a design standard whereby large footprint buildings planned for Coconut Point can be assimilated within the existing context of the community without detracting from the existing scale, connectivity, traffic patterns, walk-ability and image of the area. The following architectural considerations must be taken into account in the design of Large Format Retail buildings:

- Facades should be articulated to reduce any massive scale or impersonal appearances of large retail buildings.
- Buildings should have architectural features and patterns that provide visual interest.
- Variations in rooflines should be used to add interest to and reduce any massive scale buildings.
- Building materials should be aesthetically pleasing and compatible with materials and colors used in Mediterranean Revival style architecture and in harmony with the neighborhood.
- Entryway design elements and variations should give orientation and aesthetically pleasing character to the building.
- Arcades add dimension, reduce building scale, and provide protection from the elements.
- Where feasible, smaller "Liner shops" with separate exterior entries located as part of a large format retail structure animate pedestrian walks between store entries. Liner shops also break down large expanses, reduce walking distance between stores, and contribute to a diverse retail tenant

B. Secondary and Service Retail

Smaller retail and service-oriented shops enhance the community identity of Coconut Point and provide useful amenities to inhabitants and visitors alike. The presence of these smaller retail stores gives Coconut Point a friendly appearance by creating variety, breaking up large expanses, and expanding the range of the site's activities. Windows and window displays of such stores should be used to contribute to the visual interest of exterior façades. The standards presented in this section are directed toward those situations where additional, smaller stores, with separate, exterior customer entrances are located in the principal buildings and development sites.

The design of secondary and service retail shops should include careful attention to detail at the storefront level, and include the following:

- Appropriately scaled entryway features including windows, doors, portals, arcades, recesses and overhangs/projections.
- Attention to appropriate signage and lighting as outlined in Parts 4 and 5 of this manual.
- Transparency at Storefronts: Tenants should plan for transparency and glazing at 60% of the horizontal area of their façade between 3 and 8 feet above grade. Large expanses of blank walls are unacceptable.
- Glazed windows should be recessed and should include visually prominent sills, shutters, lintels, or other forms of articulated window framing.
- Display windows should be carefully designed and maintained and should include frames and base elements.
- Façade materials should be aesthetically pleasing and compatible with materials and colors used in Mediterranean Revival style architecture and in harmony with the neighborhood.

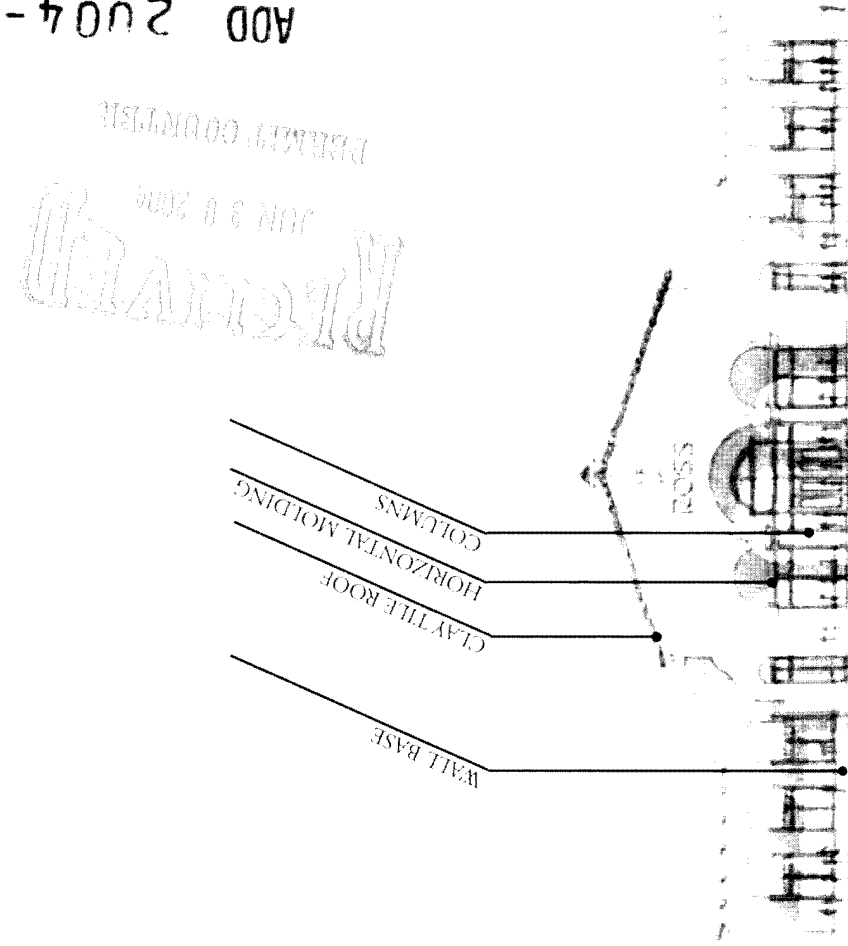
C. Commercial Retail Façade Articulation by type

Three distinct categories of façade type have been established for large-scale commercial retail at Coconut Point. Each type has a varying degree of articulation based on its relative visibility and location within the project. The DRA will make the final determination of façade type designations for buildings at Coconut Point. Guidelines and corresponding diagrams for these types are shown on the following pages.

The illustrations are example façades for possible combinations of architectural components and building articulation at each façade type and should not be copied directly. Rather, each building design should be unique within the Mediterranean Revival style and designers may use the following examples as a guide for achieving this result.

a. Façade Type "A"

This Façade type is considered the "front" of the building and generally includes a primary entrance and is located facing onto a primary road. This façade type is highly articulated, employing many architectural components. The accompanying diagrams illustrate typical examples for Façade Type "A."



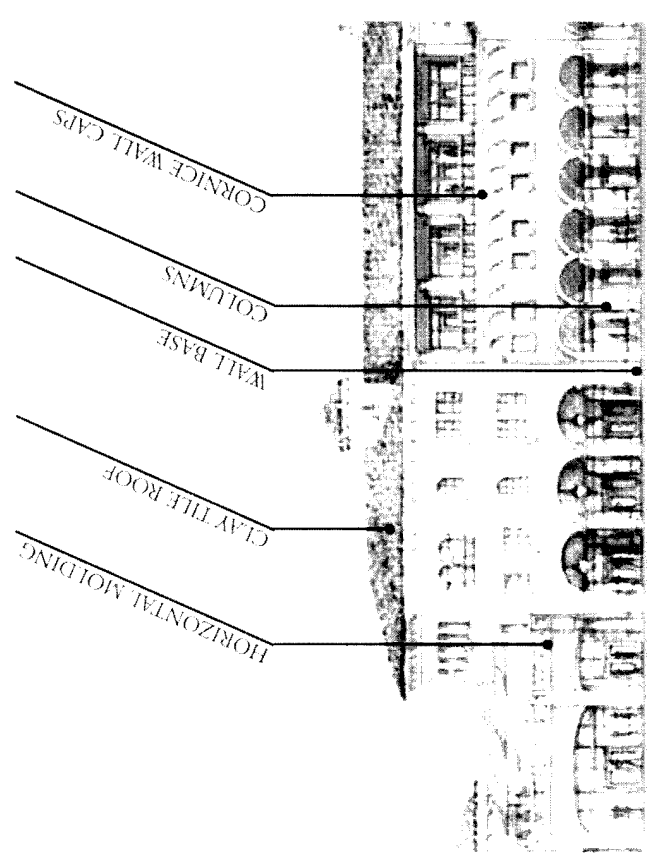
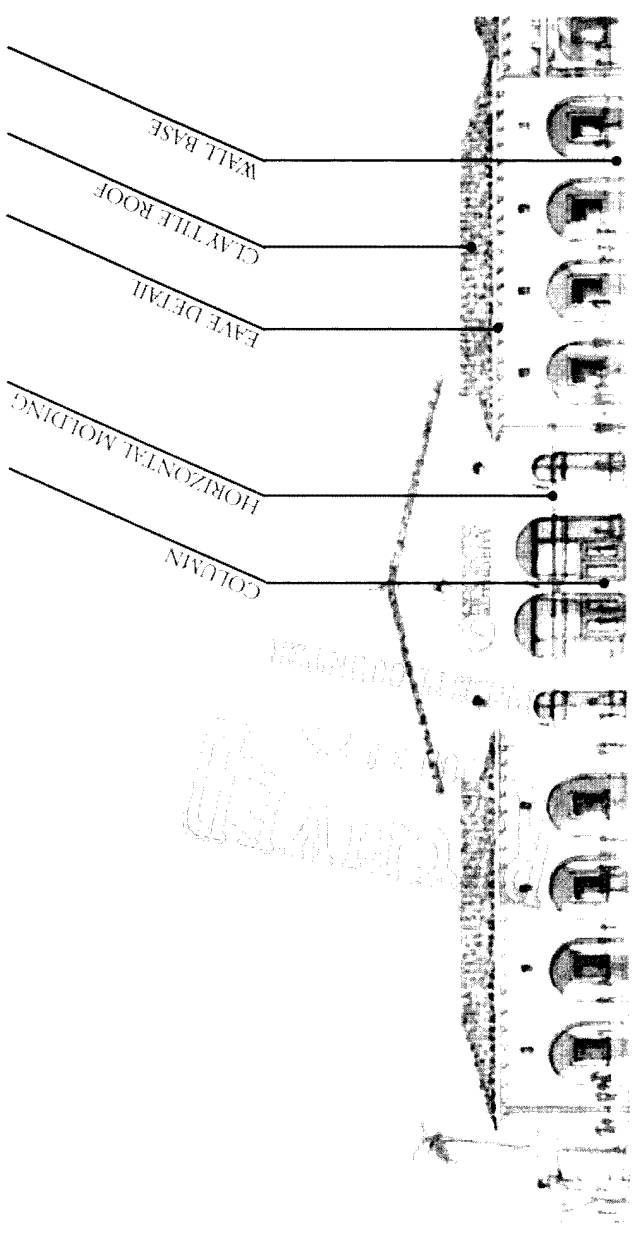
Elevation - Type A1

ADD 2004-00060

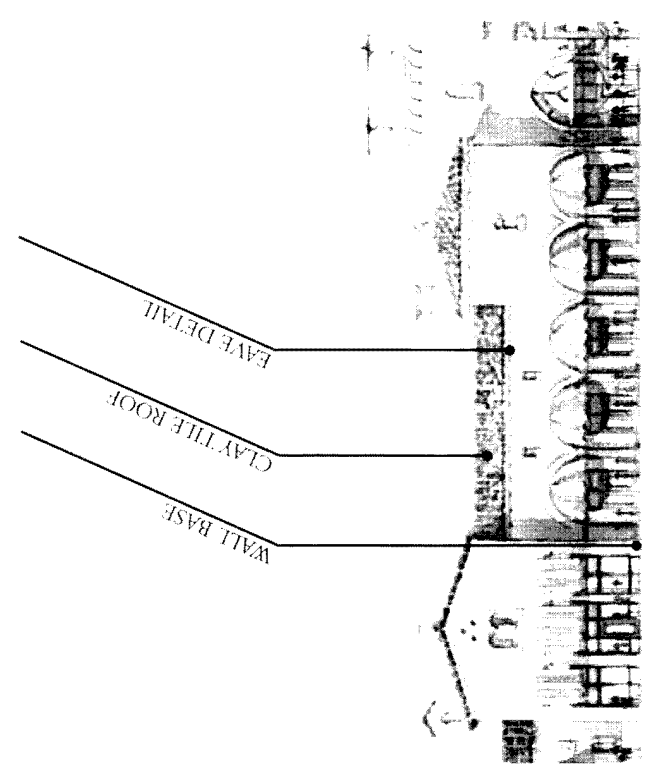
35

ARCHITECTURAL

Elevation - Type A2



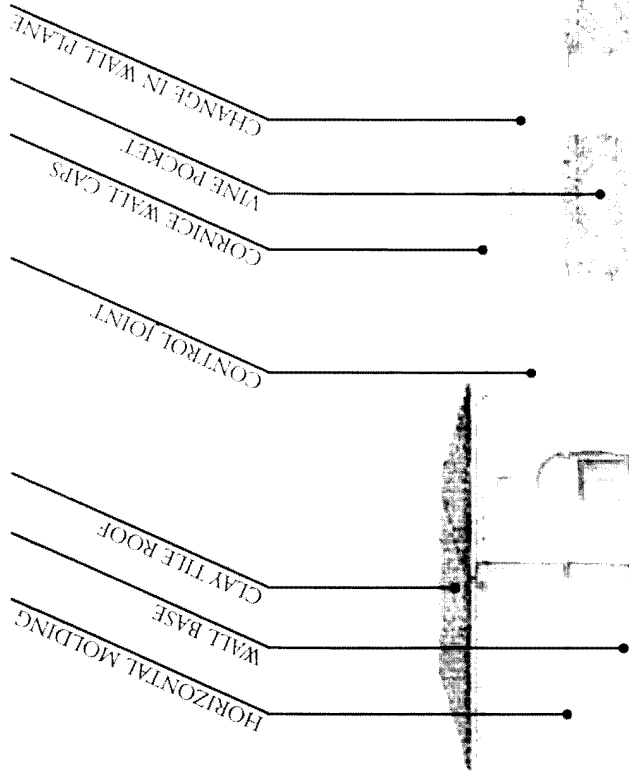
Elevation - Type A4



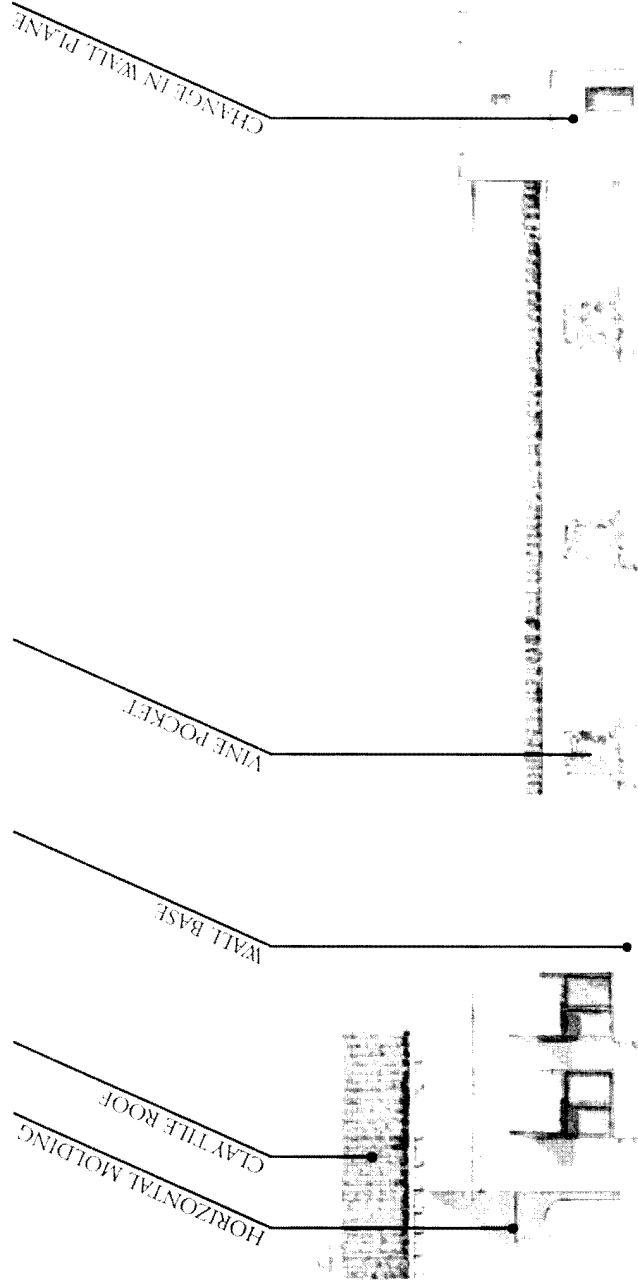
Elevation - Type A3

b. Façade Type "B"

This façade type is considered the "side" of the building and may include a secondary entrance. "B" Type Façades are located facing onto a secondary road or drive aisle. This façade type is moderately articulated with a careful use of architectural components. The accompanying diagrams illustrate typical examples for Façade Type "B".



Elevation - Type B1



Elevation - Type B2

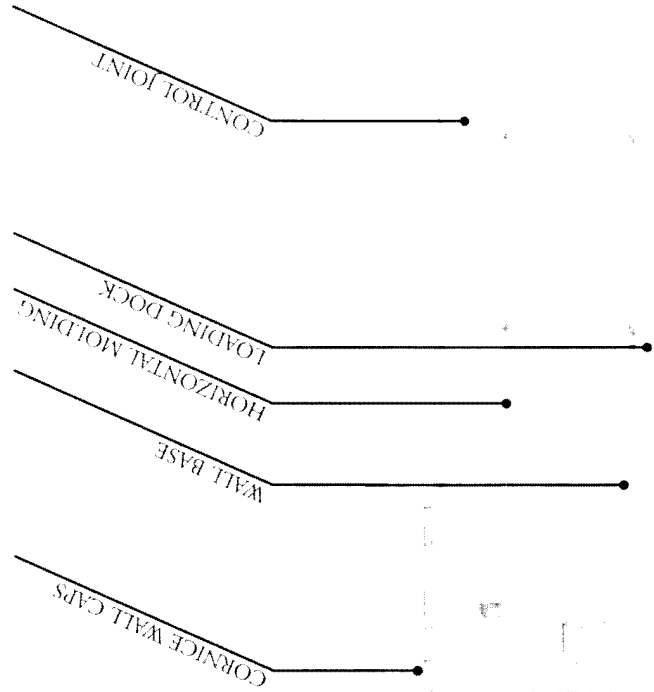
c. Façade Type "C"

This façade type is considered the "back" of the building and may include a loading area. "C" Type Facades generally face onto service areas and back of house parking fields and other non-public spaces. This façade type is somewhat articulated using the same language of architectural components as the building's corresponding "A" and "B" façades. Additional requirements for commercial retail loading areas are addressed in "Site Planning", Part 3 of this manual. Façade Type "C" shall incorporate landscaping, berms, and other appropriate design features as screening elements when necessary, particularly when facing residential structures on abutting residential sites.

ADD 2004-00060

RECEIVED

RECEIVED

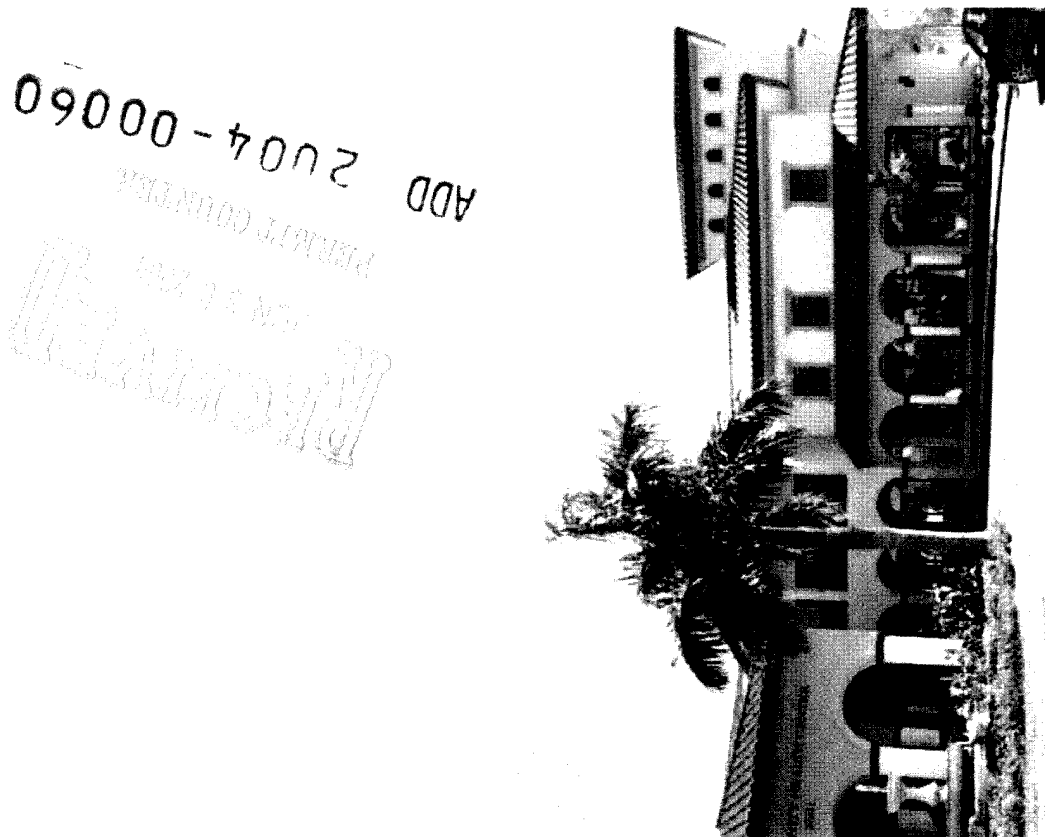


Elevation - Type C

2. Characteristics of Office/Institutional/Hospitality Buildings

Office, Institutional, and Hospitality buildings provide an additional facet of community services to Coconut Point. Inhabitants and visitors can benefit from the proximity of hotels, healthcare facilities, and offices. The highest concentration of these building types lies within the South Village district. Serving the non-mercantile needs of the community, these generally multistory buildings often have particular requirements that distinguish them from Coconut Point's other commercial buildings.

Multistory Office, Institutional, and Hospitality buildings should incorporate the general principles, as well as the specific design details, contained in this manual. Buildings of this type are generally set back from the roadway, tucked into the landscape and accessed through landscaped parking areas. Criteria include the encouraged use of different façade materials, fenestration, and ornamentation to articulate a base, shaft, and cap. Recesses, projections, portals, arcades, and other architectural features are encouraged to express major entries. Frequently, these buildings will require porte cocheres or drop off zones for lobby access which should continue the architectural language of their corresponding primary structures.

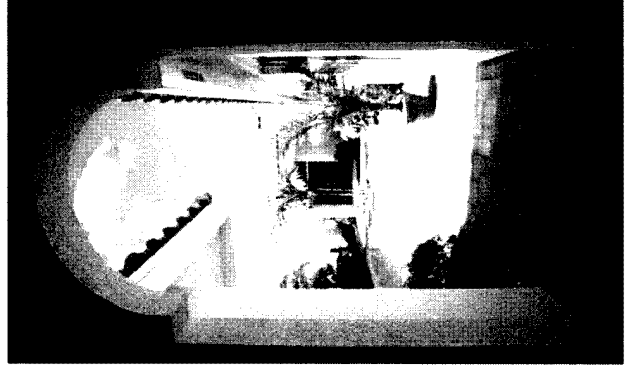
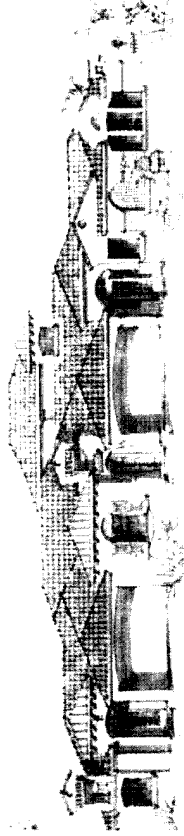


IV. ARCHITECTURE - RESIDENTIAL

I. Characteristics of Residential Architecture

Factors that shape the design of residential architecture at Coconut Point include the following:

- Incorporation of architectural elements such as: hipped and gabled roofs; arched windows and doors; decorative shutters; casement windows with muntins; wrought iron or cast stone railings; cantilevered balconies; verandas, porches and courtyards; the appearance of "thick" walls; chimneys; exposed rafters at eaves; planters; textured "hand trowelled" and smooth stucco wall finishes; tile roofs.
- The exteriors of all buildings must be designed to be compatible with the natural site features and landscaping of the residence/building and to be in harmony with their surroundings.
- The landforms, the natural contours, local climate, vegetation, and views should influence the building location, the building form, and the architectural style.
- The DRA may disapprove plans if, in its judgment, the massing, architectural style, roofline, materials, colors or other features of the building do not meet these standards.
- No factory-built modular or mobile home type construction shall be permitted without DRA approval.
- Equal attention to detail and architectural definition must be given to all sides of the structure, including, but not limited to, the foundations, banding, accent materials, roof character, and window treatment.
- Retaining walls, planter walls, and privacy walls should be used to break up the elevation of a building and help relate the structure to the ground.
- All exposed concrete block or poured concrete foundations and site retaining walls must be covered with an appropriate wall-facing material, which must be approved by the DRA.



RECEIVED
JUN 16 2004
PLANNING DEPARTMENT

Exterior Wall Treatments

The following are acceptable exterior wall treatments for vertical surfaces:

1. Painted stucco in natural earth tones.
2. Anodized or paint finish are required on all metal surfaces including windows, flashing, drops, and caps, in colors matching the approved adjacent surface color.
3. Fascias must be a minimum of 10" wide cedar, painted to match the approved trim color. Other fascia materials comparable to cedar may be approved by the Design Review Authority.
4. Soffit material shall be wood or stucco. Aluminum or vinyl may be allowed at the discretion of the Design Review Authority. All other materials are prohibited.
5. Vinyl, wood, metal or lap siding is prohibited.

Exterior Colors

Color selections for all exterior material shall be in warm, light earth tones. No pastels, pure whites, primary or secondary colors may be used except as approved by the DRA. Secondary owners must submit for approval color samples of all exterior surfaces to the DRA for review and approval no later than at time of final approval, including specifications and samples for window and metal finishes, roof material, trim, shutters, chimney caps, medallions and any other exterior surfaces and accents.

Roofing

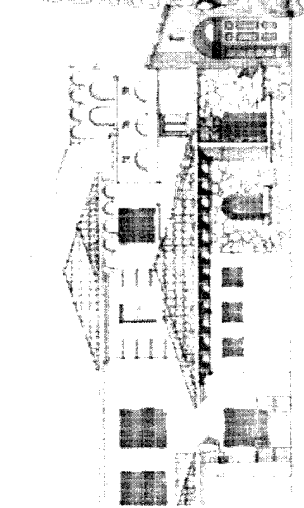
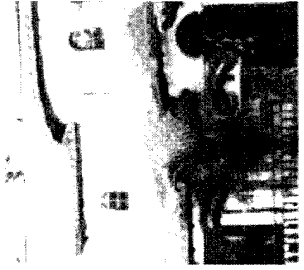
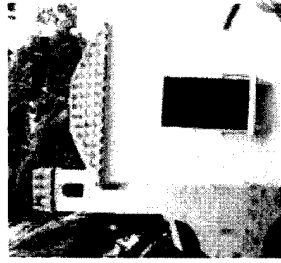
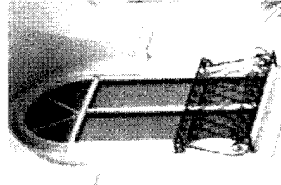
Roof pitches and overhangs shall be designed for compatibility with adjacent roof profiles in front, side and rear elevation, and may vary as dictated by architectural design. A roof pitch between 4:12 and 8:12 is required. A minimum overhang of 12" is required. Asphalt or fiberglass roof shingles and metal roofs are prohibited. Metal roofs as accents elements may be approved on a case by case basis. Roof materials which are acceptable are clay or concrete barrel, flat, and "S" tile. Roof colors shall be warm earth tones: pure white, blue or any bright colors are prohibited. Design Review Authority approval is required for a roof material change.

Roof Accessories and Equipment

Design Review Authority approval is required for all rooftop equipment and accessories, unless specifically excepted in this Section. All rooftop equipment must match roofing colors or be of a color that complements the building and must be placed as inconspicuously as possible. Exposed flashing gutters and downspouts must be painted to match the adjacent surface of the structure. No exposed attachment straps will be allowed.

Windows, Doors and Trim

Windows should be clear glass or a tinted glass of bronze, gray, or smoke colors. No reflective glass, film, or tinting may be used. Aluminum window frames shall be bronze, charcoal, white or other approved color. Screen frame colors shall match window colors. Windows shall be banded on the front and at rear elevations outside the lanai. Side elevations shall have either banding around the windows or banding/molding detail under the eaves. Lanai screen fabric and frames shall be bronze or charcoal color. The Design Review Authority must approve security treatments for doors and windows; however, no "buglar bars," steel or wrought iron bars, or similar fixtures shall be installed on the exterior of any windows or doors of any dwelling.



ADD 2004 - 00060

PERMIT COURT

JUN 3 0 2004

RECEIVED

Hurricane/Storm Shutters

DRA approval is required for exterior shutters. The shutters must be of a material similar to and of a color and design generally accepted as complementary to the exterior of the house. No hurricane or storm shutters shall be installed unless they have been approved by the DRA.

The most significant concern from an architectural standpoint, relating to shutters, is along the front elevations or other highly visible portions of the buildings. Shutters can and should be softened with landscaping where possible. This can be reviewed on a case by case basis. Storm shutters must blend into the window details or into the window covering requirements such that a patchwork or "checker board" look does not occur. They should be of consistent color, detail and style. Typically, shutters should be the same color as adjacent wall color and must be uniform in style of all openings. The colors of the storm shutters must be compatible and consistent with the architecture of the building.

Screen Doors

Screening is not allowed at the garage doors. Front screen enclosures are not permitted unless pre-approved as a feature of a model or building. The material must match the existing exterior doors and the color should be generally accepted as complementary to that of existing doors on the house or be bronze or black.

Accessory Buildings

Owners shall secure DRA approval prior to construction of any accessory building or permanently installed structure. Accessory buildings shall meet the following criteria:

- a. An accessory building must be of the same color, material and architectural style as the main residence or of color, material and style that is generally recognized as complementary to that of the main residence. An accessory building's roofing materials shall match those of the main residence.
- b. Any utilities servicing accessory buildings shall be installed underground.

- c. Accessory buildings generally shall be located in the rear one third of the yard, shall not unreasonably obstruct any adjacent neighbor's view of the lakes or open areas, and must be screened by a fence or vegetation.
- d. Free standing metal utility sheds or storage sheds are not permitted.

Air Conditioning Equipment

DRA approval is required for the installation of air conditioning equipment or evaporative coolers. No window air conditioning units shall be allowed. Wall units may be installed with DRA approval. All air conditioning equipment must be screened by using a partial block wall with landscaping or a combination thereof.

Satellite Dishes

One small and inconspicuous satellite dish antenna having a diameter of 18" or less, which is installed upon or adjacent to any residence, is not visible from adjacent properties or the street, and is integrated with the residential structure and surrounding landscape, does not require DRA approval. Such equipment shall be located only in side or rear yards and placed as inconspicuously as possible. Other satellite dishes with a diameter of more than 18", and all other microwave dish antennae, satellite dish antennae, exterior radio antennae, or other electronic signal-receiving or transmitting equipment to be located on the exterior of the home must be reviewed and approved by the DRA. Notwithstanding the above, all residences are required to be pre-wired for cable television and telecommunications.

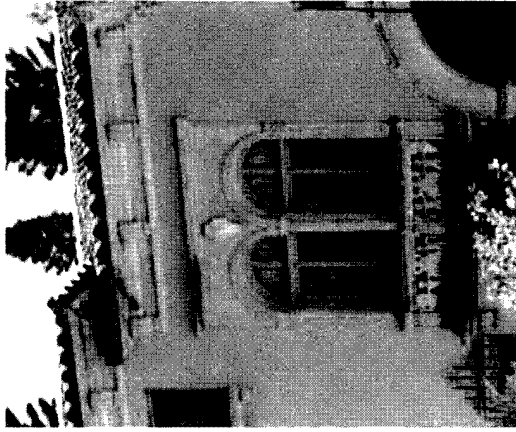
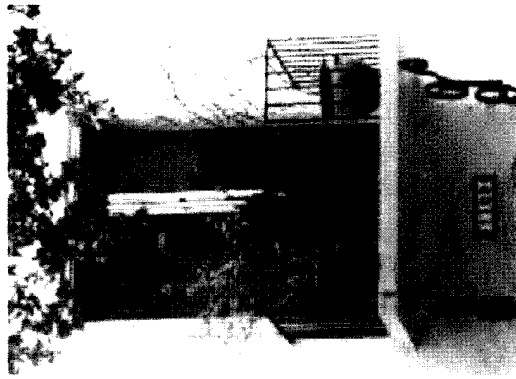
ADD 2004-00060

RECEIVED
JUN 9 9 2004

PRIVATE COUNCIL

Awnings and Canopies

The installation of awnings or canopies require Design Review Authority approval. The awning or canopy color must be the same as or generally recognized as complementary to the exterior of the residence. Metal awnings are prohibited.



Flagpoles

Yard-mounted flagpoles are not permitted on any portion of the properties, except that a Developer may erect such flagpoles on a temporary basis at any model homes maintained on the properties by such Developer. Owners may periodically attach American flags for special occasions, that are a reasonable size, to their house or garage without the approval of the Design Review Authority. No other flags are allowed.

Garages

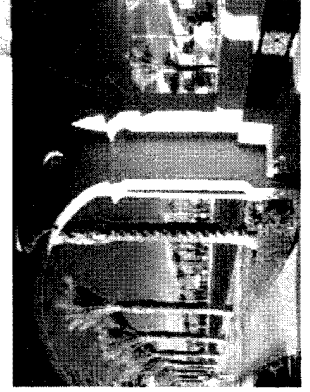
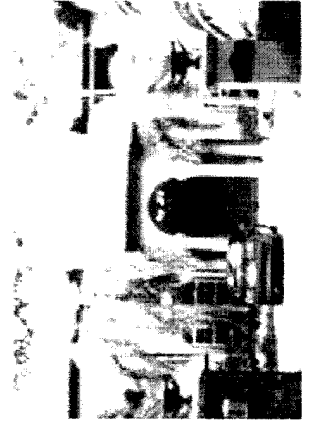
Enclosed garages are required. Garages must be approved at the time of architectural review for the main residence/building. Such garages shall be compatible with and complementary to the building design in architectural style, material, color and location, including but not limited to the same roof tile and stucco walls/posts. The garage and specifically the garage door(s) should not be the main focus of the front facade.

Driveways/Walkways

Driveways shall be of pavers, or "decorative" type concrete. Other materials may be approved at the discretion of the Design Review Authority. Gravel, asphalt, plain concrete or shell driveways are prohibited. Brick, flagstone, stepping stones and pre-cast patterned or exposed aggregate concrete pavers may be approved for walks or patio areas.

Decks and Balconies

Owners shall secure Design Review Authority's approval before installing decks or balconies. Decks and balconies must be constructed of durable materials and be compatible in color and style with the architecture of the building. Decks and balconies must be installed as an integral part of the residence or patio area. Any such decks or balconies must be located so as not to obstruct or diminish the view of or create an unreasonable level of noise for adjacent property owners.



ADD 2004-00060

PERMIT REQUIRED

NOT TO SCALE

UNAPPROVED

Hot Tubs and Saunas

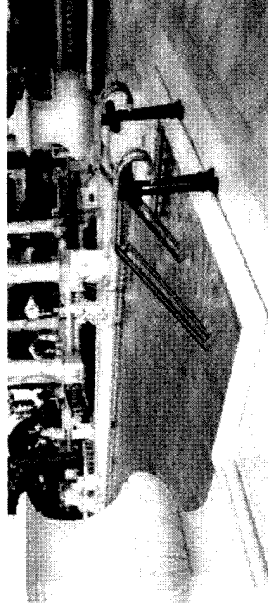
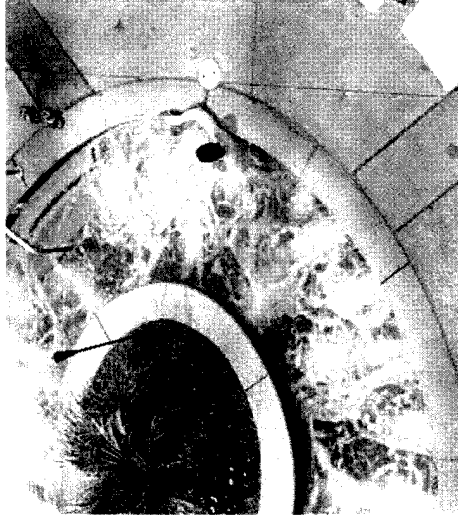
DRA approval is required for the installation of any hot tub, Jacuzzi, sauna or spa. Any hot tub, Jacuzzi or spa shall be an integral part of the deck or patio area and/or the rear yard landscaping. A hot tub, Jacuzzi or spa shall be located in the rear or side yard, shall be buffered in such a way that it is not immediately visible to adjacent property owners, and shall not create an unreasonable level of noise for adjacent property owners. All mechanical equipment necessary for the operation of any hot tub or sauna must be located in the rear of side yard and screened from the street and neighboring units by a fence, wall or landscaping; such screening to be in accordance with these Design Guidelines and approved by the DRA.

Pools

DRA approval is required for the construction or installation of pools. Pools, if approved, must be located in the rear yard and must be an integral part of the residence. Courtyard type homes may provide pools within the courtyard area of the residence, provided that they are properly screened and buffered from front and side yards. Landscaping shall be provided around the foundation of the pool and must be an integral part of the overall landscape plan. All mechanical equipment necessary for the operation of any pool must be located in the rear or side yard and shall be screened from the street and neighboring residences/ buildings by a fence, wall or landscaping, such screening to be in accordance with these Design Guidelines and approved by the DRA. Above-ground pools are prohibited.

Recreational Equipment

Recreational equipment shall not be installed in the front yard of residences/buildings or attached to houses or garages. Recreational equipment in side or rear yard must be reviewed and approved by the DRA. Said review shall be based upon, but not limited to, the following considerations: proximity of equipment to property lines and proximity of equipment to neighbor's living areas, lakes and common areas. Additional landscape buffer: may be required.



Technology

All builders must pre-wire dwelling units with category 5 wire (or other defined community standards) for telecommunication purposes.

Trash Containers

Trash containers shall be stored inside the unit, or in side yards behind the front building line and shall be screened from the street by a fence, wall or landscaping.

Miscellaneous Items

The DRA shall review all Miscellaneous Items not covered in these Guidelines.

2. Characteristics Specific to Mixed-use Residential Architecture

Mixed-used residential architecture is generally grouped together in clusters, as in town homes, or included as part of a multistory structure, often with a retail component on the ground level. These types of residential architecture at Coconut Point should adhere to the established Mediterranean Revival style while simultaneously providing a sense of comfort and "address" for inhabitants. Factors that shape the design of multi-family and mixed-used residential architecture at Coconut Point include the following:

- Variations in exterior massing break down building scale and add variety to repetitive elements.
- Balconies and terraces provide opportunity for architectural expression and outdoor living.
- Multistory buildings are encouraged to use different façade materials, fenestration, and ornamentation to articulate a base, shaft, and cap and to articulate horizontally.
- Clear expression of lobbies and entrances is encouraged through the use of recesses, projections, portals, arcades, patios, and other architectural features.
- Drawing on a language similar to that found in single-family residential buildings creates a feeling of "home" for all dwellings at Coconut Point.



PART 3
SITE PLANNING AND LANDSCAPE DESIGN

I. INTRODUCTION - SITE PLANNING AND LANDSCAPE DESIGN

Site Planning and Landscape Design play an integral role in creating the new Mediterranean mixed-use lifestyle community of Coconut Point. A semiformal nature reminiscent of the historical estate landscape of late 19th and early 20th century Florida is articulated through grand features such as rhythmically spaced skyline palms, colorful shade canopy trees and elegant boulevards. The verdant Southwest Florida environment and its charming, casual legacy of gardens, courts, verandas, vistas and waterways, is further accentuated through rich ground planting and lovely site amenities.

The Landscape design of the Coconut Point project will be cohesive throughout the overall site development; it will respond to the existing area environment, the architecture, and the community. These standards are designed to provide a coordinated landscape program with an emphasis on visual continuity throughout the entire project, while avoiding adding unrelated elements to the site. The landscape should enhance the pedestrian environment, serve as a functional part of the development in terms of identity and increase development marketability and identity.

The project site has significant exposure to US 41 to the West, Sandy Lane to the East, and Williams Road to the North. It is intended to provide landscape screening of site improvements as seen from the roadway, while maximizing visibility to the tenants. To this extent, a 30' informal landscape buffer will be provided adjoining the US 41 right-of-way for the full extent of the site. Condition 6 of Resolution Z-02-009 sets the required standard for the buffer along US 41. A series of "Green" windows enhance the view to many different site features such as lakes, open space parkways, and naturally landscaped pre-treatment areas.

RECEIVED
JUN 30 2004
PLANNING DEPARTMENT

JUNE 14, 2004

ADD 2004-00060

II. SITE PLANNING

1. General Characteristics of Site Planning at Coconut Point

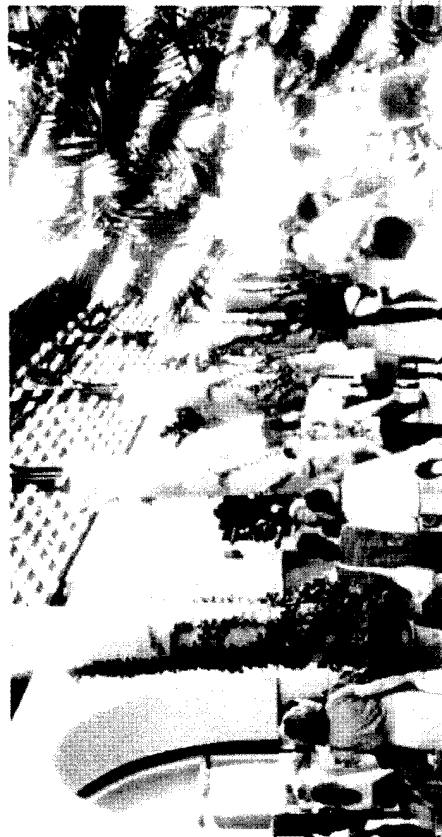
Site Planning at Coconut Point requires careful consideration of both the built environment and the natural landscape. Designers should bear in mind the following objectives:

The landscape design concept must respond to the specific site, as well as the Mediterranean Revival character of Coconut Point. It should bring all elements together in a cohesive landscape design; serving both aesthetic and practical needs.

The landscape should reinforce the design objectives of the architecture and signage so that the overall concept unites the various elements, emphasizes the main entries to the districts and special site areas, and creates focal points using plant materials.

The designer must be conscious of the scale at which design elements and plant material will be seen and experienced.

Undesirable and unsightly objects shall be suitably screened from view.

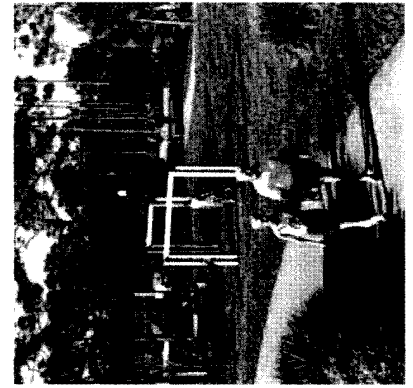
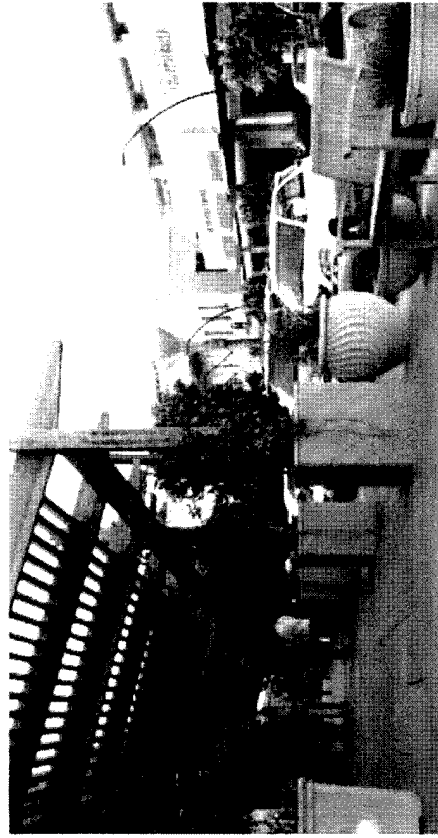
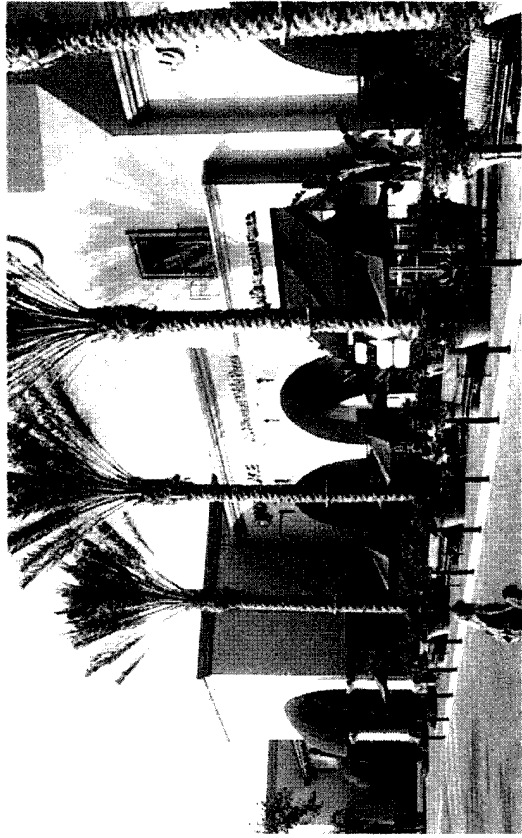


JUNE 14, 2004

ADD 2004-00060

PERMIT COUNTY

JUN 30 2004



Specific requirements and guidelines for particular site features have been developed. The following categories represent the primary site elements that, through their careful design, may affect visitors' perceptions and reinforce Coconut Point's contemporary Mediterranean identity of casual elegance and efficient accessibility.

A. Pedestrian Circulation, Sidewalks, and Paving

The master development will, in terms of the DRL, provide pedestrian sidewalks from public right of ways to and along all internal connector streets. All development parcels are to provide pedestrian access to the master pedestrian sidewalks provided. All developments are to provide a sidewalk on at least one side of all main entry drives and internal roads serving the project.

All commercial developments are to provide, at a minimum, one coordinated pedestrian sidewalk system, interior to the development connecting the fronts of all buildings with the development and connected to the master development sidewalks. All parking fields with in these developments are to be provided with reasonable pedestrian access paths to their related buildings.

Multi-family developments are to provide pedestrian access from all units to the pedestrian circulation system.

Sidewalk locations and sizes must meet all county and other relevant codes.

In terms of these guidelines, sidewalks along all roads and drive lanes must be a minimum of 5'-0" wide and are to be located a minimum of 4'-0" (a larger dimension is preferable — especially on major traffic roads) from the driveway side.

Required walkways shall be designed with a minimum of five feet width that is clear of any vehicle overhang with the exception of sidewalks through parking lots which shall be a minimum width of 4'-0". The design of these walkways is to take into account the tree requirements within the parking fields. If a 10-foot minimum area is not provided for canopy trees that reach a mature height of 20 feet or more, smaller trees must be planted.

Reasonable pedestrian access shall be defined as one parking lot pedestrian access per 300 parking spots as a planning rule. The DRA will review submission on a case by case basis to ensure efficient and meaningful access has been provided.

B. Vehicular Circulation

View corridors, as seen from automobiles, into the landscape are to be highlighted and preserved.

Desired views in the landscape design shall take into account the distance from the vehicle and the speed at which it will be best viewed.

Roadway widths shall be based on hierarchy of primary, secondary and tertiary streets. Landscape and site features shall relate in scale to the corresponding roadway types.

Entrance drives shall be identified by entry markers, landscape and signage.

Vehicle roundabouts are an opportunity to utilize special paving and other site and landscape features.

Internal vehicular circulation benefits from connections between adjacent properties. This circulation is encouraged to improve accessibility and to reduce congestion on main streets.

C. Site Furnishings and Amenities

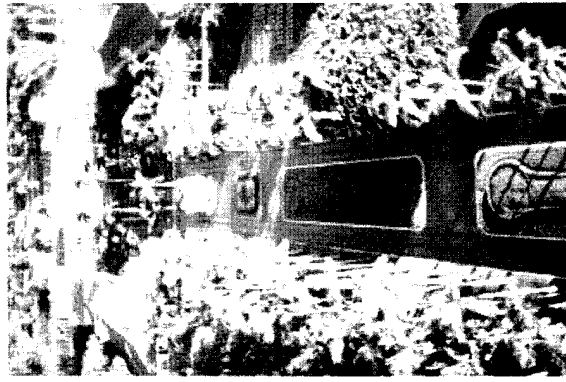
Comfortable and attractive street furniture shall be provided in public spaces for public enjoyment, comfort and convenience. These may include seats and benches, trash receptacles, information kiosks or directories, and public telephones.

Other encouraged site furnishing amenities can include planters and bollards, decorative fountains, tree grates, benches, public art, decorative street name indicators, boulders / rocks, and sculptures.

A concept shall be developed for integrating furnishings with the design of planting, irrigation, and pedestrian systems.

The design of all site furnishings shall reflect the overall Mediterranean identity of Coconut Point and correspond to other design features within the project.

Providing places to park bicycles encourages their use. Bike racks shall be installed at appropriate locations.



JUNE 14, 2004

ADD 2004-00060

PERMIT NUMBER

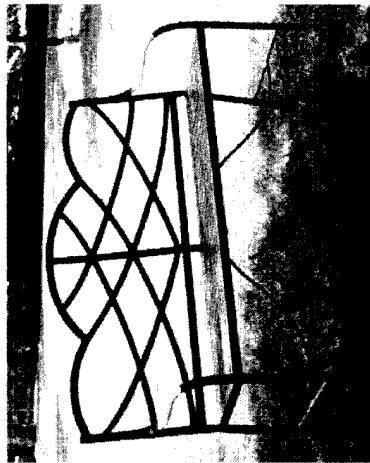
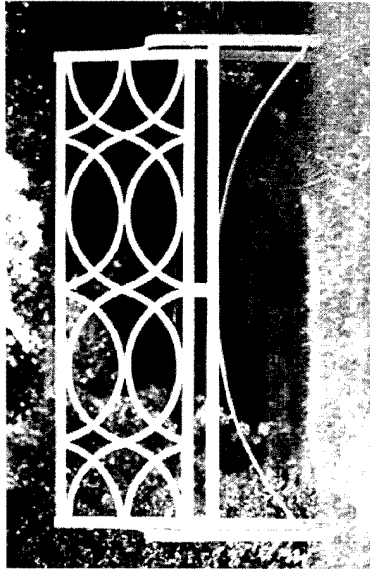
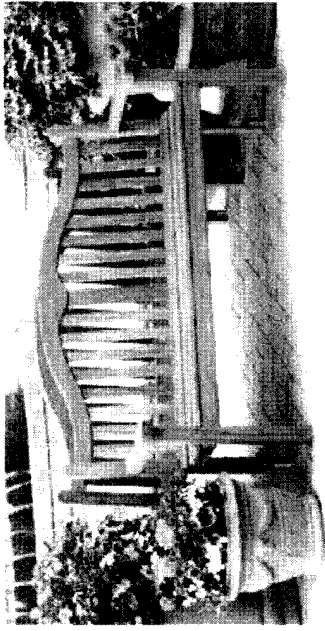
JUN 3 11 2004

RECEIVED

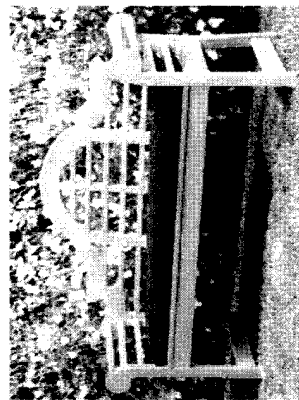
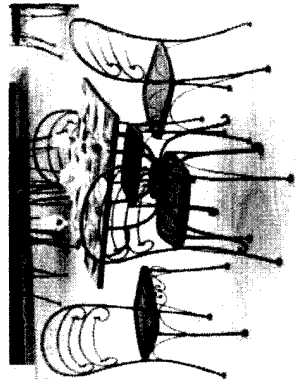
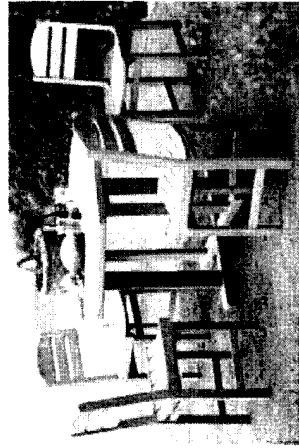
BENCHES

1.

FRANKLIN COUNTY



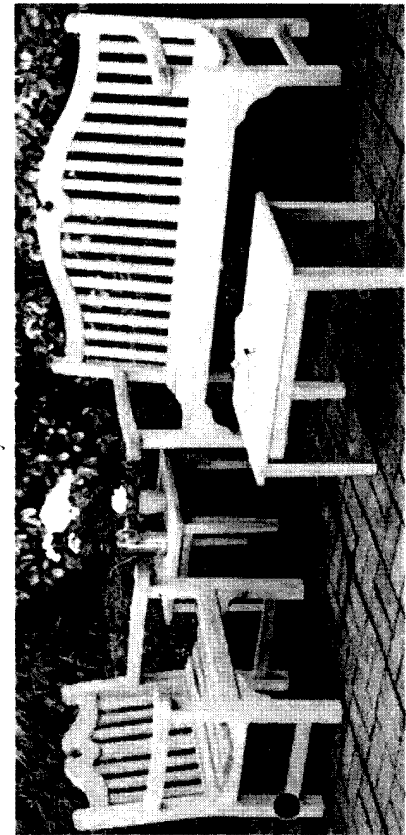
Main Street / Town Center / Residential



Special Accent Bench



Garden Courtyard

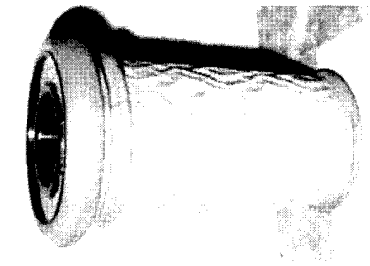
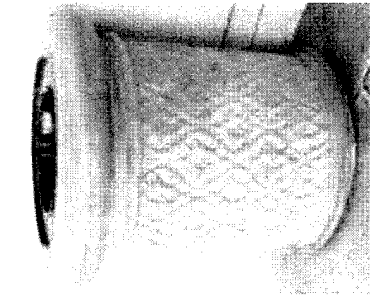
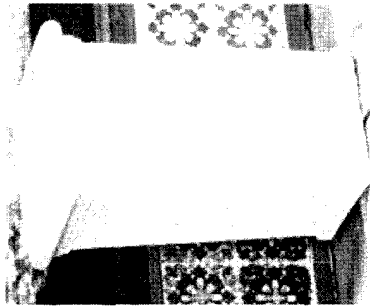


Garden Courtyard - Residential

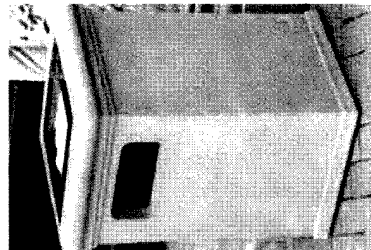
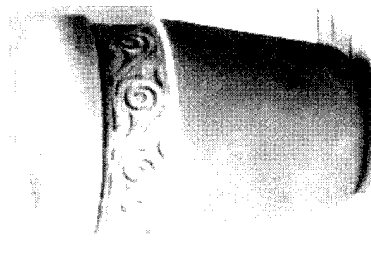
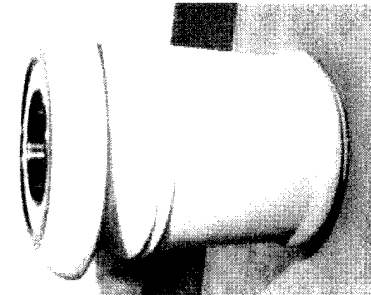
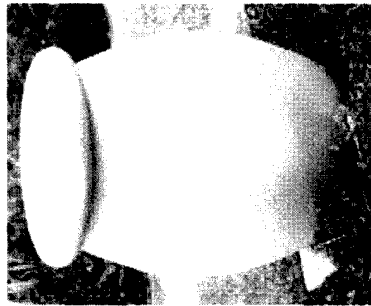
2. Planters



3. Ash Urns



4.



Trash Receptacles

5. Railings/Balustrades



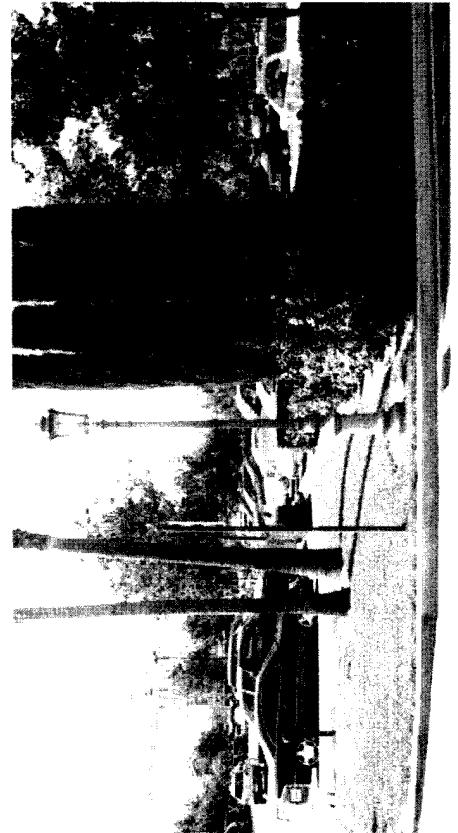
D. Parking

Landscaped parking islands are to be provided in accordance with the pertinent codes and as a minimum should be provided at the ends of all bays of parking to separate the parking from driveways. Continuous landscaped medians between parking aisles should be placed no further apart than three (3) aisles of parking and must be such as to provide for minimum distances from parking stalls to shade trees. Where any parking aisle is less than ten (10) cars in length, alternative means of complying with the land Development Code will be acceptable. Where medians are used they may be increased in size by 2'0" against the parking stalls to allow for "car overhang". In such case the parking stall is reduced by 2'0".

Islands and medians are to be sized according to code but need to be a minimum of 10'0" x 18'0" in order to meet open space requirements. They are to be planted with shade and other trees, shrubs, groundcover and turf. The two-foot overhang may be paved with pervious or non-pervious material or planted with groundcover, turf or low growing plantings.

All parking areas are to be screened and buffered with aesthetic landscape planting, creating a desirable environment without unduly impacting the visibility or creating obstructions.

RECEIVED
JUN 14 2004
PRIVATE COUNCIL
ADD 2004-00060



E. Screening Devices

At a minimum, screening shall be either by shrub and/or evergreen trees or by solid wall. These shall be designed to express the appropriate character and be coordinated with the building architecture. Trees and/or shrubs used to fulfill this requirement must be located in a suitable planting strip.

In commercial developments, walls are required to screen service areas in view of adjacent roadways and developments. All walls and columns must be compatible with the development's particular architectural style. Articulated wall cap use is encouraged. When used for decorative purposes, tile and or stone appliques are encouraged.

Where expanses of solid building wall area are without architectural detail, landscape treatment is required.

Screen walls must be properly landscaped with vines or high shrubs of a size and spacing appropriate to the plant material. Type, size and spacing of planting at screen walls shall meet any local authority requirements. Screen walls do not take the place of any required landscaping.

Aluminum gates and railings must compliment the intended "Mediterranean" style of architecture.

Chain link fences are not permitted.

All fence, walls and railings are subject to the approval of local building

authorities and the Coconut Point DRA and must be compatible with the architectural style of the buildings. They must be properly maintained in accordance with the overall aesthetic standards of Coconut Point.

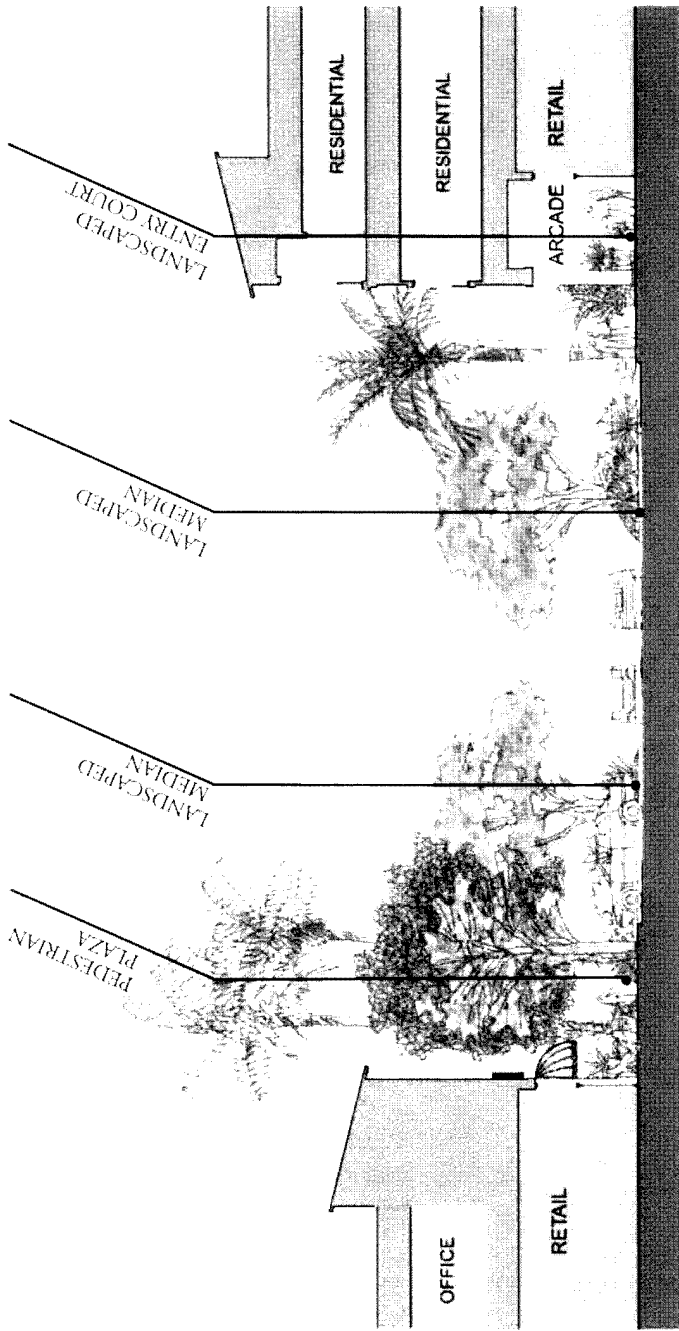


ADD 2004-00060

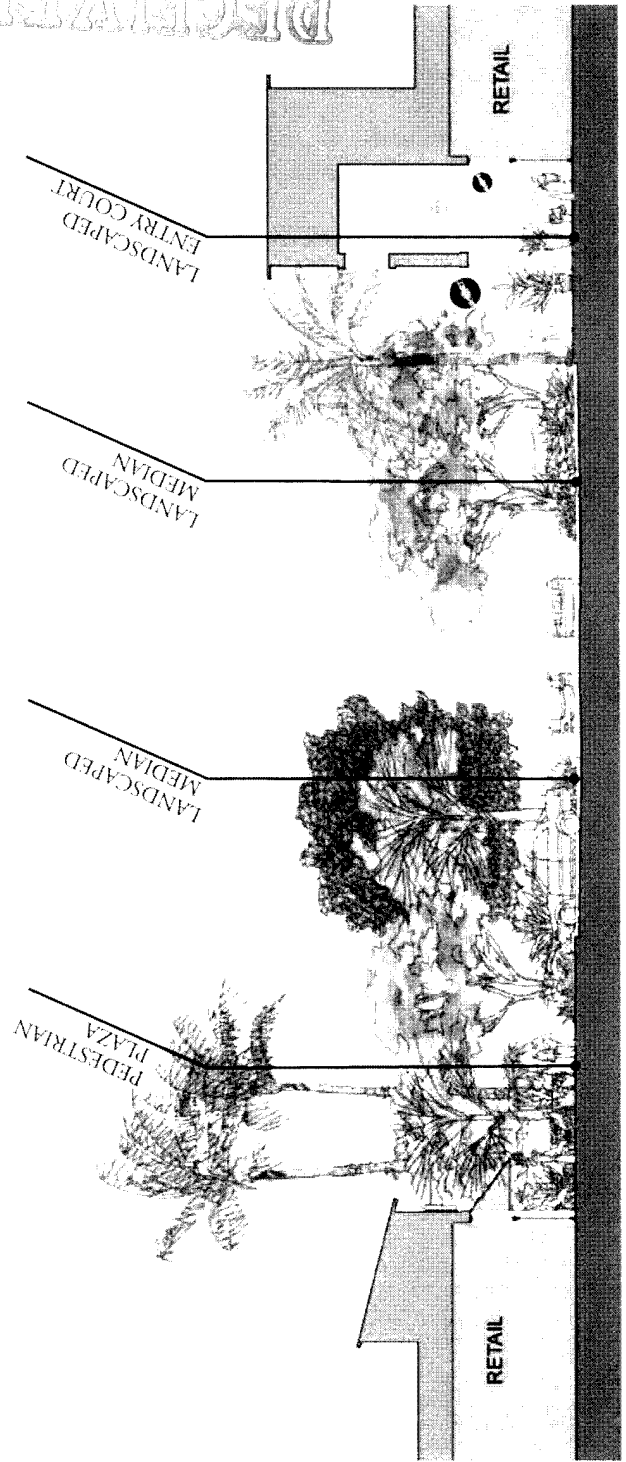
PERMIT COUNTER

JUN 30 2004

RECEIVED



Section Through Double Loaded Street at Multi-Level Buildings



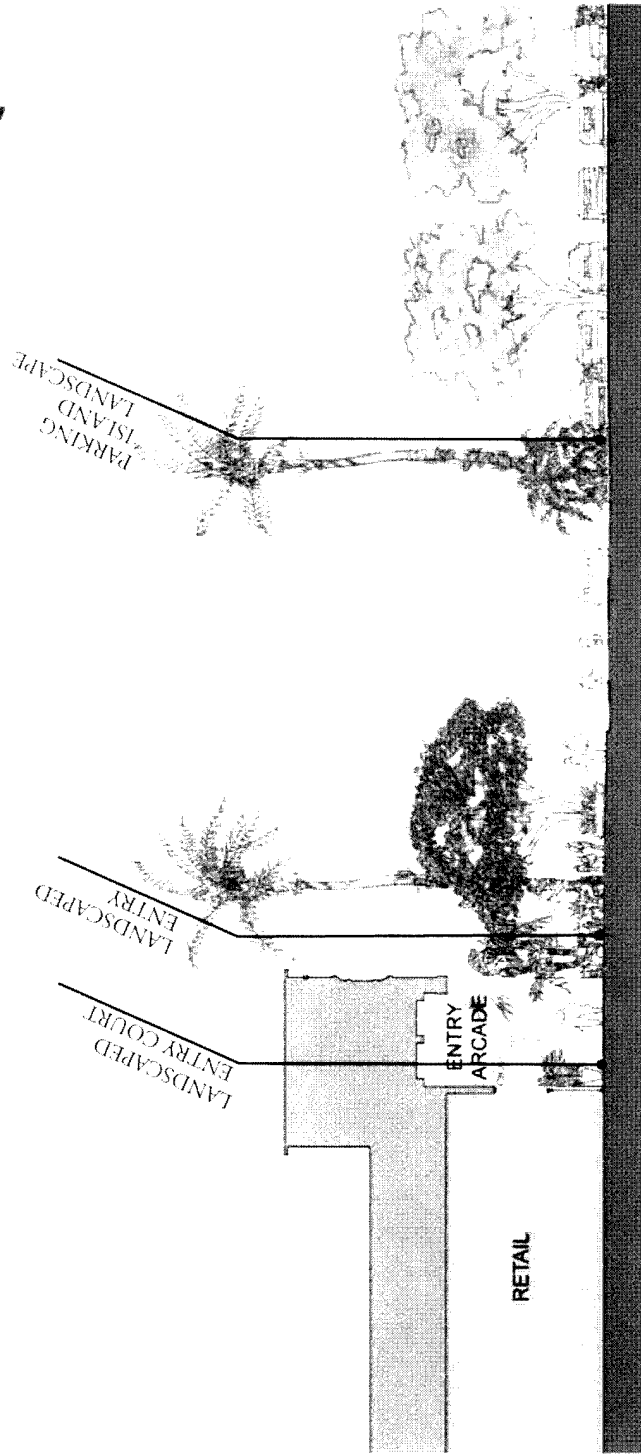
Section Through Double Loaded Street at Single Level Buildings

JUNE 14, 2004

2. Characteristics of Site Planning
specific to Commercial Retail Zones

A series of images and site sections have been established to convey the character of site planning specific to Commercial Retail Zones at Coconut Point.

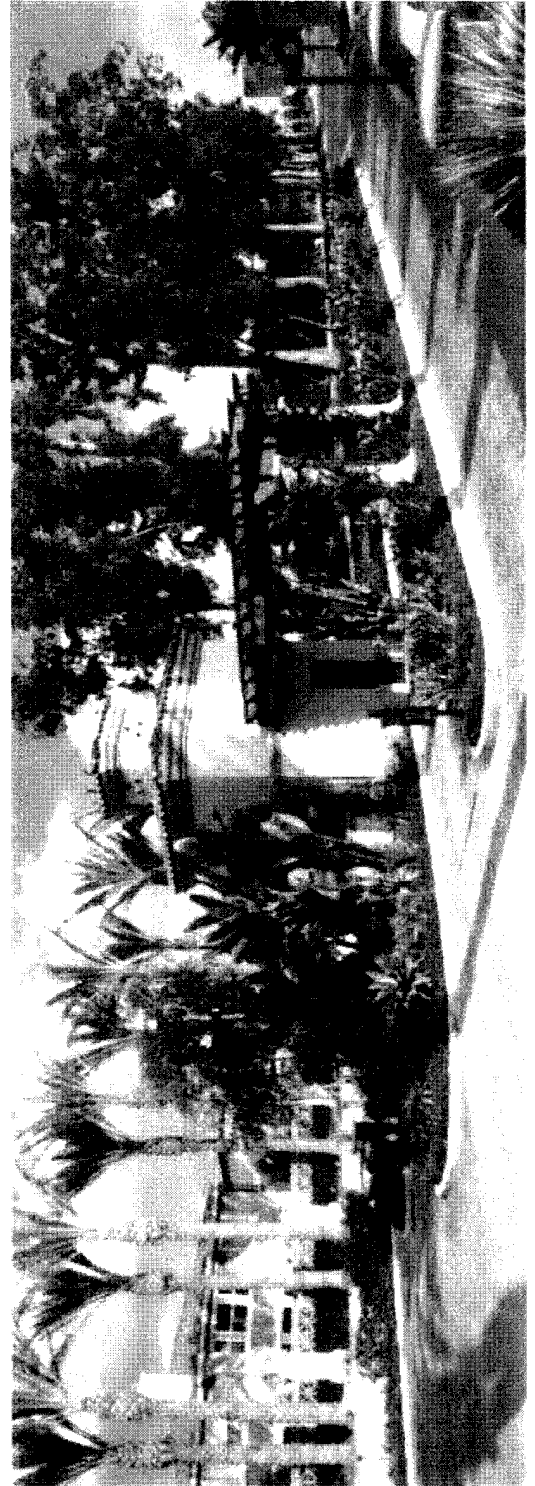
RECEIVED
JUN 30 2004
PERMIT COORDINATOR
ADD 2004-00060



Section Through Buildings Adjacent to a Parking Field

3. Characteristics of Site Planning specific to Residential Zones

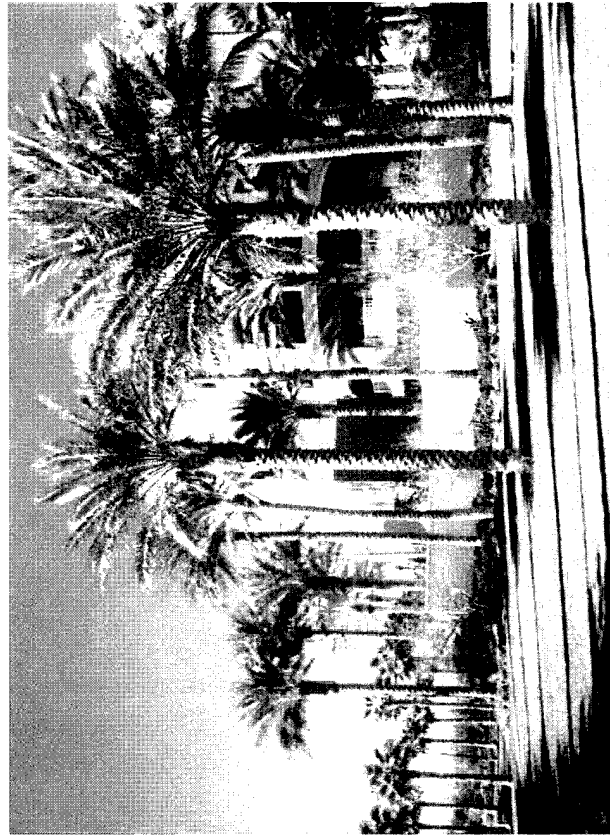
A series of images and a site section have been established to convey the character of site planning specific to Residential Zones at Coconut Point.



JUNE 14, 2004

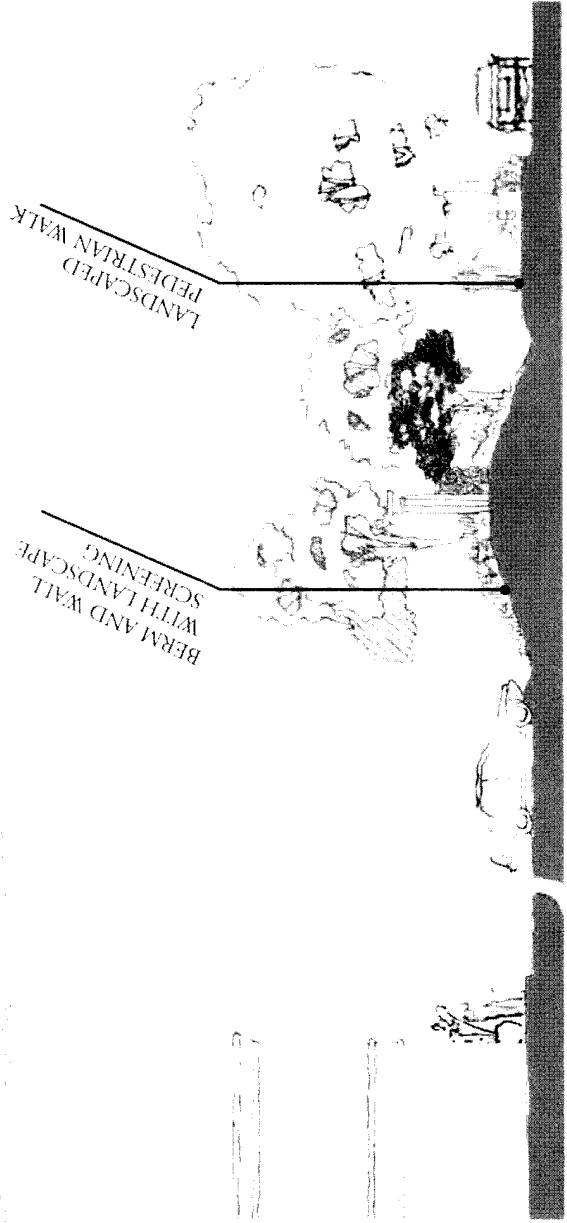
ADD 2004-00060
BRISBANE COUNCIL

RECEIVED
JUN 30 2004



Multi-family residential parking shall require a secured area of parking from the public. These secured parking areas must provide the required amount of integrated site lighting for safety for the residences.

ADD 2004-00060
 RECEIVED
 JUN 3 0 2004
 PUBLIC COUNCIL



Residential Buffer

JUNE 14, 2004

ADD 2004-00060

RECEIVED
JUN 3 0 2004
PERMIT CENTER

III. LANDSCAPE DESIGN

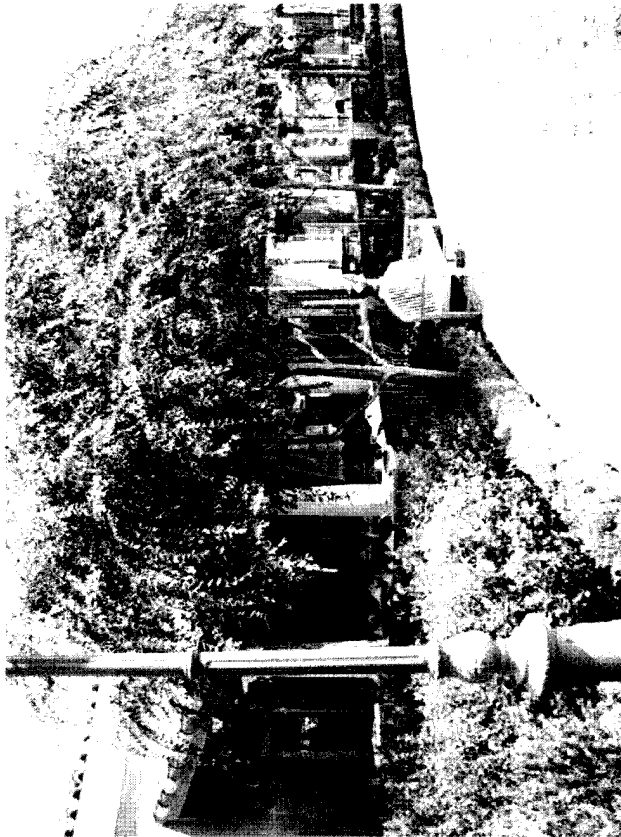
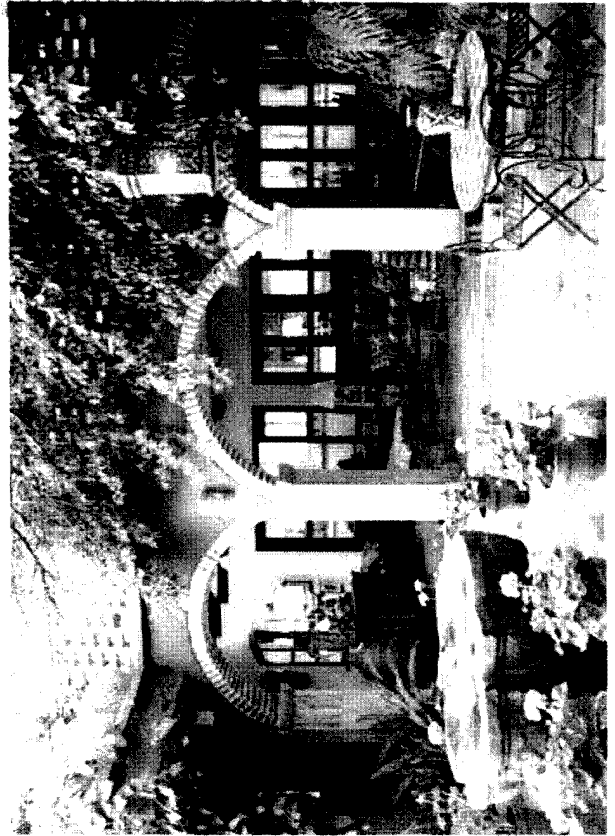
1. General Characteristics of Landscape Design at Coconut Point

The placement, location, and scale of plant materials at Coconut Point is an important aspect to the Landscape Design. Landscape up-keep and irrigation issues are equally important functional aspects to all landscape design at Coconut Point.

The following guidelines address planting points, irrigation, landscaped entries, and general landscape care. In addition, a comprehensive Approved and Recommended plant list is included for designer reference.

All landscape plans are to be prepared and sealed by a Landscape Architect licensed in the state of Florida. All plans must be submitted to the DRA for review and approval, in conjunction with site plans and architectural plans.

The landscape plans must show: all proposed site improvements, including: buildings, parking, sidewalks, lakes, fences, amenities, etc.; all tree, shrub and sod locations, sizes and quantities.



JUNE 14, 2004

A. Planting Points

Landscaping, buffering and native plant requirements must be in accordance with local codes and regulations. In addition, they must be in compliance with the standards developed within the Coconut Point Guidelines.

Trees, shrubs and vines used as screening devices shall be designed to complement and should provide 75% screen coverage within a two (2) year period.

The interior dimensions of any planting area or planting median must be sufficient to protect the landscape materials planted within and to ensure proper growth and maintenance.

Landscape standards will require the utilization of plantings from the established plant material palette.

Planting materials should provide a variety of visual effects in color, texture, seasonal interest and character; including seasonal flowering ornamental foliage, evergreen character, flowers, bark texture and color and physical form. Perennials, annuals, shrubs, trees, and groundcovers used in combination(s) are encouraged.

While the naturalistic style of landscaping is preferred, formal landscaping is also encouraged when used to complement certain architectural styles.

The use of larger, mature tree and palm species is strongly urged to accentuate main entries, boulevards and in buffers where visibility to retail frontages is considered beneficial to the merchandising of their goods.

The layering of plants with varying textures and growth habits is also encouraged. Clustering of similar plant types is preferred, but care should be taken to give each variety the proper amount of space to grow to an easily maintained maximum growth habit.

Planting at project entry signs: appropriate planting is encouraged to augment project character at these sign types. Selected plant materials shall be of appropriate scale as to not prohibit visibility of signage content. Plant materials shall be chosen to enhance the overall landscape and the aesthetic and functional purposes of project entry signs. Refer to "Landscaped Entries" for a more detailed description.

Tree sizes and quantities shall meet or exceed Lee County code requirements. The use of larger, mature tree and palm species is strongly urged in residential and commercial developments. In commercial areas, larger trees are recommended to accentuate main entries and boulevards and in buffers where visibility to retail frontages is considered beneficial to the merchandising of their goods. Large growing palms such as Royals and Dates should be planted in rows or in bosques, while naturally clustering palms such as Sabals should be planted in odd number groupings with a minimum of three (3) palms in any cluster, of varying heights. When larger trees are used, the Lee County code allows for a reduction of tree quantities under the General Tree Requirement. Please refer to the Lee County code for details.

Shrubs shall be a minimum of 24" height, 3-gallon container, at time of installation.

Shrubs and groundcovers shall be of an appropriate size so that, at the prescribed spacing, appropriate coverage can be obtained after one growing season.

Vines shall be a minimum 3 gallon container and have a minimum of 30" trailers at time of installation.

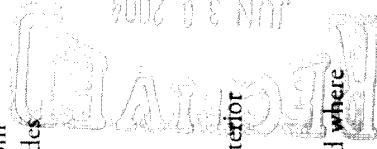
Lawns shall be planted with a St. Augustine (Floratan, Seville, and Palmetto species) or Bermuda sod that will thrive under the growing conditions it will be subject to. Bahia sod may be preferable for naturally landscaped pre-treatment areas.

Lawn planting shall provide an immediate cover, within 30 days from installation. Sod planting is encouraged at entrances, building façades and lawn areas of small dimensions.

Sod shall be clean and reasonably free of noxious pests or diseases. Preferred species and variety to be determined.

No artificial plant of any type, size or color will be allowed as an exterior landscape material.

A minimum 8' clear trunk must be provided in pedestrian areas and where sight lines are necessary for safety reasons.



Berms shall be provided as required by the Lee County Land Development Code (LDC).

Buffers should consist of a combination of: Large growing trees and palms; mid-height small trees and palms; large and small shrubs designed to grow together within a one (1) year time period.

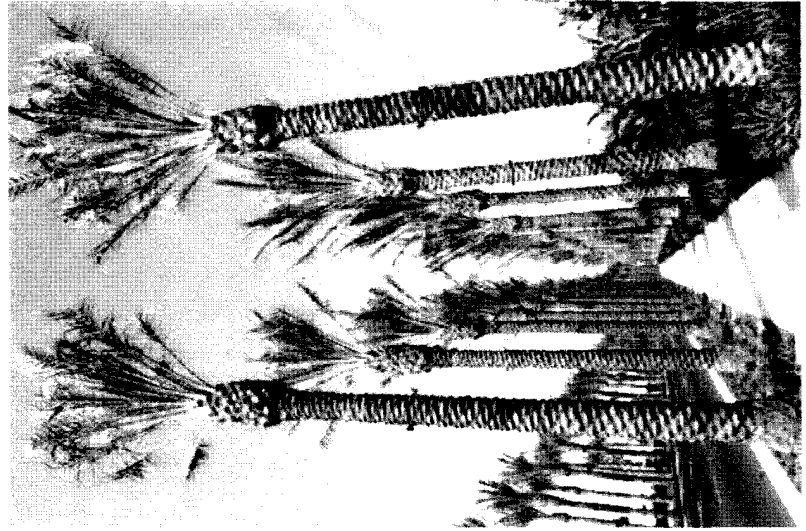
All beds should be mulched with pine straw or eucalyptus mulch at a minimum of three (3") thick (except seasonal flowerbeds, which must have a suitable planting soil). The use of Cypress mulch is prohibited.

Pine straw and/or mulch is not permitted as the primary groundcover. Mulch shall be used in planting beds and around trees, rather than solely as a design element.

All plantings must be Florida Number 1 or better in accordance with Grades and Standards for Nursery Plants, and be planted in accordance with sound nursery practices. Large trees and palms must be properly guyed with aesthetically pleasing, adjustable stays. No supports should be nailed into the trunks. Wood supports for Sabal Palms must be stained with a weathering gray, semi-transparent stain.

Good Xeric principles should be employed and plant groupings should have similar water requirements, creating "hydro zones", and be in context with their immediate environment.

Planting plans that employ improper plant spacing that require excessive maintenance will be rejected.



JUNE 14, 2004

B. General Landscape Care

LDC standards for pruning are as follows: "Vegetation required by this code may only be pruned to promote healthy, uniform, natural growth of the vegetation (except where necessary to promote health, safety and welfare) and be in accordance with 'Pruning Standards (Revised 1988)' of the National Arborist Association. Trees must not be severely pruned to permanently maintain growth at a reduced height or spread. Pruning must not interfere with the design intent of the original installation. Severely pruned trees must be replaced by the property owner. A plant's growth habit must be considered in advance of conflicts which might arise (i.e. views, signage, overhead power lines, lighting, circulation, sidewalks, buildings and similar conflicts.)"

All areas must be cleaned up at the end of each workday, and all unplanted excavated holes must be properly barricaded.

Maintenance of the landscaping and irrigation shall be the responsibility of the owner, tenant or agent, jointly and severally. They must be maintained in perpetuity in good condition so as to present a healthy, neat and orderly appearance. All landscaped and hard surface areas must be kept free of weeds, refuse and debris. If at any time after a "Certificate of Occupancy" or other form of approval, the maintenance is found to be non-compliant, the administrative official shall issue notice to the owner that action is required to comply with this section and shall describe what action is required to comply. The owner, tenant or agent shall have 30 days to restore the site to the proper level of maintenance. If the landowner fails to comply within the allotted period, a crew will be brought in bringing the project up to the required standards and the owner will be billed for costs incurred.

C. Irrigation

All irrigation systems must be of an underground automatic type, with pumps and time clocks screened from view. Time clocks must be able to accommodate South Florida Water Management District Conservation Rules, and a rain shut-off sensor switch is required to prevent watering when rainfall is sufficient for landscaping needs. "Popup" spray heads are encouraged, and where exposed pipe extensions are necessary, they must be painted a dark green or black. Where spray heads may be undesirable, the use of drip emitters is encouraged.

Irrigation systems must be designed by a Landscape Architect, Irrigation Designer, or Certified Irrigation Design and Installation Company. Care should be taken to provide 100% coverage and to minimize overspray onto adjacent buildings or hard surface areas.

The maintenance of the irrigation system is as important as the maintenance of the landscaping. Maintenance agreements should provide for routine inspections.

The practice of Sustainable Irrigation should be incorporated whenever possible, such as the use of drip emitters system. The Sustainable Irrigation system should follow approved City and County practices.

All lawn and landscaped areas which adjoin the public right-of-way, entry drives, sidewalks, corridors and building perimeter planting areas must be irrigated with a fully automatic irrigation system.

All internal parking lot islands must be irrigated.

ADD 2004-00060
RECEIVED
JUN 14 2004
PLANNING DEPARTMENT

D. Landscape Entries

Landscape entries serve as functional, and aesthetic gateways into the project. Entries to all districts of Coconut Point are marked with landscaped treatments, varying in scale and detail according to their specific locations.

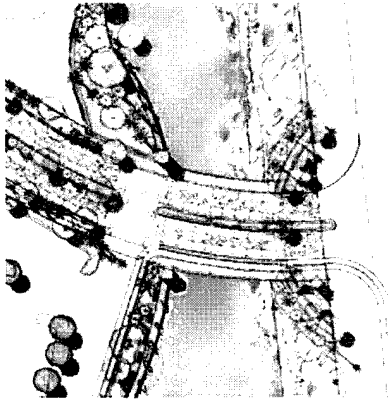
In commercial areas, each free-standing sign shall be accompanied by landscaping at the sign totaling no less than three-quarters (3/4) square foot of landscaped area for each one (1) square foot of sign area. In residential areas, each free-standing sign shall be accompanied by landscaping at the sign totaling no less than 1.5 square feet of landscaped area for each one (1) square foot of sign area. Landscaping shall provide a minimum of fifty percent (50%) coverage of the landscape area at installation. Turf grass shall be limited to a maximum of ten percent (10%) of the total landscape area.

Landscape entries are broken down into three categories: Feature Entries, Large / Medium Scale Entries, Landscaped Sign/Wall Entries.

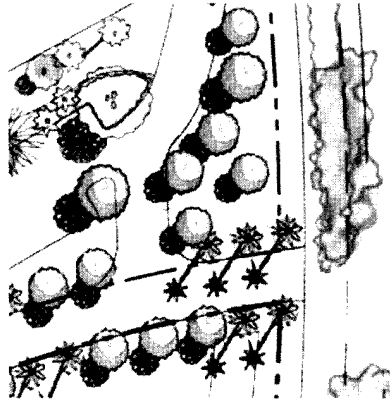
Feature Entries:

The landscape character for the Feature Entries creates a strong presence to demark its special importance. The landscaped Feature Entries correspond in location to the Feature Entry Tower. The following landscape elements define this entry category:

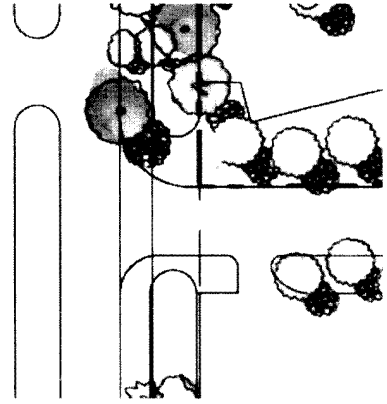
- Foreground Planting - A mixture of large, flowering canopy trees planted with a backdrop of palm species and a mixture of textural shrubs and flowering groundcover.
- Middle Ground - Signature lake water feature incorporating the project identity signage with a vertical water wall.
- Background Planting - A mixture of large canopy trees and accent flowering trees with informal groupings of palms, creating a sculptural lake edge.
- Decorative textural paving at entry with enhanced pavement banding.



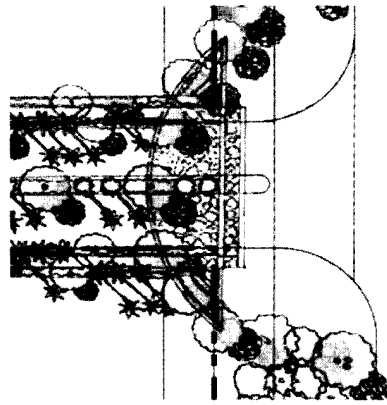
Feature Entries



Large/Medium Scale Entries



Landscape Sign Wall Entries



ADD 2004-00060

PLANNING DEPARTMENT
JUNE 14, 2004

Large / Medium Scale Entries:

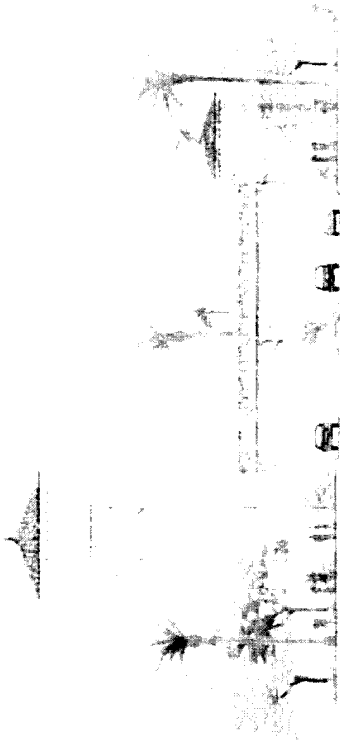
These entries are major statements and are provided within each district. The Large / Medium Scale Entries correspond in location to the Large Scale / Medium Scale Monument Signs, respectively. The landscape at these entries incorporates the following landscape elements:

- A ring of flowering canopy trees planted with a mixture of textural shrubs and flowering groundcover. Sculptural grading will be integrated with this landscape treatment.
- Informal groupings of canopy trees and shrubs incorporating sculptural grading with groundcover plantings.
- Decorative entry banding in crosswalks.
- Architectural pylons or walls, integrated into sculptural grading, planted with flowering groundcover.

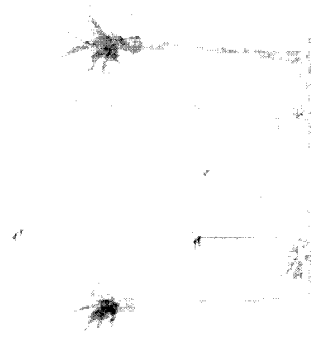
Landscape Sign Wall Entries:

These entries help to offer wayfinding throughout the project, as well as enhance the immediate area within that district. The Landscaped Sign Wall Entries correspond in location to the entry sign walls. The landscape at these entries incorporates the following landscape elements:

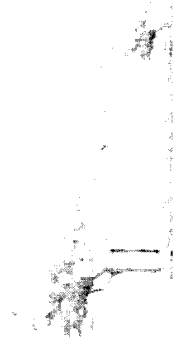
- Small scale layering of planting materials utilizing groundcovers / vines, shrubs, ornamental canopy trees, and flowering canopy trees.
- Integration with the architectural materials of the sign wall using framing plants and accent plants.



Feature Entries



Large/Medium Scale Entries



Landscape Sign Wall Entries

ADD 2004-0006
RECEIVED
JUN 14 2004
PLANNING DEPARTMENT

D. Plant Material Lists

Recommended plant species from the suggested Plant Material Lists shall be used. Plant materials are also designated either "Approved and Recommended" or "Optional". A minimum of 60% of total plant materials shall be from the "Approved and Recommended" section of the list. Plant materials shall be submitted to the DRA for review and approval prior to final implementation.

Additional Suggested Plants

Optional

Recommended & Approved

Category	Latin Name	Common Name	
Canopy Trees	Acer rubrum	Red Maple	✓
	Bucida buceras 'Shady Lady'	'Shady Lady' Black Olive	✓
	Buccera smarula	Gumbo Limbo Tree	✓
	Coccoloba uvifera	Seagrape	✓
	Gordonia lasianthus	Loblolly Bay	✓
	Ilex cassine	Dahoon Holly	✓
	Ilex x attenuata	East Palatka' Holly	✓
	Juniperus silicicola	Southern Red Cedar	✓
	Magnolia grandiflora	Southern Magnolia	✓
	Pinus elliotii var. 'Densa'	South Florida Slash Pine	✓
	Platanus occidentalis	Sycamore	✓
	Quercus laurifolia	Laurel Oak	✓
	Quercus virginiana	Southern Live Oak	✓
	Sweetenia mahagoni	Mahogany	✓
	Taxodium distichum	Bald Cypress	✓
	Terminalia catappa	Tropical Almond	✓
Flowering Trees	Bauhinia blakeana	Hong Kong Orchid	✓
	Callistemon	Bottlebrush	✓
	Cassia surrattensis	Bush Cassia	✓
	Chorisia speciosa	Silk Floss Tree	✓

ADD 2004-00060

RECEIVED
JUN 30 2004
PLANTING COUNTY

JUNE 14, 2004

ADD 2004-00060
RECEIVED
 JUN 3 0 2004
 PERMIT COUNTER

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Flowering Trees continued	Coccoloba diversifolia	Pigeon Plum	✓	✓	
	Cordia sebestena	Geiger Tree			✓
	Delonix regia	Royal Poinciana	✓		
	Eryobotrya japonica	Loquat			✓
	Eugenia thombea	Red Stopper			✓
	Jacaranda minosifolia	Jacaranda			✓
	Koelreuteria spp.	Golden Rain Tree	✓		
	Lagerstroemia indica "varieties"	Grape Myrtle	✓		
	Lagerstroemia speciosa	Queen Grape Myrtle	✓		
	Magnolia grandiflora	Southern Magnolia	✓		
	Magnolia virginiana	Sweet Bay	✓		
	Psidium littorale	Strawberry Guava			✓
	Spathodea campanulata	African Tulip			✓
	Tabebuia caraiba	Silver Trumpet Tree	✓		
	Tabebuia chrsotricha	Gold Trumpet Tree	✓		
	Tabebuia heterophylla	Pink Trumpet Tree	✓		
	Tabebuia impetiginosa	Purple Trumpet Tree	✓		
Small Trees	Clerodendron quadriloculare	Starburst	✓		
	Clusia guttifera	Small Leaf Clusia	✓		
	Conocarpus erectus	Green Buttonwood	✓		
	Conocarpus erectus 'sericeus'	Silver Buttonwood	✓		
	Cupressus spp.	Cypress		✓	
	Filicium decipiens	Japanese Fern Tree	✓		
	Ilex cassine	Dahoon Holly			✓

JUNE 14, 2004

PERMIT OFFICE
JUN 30 2004
RECEIVED

ADD 2004-00060

Additional Suggested Plants
Optional
Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional
Small Trees continued	Ilex vomitoria 'Pendula'	Weeping Yaupon Holly	✓	
	Ligustrum japonicum	Wax/Japanese Privet	✓	
	Magnolia	'Bracken's Brown Beauty' Magnolia	✓	
	Magnolia	'Little Gem' Magnolia	✓	
	Magnolia virginiana	Sweet Bay	✓	
	Myrcianthes fragrans 'simplonii'	Simpson's Stopper	✓	
	Myrica cerifera	Wax Myrtle	✓	
	Persea borbonia	Red Bay	✓	
	Piscidia piscipula	Jamaica Dogwood	✓	
	Quercus laurifolia	Southern Laurel Oak	✓	
	Viburnum odoratissimum	Sweet Viburnum	✓	
	Viburnum odoratissimum 'Awabuki'	Awabuki Viburnum	✓	
Palm Trees	Cocos nucifera 'Maypan'	'Maypan' Coconut Palm	✓	
	Cyrtostachys terida	Sealing Wax Palm	✓	
	Livistona chinensis	Chinese Fan Palm	✓	
	Phoenix canariensis	Canary Island Date Palm	✓	
	Phoenix dactylifera 'Medjool'	'Medjool' Date Palm	✓	
	Phoenix dactylifera 'Sylvestris'	'Sylvestris' Date Palm	✓	
	Phoenix dactylifera 'Zahidi'	'Zahidi' Date Palm	✓	
	Phoenix reclinata	Senegal Date Palm	✓	
	Phoenix reclinata x roebelenii	Hybrid Clumping Date Palm	✓	
	Phoenix roebelenii	Pygmy Date Palm	✓	
	Phoenix spp.	Date Palm	✓	
	Raphis excelsa	Lady Palm	✓	

ADD 2004-00060
RECEIVED
 JUN 30 2004
 PERMIT COUNTER

Additional Suggested Plants
 Optional
 Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Palm Trees continued	Ravenala Madagascariensis	Travelers Palm	✓	✓	✓
	Rhapidopyllum hystrix	Needle Palm	✓		
	Roystonea elata	Florida Royal Palm	✓		
	Sabal palmetto	Sabal Palm	✓		
	Serenoa repens	Saw Palmetto	✓		
	Serenoa repens 'cinerea'	Silver Saw Palmetto	✓		
	Syagrus romanzoffiana	Queen Palm	✓		
	Thrinax parviflora	Florida Thatch Palm	✓		
	Thrinax spp.	Thatch Palm	✓		
	Trachycarpus fortunei	Windmill Palm	✓		
	Washingtonia robusta	Washington Palm	✓		
	Wodyetia bifurcata	Foxtail Palm	✓		
Shrubs/Groundcover/Vines	Acalypha wilkesiana	Copperleaf	✓		
	Acalypha hispida	Chenille Plant	✓		
	Acrostichum danefolium	Leather Fern	✓		
	Agave attenuata	Spineless Century Plant	✓		
	Alpinia spp.	Ginger	✓		
	Bougainvillea spp.	Bougainvillea	✓		
	Calliandra haematocephala	Powder Puff	✓		
	Callicarpa americana	Beauty Bush	✓		
	Capparis cynophallophora	Jamaica Caper	✓		
	Carissa macrocarpa	Natal Plum	✓		
	Cassia alata	Candle Bush	✓		

JUNE 14, 2004

Additional Suggested Plants

Optional

Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
Shrubs/Groundcover/ Vines continued	Chrysobalanus icaco	Cocoplum	✓		
	Clerodendron quadriloculare	Starburst	✓		
	Coccoloba uvifera	Seagrape		✓	
	Conocarpus erectus	Green Buttonwood	✓		
	Conocarpus erectus 'seneus'	Silver Buttonwood	✓		
	Crinum spp.	Crinum Lily	✓		
	Cycas revoluta	King Sago	✓		
	Dodonaea viscosa	Vamish Leaf			✓
	Dracaena arborea	Dracaena	✓		
	Duranta erecta 'Sapphire Shower'	Purple Dewdrop	✓		
	Duranta repens	Golden Dewdrop			✓
	Eleagnus pungens	Silverthorn	✓		
	Eugenia rhombea	Red Stopper		✓	
	Eugenia uniflora	Surinam Cherry		✓	
	Euphorbia milii "Rosy"	Dwarf Crown of Thorns	✓		
	Evolvulus glomeratus	Blue Daze			✓
	Fatsia japonica	Fatsia			✓
	Feijoa sellowiana	Pineapple Guava			✓
	Forestiera segregata	Florida Privet	✓		
	Galphimia gracilis	Thryallis	✓		
	Gamolepis chrysanthemoides	African Daisy Bush			✓
	Gardenia spp.	Gardenia			✓
	Hamelia patens	Firebush	✓		
	Helianthus debilis	Beach Sunflower			✓

ADD 2004-00060

RECEIVED
JUN 30 2004
PERMIT COUNTER

PERMIT COUNTER

RECEIVED
JUN 3 0 2004

ADD 2004-00060

Additional Suggested Plants
Optional
Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	Heimerocallis spp.	Day Lily	✓		
	Hibiscus rosa-sinensis	Chinese Hibiscus	✓		✓
	Hymenocallis latifolia	Spider Lily	✓		
	Ilex spp.	Holly	✓		
	Ilex vomitoria	Dwarf Yaupon Holly	✓		✓
	Irish hexagona savannarum	Blue Flag Iris	✓		
	Ixora coccinea	Red Ixora	✓		✓
	Ixora spp.	Hybrid Ixora	✓		
	Jasminum multiflora	Downy Jasmine	✓		✓
	Jasminum spp.	Jasmine	✓		
	Juncus spp.	Rush	✓		
	Juniperus chinensis 'Parsonii'	Parson's Juniper	✓		✓
	Juniperus spp.	Juniper	✓		
	Kosteletzkya virginica	Salt Marsh Mallow	✓		✓
	Lantana camara	Lantana	✓		✓
	Lantana montevidensis	Trailing Lantana	✓		✓
	Ligustrum spp.	Privet	✓		
	Liriope muscari 'Evergreen Giant'	'Evergreen Giant' Liriope	✓		✓
	Liriope spp.	Lily Turf	✓		
	Lonicera sempervirens	Coral Honeysuckle	✓		✓
	Muhlenbergia capillaris	Muhly Grass	✓		
	Murraya paniculata 'Lakeview'	Orange Jasmine	✓		
	Myrcianthes fragrans 'simplonii'	Simpson's Stopper	✓		
	Myrica cerifera	Wax Myrtle	✓		

JUNE 14, 2004

Additional Suggested Plants

Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	Nandina compacta	Heavenly Bamboo			✓
	Nephrolepis Falcata	Macho Fern		✓	
	Nephrolepis biserrata	Fishtail Fern		✓	
	Nephrolepis spp.	Fern	✓		
	Nerium oleander	Common Oleander	✓		
	Nerium oleander 'Ice Pink'	Dwarf Oleander			✓
	Nerium oleander 'Petite Pink'	Dwarf Pink Oleander			✓
	Pennisetum setaceum	Green Fountain Grass	✓	✓	
	Pentas	Egyptian Star Cluster	✓		
	Philodendron selloum	Split Leaf Philodendron			✓
	Philodendron spp.	'Xanadu' Philodendron	✓		
	Pittosporum tobira	Japanese Pittosporum	✓		
	Pittosporum tobira 'variegata'	Variegated Pittosporum	✓		
	Plumbago 'Imperial Blue'	Blue Leadwort	✓		
	Podocarpus macrophyllus	Podocarpus	✓		
	Polypodium spp.	Polypodium	✓		
	Pontederia cordata	Pickert Weed	✓		
	Psychotria nervosa	Wild Coffee	✓		
	Rapanea punctata	Myrsine	✓		
	Raphiolepis indica	Indian Hawthorn	✓		
	Russelia equisetiformis	Firecracker	✓		
	Schefflera arboricola	Dwarf Schefflera	✓		
	Scirpus spp.	Bullrush	✓		
	Senna polyphylla	Desert Cassia	✓		

RECEIVED
JUN 30 2004
PERMIT COUNTER

ADD 2004-00060

RECEIVED
JUN 30 2004
PERMIT COUNTER
ADD 2004-00060

Additional Suggested Plants

Optional
Recommended & Approved

Category	Latin Name	Common Name	Recommended & Approved	Optional	Additional Suggested Plants
	<i>Serenoa repens</i>	Saw Palmetto	✓		
	<i>Serenoa repens</i> 'cinerea'	Silver Saw Palmetto	✓		
	<i>Sophora tomentosa</i>	Necklace Pod		✓	
	<i>Spartina</i> spp.	Cordgrass	✓		
	<i>Stachytarpheta jamaicensis</i>	Blue Porterweed		✓	
	<i>Streitzia Reginae</i>	Bird of Paradise	✓		
	<i>Syzygium paniculatum</i> spp.	Brush Cherry	✓		
	<i>Tabernaemontana</i>	Florida Gardenia	✓		
	<i>Tabernaemontana divaricata</i>	Grape Jasmine	✓		
	<i>Thunbergia</i> spp.	Thunbergia	✓		
	<i>Tibouchina</i> spp.	Glory Bush	✓		
	<i>Tipsacum</i> spp.	Fakahatchee Grass	✓		
	<i>Viburnum</i> spp.	Viburnum	✓		
	<i>Zamia floridana</i>	Coontie	✓		
	<i>Zamia Furfuracea</i>	Cardboard Palm	✓		
Aquatics	<i>Canna flaccida</i>	Yellow Canna		✓	
	<i>Crinum americanum</i>	String Lily		✓	
	<i>Juncus effusus</i>	Soft Rush		✓	
	<i>Nymphaea</i> spp.	Waterlily		✓	
	<i>Sagittaria</i> spp.	Arrowhead		✓	
	<i>Thalia geniculata</i>	Arrowroot		✓	
	<i>Hymenocallis latifolia</i>	Spider Lily	✓		
	<i>Pontederia cordata</i>	Pickering Weed	✓		
	<i>Scirpus</i> spp.	Bulrush	✓		

JUNE 14, 2004



Plant Requirement Notes:

Shrubs:

Planting plans that employ improper plant spacing that require excessive maintenance will be rejected.

Sod/Groundcover:

St. Augustine species of Floratam, Seville and Palmetto are required for lawns. Other lawn grasses such as Paspalum, Bahia, and Zoysia varieties may be approved by DRA on a case by case basis.

Acceptable Sod Varieties

<i>Latin Name</i>	<i>Common Name</i>
<i>Paspalum vaginatum</i> 'Sea Isle'	Seashore Paspalum
St. Augustine 'Floratam' & 'Seville'	St. Augustine Grass
Zoysia 'Empire'	'Empire' Zoysia Grass

Vegetation Not Permitted

The following list identifies plants which are not permitted in the Coconut Point project.

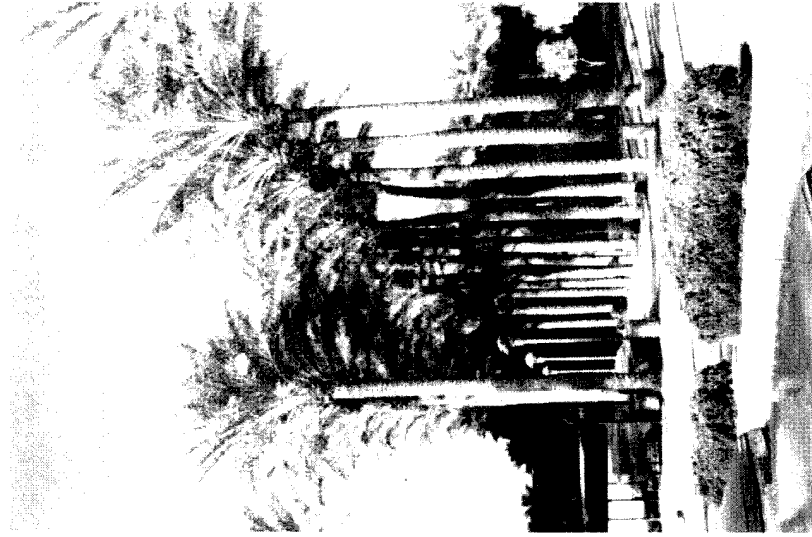
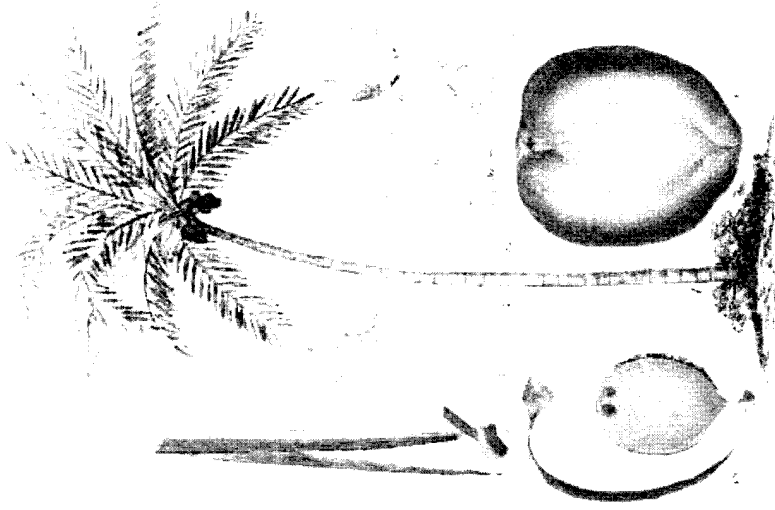
<i>Latin Name</i>	<i>Common Name</i>
<i>Acacia auriculiformis</i>	Earleaf Acacia
<i>Araucaria heterophylla</i>	Norfolk Island Pine
<i>Casuarina</i> spp.	Australian Pine
<i>Cupaniopsis anacardiopsis</i>	Carrotwood
<i>Melaleuca</i> spp.	Cajeput Tree
<i>Rhodomyrtus tomentosa</i>	Downy Rose Myrtle
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Solanum viarum</i>	Tropical Soda Apple

ADD 2004-00060
 RECOMMENDED
 JUN 3 0 2004
 PERMIT COUNTY

2. Characteristics of Landscape Design specific to Commercial Retail Zones

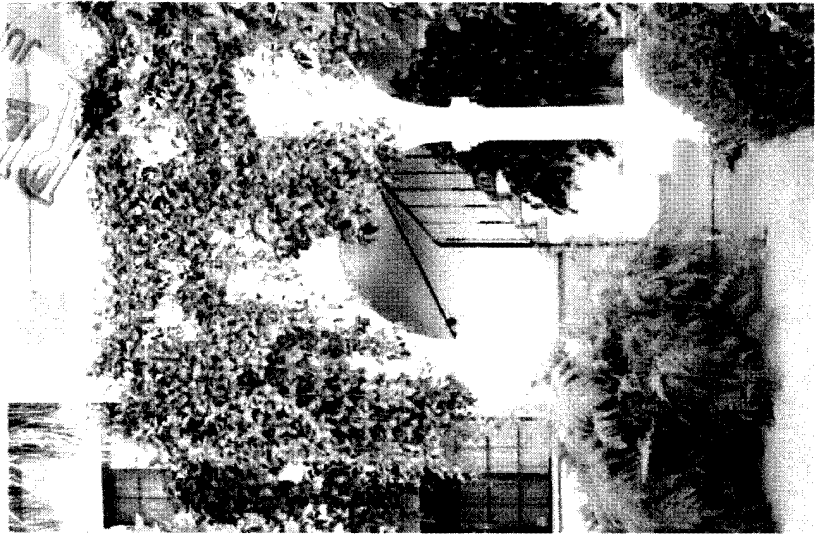
Commercial Retail Zones at Coconut Point also incorporate the following specific design techniques and elements. These features accentuate the public nature of these areas, reinforce other corresponding site features such as roadways, water features and open space, and capture the Mediterranean Revival Identity of Coconut Point for the broadest audience of inhabitants and visitors. These Landscape Design techniques propose:

1. The use of a signature Coconut Palm as a skyline iconographic tree in rhythm with flowering canopy trees.



3. Characteristics of Landscape Design specific to Residential Zones

Residential Zones at Coconut Point should reflect the more intimate and personal nature of home and dwelling in their landscape as in other design aspects. Rows of trees may still define streets and avenues but will not need to respond to large, multistory commercial building elements. Planting at residential amenities such as bike paths and pedestrian walkways should also reflect a smaller scale design. In general, planting at building edges will be of a smaller scale. Individual residences may incorporate landscape elements appropriate in scale to the corresponding structure, and may also consider the effects of potted plants, low planter walls with groups of various height planting, and groundcover types and locations.



PART 4
SIGNAGE

I. GENERAL

Signage provides project identity, assists in way finding, marks neighborhoods, and locates businesses. Identity, way finding and residential signage at Coconut Point shall incorporate a common theme in keeping with the Mediterranean Revival style of the project. Particular, cohesive designs have been established for project identity signage. In addition, a program of way finding sign types and environmental graphics will be incorporated into the project. Signage criteria for the individual storefronts of commercial tenants allow more flexibility for expression through business logos and variation of sign type and construction.

These guidelines are intended to provide an appropriate level of sign control without limiting creative sign design by tenants and businesses. All signage must meet these criteria and receive approval by the DRA. In addition, all signs at Coconut Point must conform to local sign ordinances and will not exceed any local size restrictions for signs.

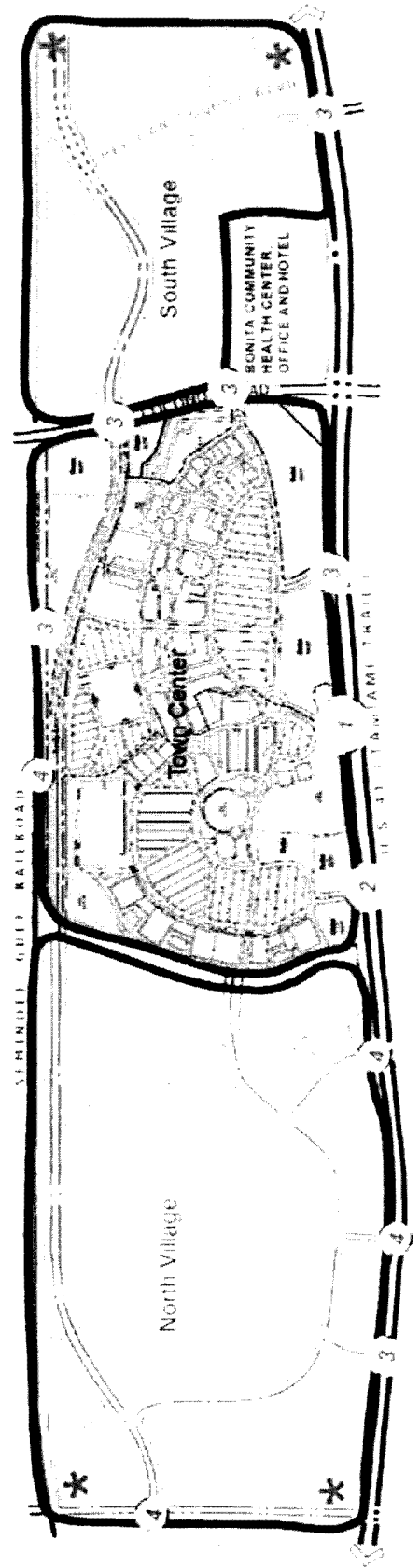
ADD 2004-00060
RECEIVED
JUN 14 2004
PLANNING DEPARTMENT

JUNE 14, 2004

II. GENERAL CHARACTERISTICS OF SIGNAGE AT COCONUT POINT

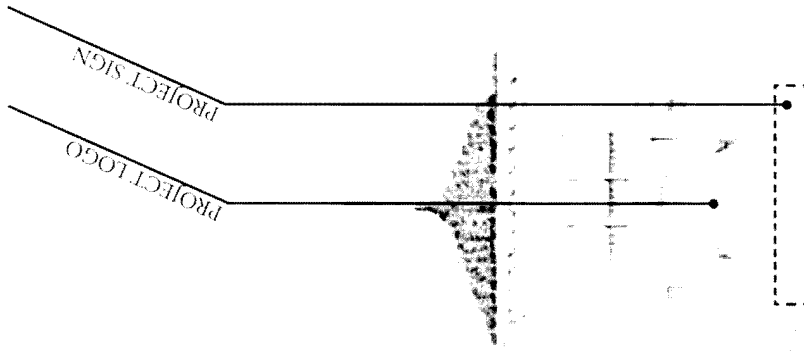
1. Project Identity Signage
 - Project Identity Towers - Project Identity Sign Type 1
 - Large Scale Monument Signs - Project Identity Sign Type 2
 - Medium Scale Monument Signs - Project Identity Sign Type 3
 - Entry Sign Walls - Project Identity Sign Type 4
 - Project Identity Sign (shown on keyplan as ★)

RECEIVED
 JUN 3 0 00 PM '04
 PERMIT COUNTY
 ADD 2004-00060



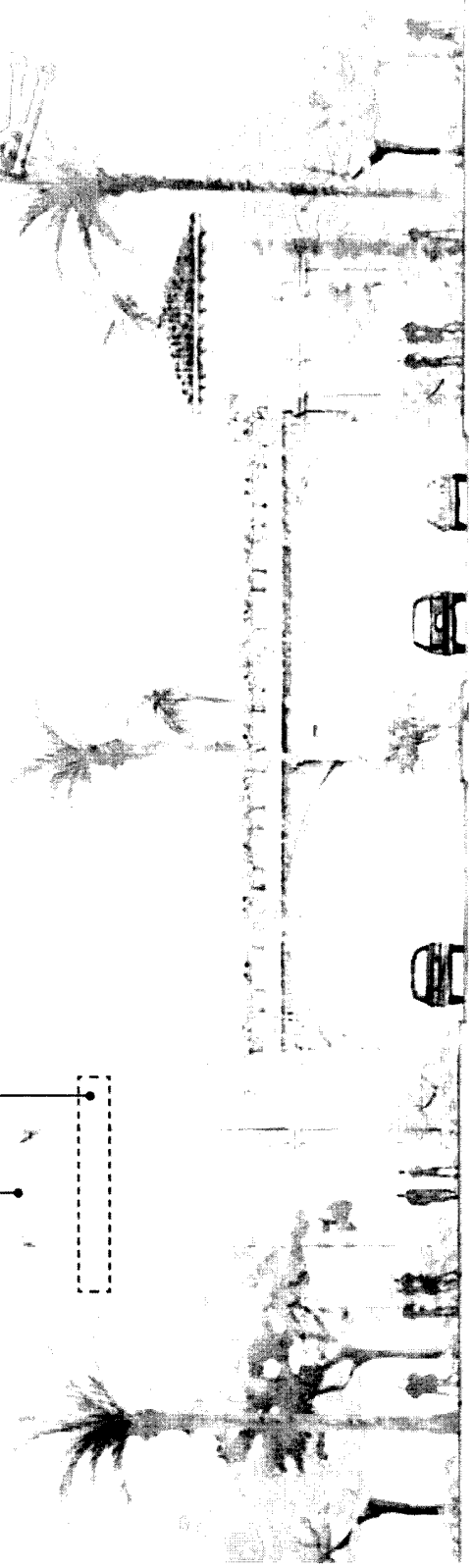
A. Feature Entry Tower - Entry Sign Type 1

A major architectural statement, the Feature Entry Tower is located at the Town Center entrance along US 41. This sign type spans the roadway with an arched trellis structure and serves as the primary identity gateway to and from Coconut Point. Distinct arched portals provide separate access for vehicles via roadways and pedestrians via walkways. The architectural language and unique identity of Coconut Point is captured in these structures that punctuate the landscape and provide for project and district signage. In addition, the Feature Entry Tower is complimented with verdant landscaping, and may include pedestrian amenities such as seat benches, water fountains and water features. The location for Feature Entry Tower is shown on the accompanying key plan. Maximum dimensions are shown on the accompanying elevation diagram for Project Identity Towers.



77

RECEIVED
JUN 14 2004
PROJECT COORDINATOR



ADD 2004-00060

B. Large Scale Monument Signs - Project Identity Sign Type 2

Large Scale Monument signs allow for streetside announcement of multiple large-scale commercial Tenants at Coconut Point. Locations for Large Scale Monument signs are shown on the accompanying key plan. Maximum dimensions for Large Scale Monument signs are shown on the accompanying elevation diagram.

C. Medium Scale Monument Signs - Project Identity Sign Type 3

Similar to Large Scale Monument Signs but on a smaller scale, Medium Scale Monument Signs may be provided at the main entries into each district. These will be well landscaped with architectural feature walls providing opportunity for multiple message signage. These signs reflect the district identity signage as well as community identity and may incorporate user names. Locations for Medium Scale Monument are shown on the accompanying key plan.

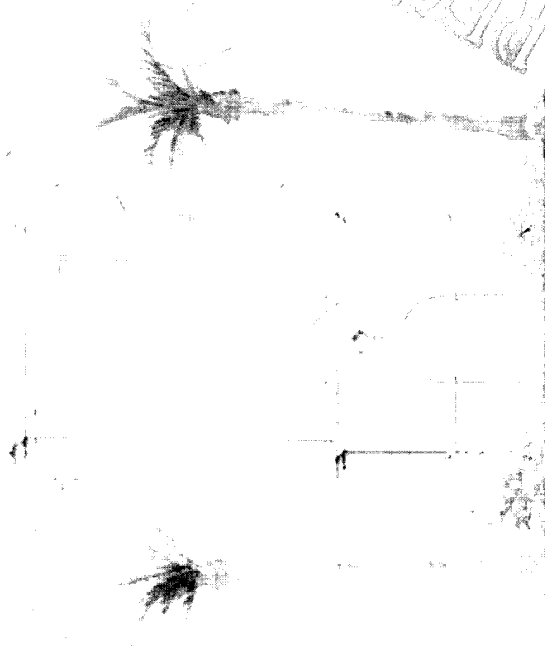
D. Entry Sign Walls - Entry Sign Type 4

Entry Sign Walls are smaller statements at secondary entries into the districts. They will be smaller in scale and detail than other project entry signs, with landscaping and architectural articulation. Locations for Entry Sign Walls are shown on the accompanying key plan. Maximum dimensions are shown on the accompanying elevation diagram for Entry Sign Walls.

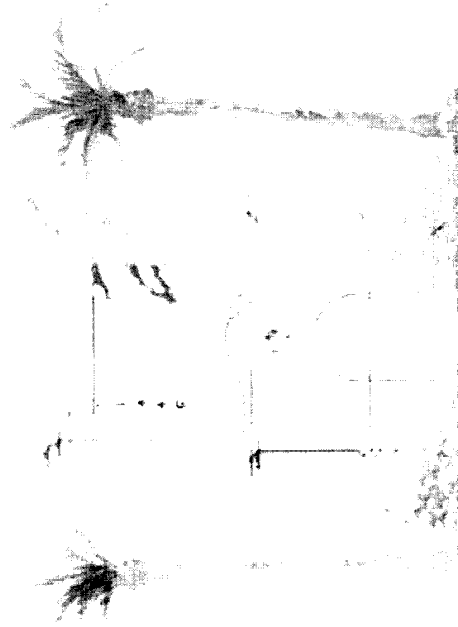


Entry Sign Walls - Entry Sign Type 4

E. Project Identity Signs (shown on key plan as *)
These signs mark the four corners of the Coconut Point boundaries and are similar in design to Entry Sign Type 1. Between 18 to 24 feet high, they reinforce the identity of the overall project. Their design shall be in keeping with the Coconut Point Mediterranean Revival aesthetic.



Large Scale Monument Signs - Project Identity Sign Type 2



Medium Scale Monument Signs - Project Identity Sign Type 3

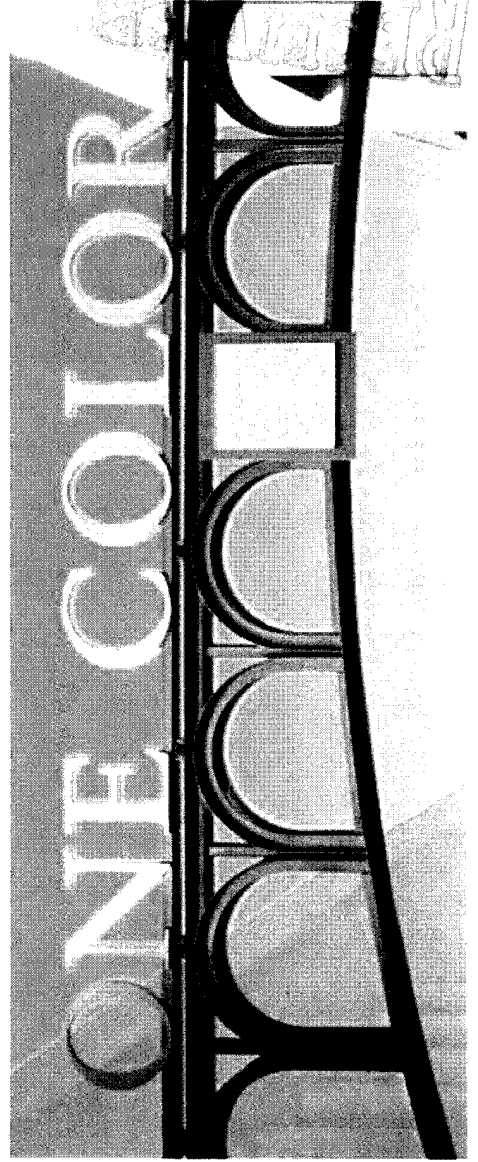
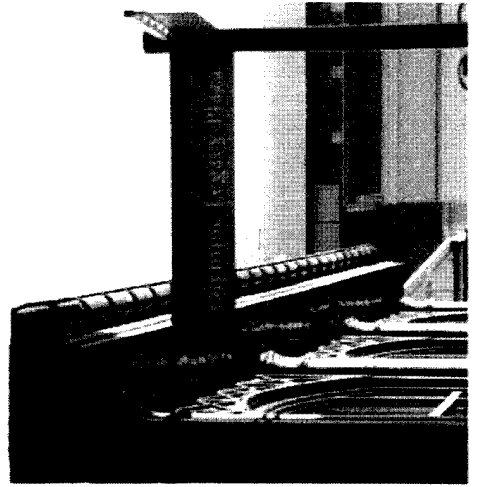
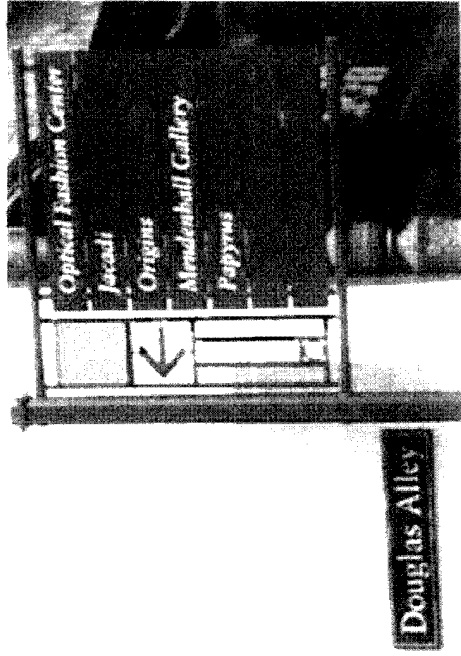
2. Way finding Sign Types

Primarily located in Commercial Areas, Way finding directories will be provided at key decision making locations throughout the project. These will be suitably sized and located to provide easily readable information for all visitors, including pedestrians, bicyclists, and drivers of motor vehicles. All signs within a district will have a consistent design theme and will be suitably sized and placed. In general, signs will provide directions to major destinations or to the larger tenants within Coconut Point.

A. Pedestrian signs are generally similar in style to monument signs on a smaller scale and provide information on tenant locations within the project, frequently including a project key plan.

B. Vehicle signs may be either pole mounted or similar in style to monument signs and may include district names and directional arrows and other project information. Care should be taken to provide adequate clearances above grade for any projecting elements yet maintain visibility and legibility when designing pole mounted way finding signs.

C. Bicycle signs are generally centrally mounted on poles at the eye level of cyclists. Information is provided on orientation, primary destinations and districts.



JUNE 14, 2004

2004-7002

ADD

PERMIT COUNTY

JUN 3 0 2004

III. CHARACTERISTICS OF SIGNAGE SPECIFIC TO COMMERCIAL RETAIL ZONES

A specific set of design criteria has been established governing the individual buildings and storefronts of commercial tenants at Coconut Point. The types and construction of building signage are outlined on the following pages.

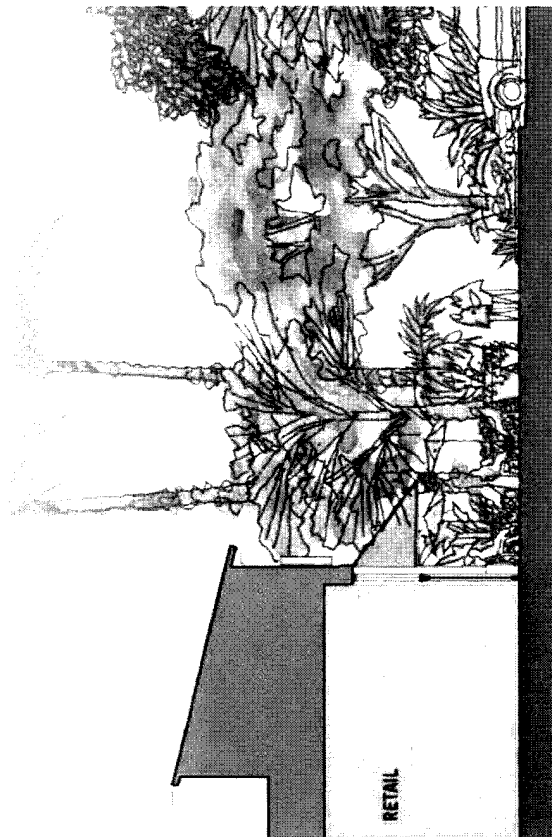
1. Commercial Building Sign Types and Criteria

All tenant signs are to comply with Lee County and Estero signage codes. However, signs on any one sign face of a tenant building shall not exceed 300 SF. This area is to be determined by the sum of all reasonable rectangles that enclose the sign parts.

Building face is defined as the area of wall fronting on leased or owned space of the tenant or owner measured from the roof eave or top of parapet to finished floor.

A. Wall Mounted Fascia Signs.

- Wall mounted signs and fascia signs provide key tenant identification above storefronts and on building facades.



Section at Wall Mounted Sign

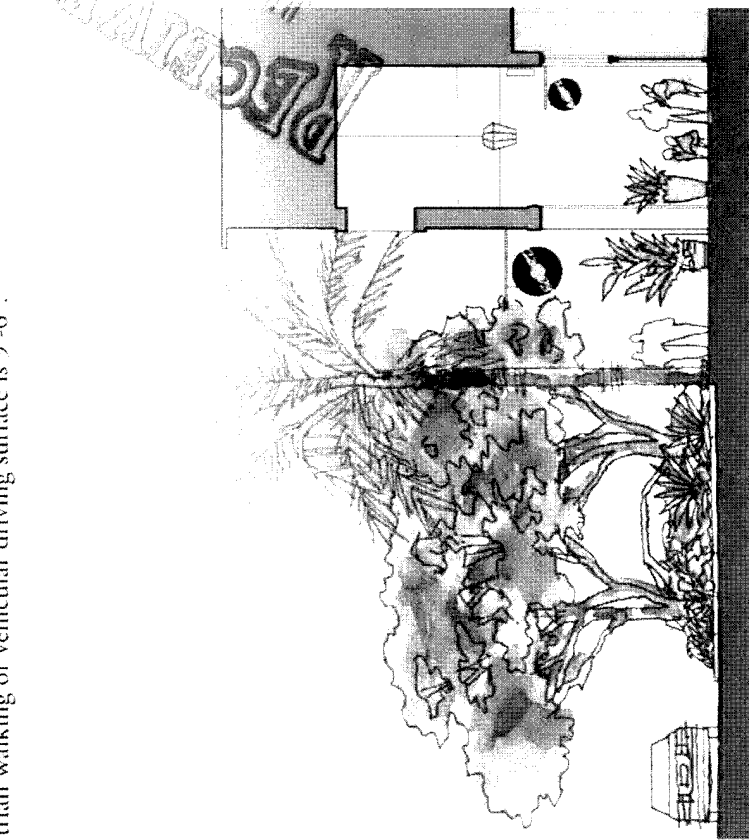
- Wall mounted signs and fascia signs of construction types outlined in item 2 of this section are permitted.

B. Awning Signs.

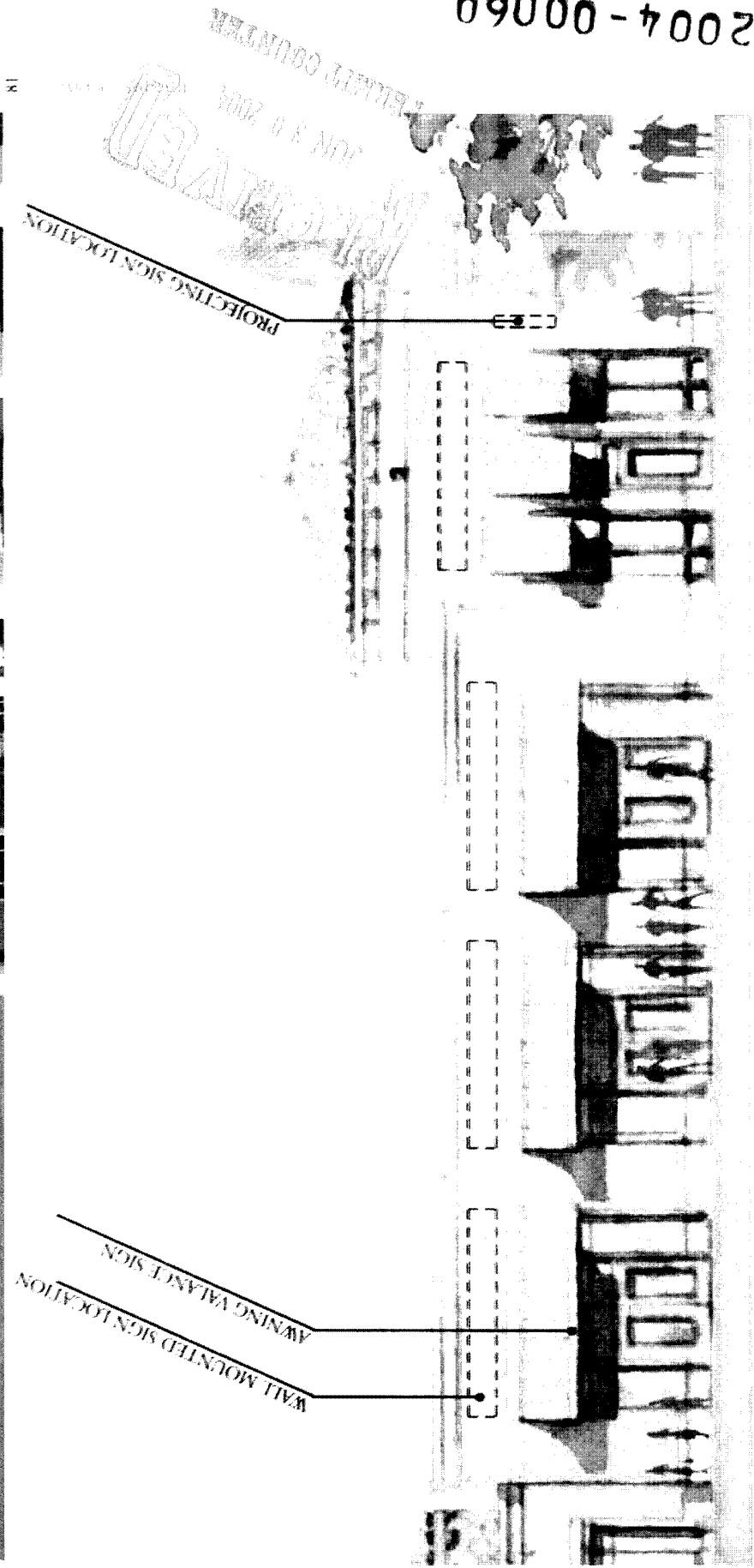
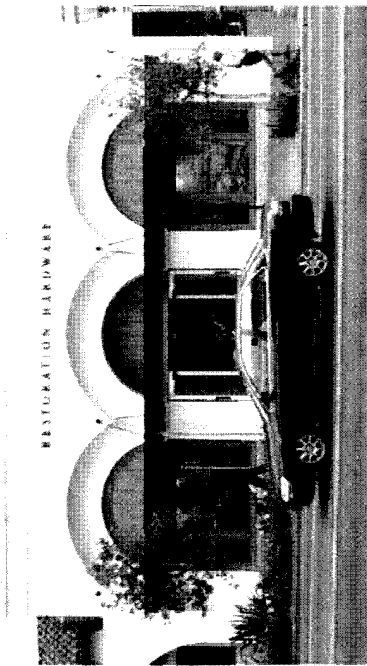
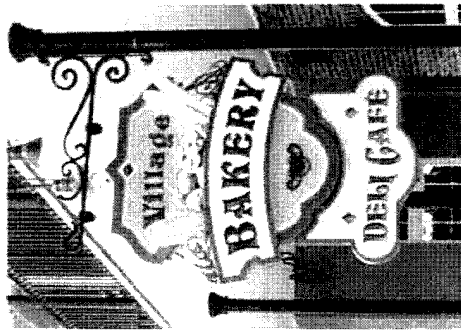
- Awning signage is permitted at awning valances.

C. Projecting Signs

- The use of Projecting signs are encouraged as they provide visual excitement and accentuate the pedestrian character of certain districts at Coconut Point.
- Projecting signs located at a building corner may use the larger of the two building faces adjoining that corner for determination of sign size.
- Minimum clear distance from the bottom of a projecting sign to a pedestrian walking or vehicular driving surface is 9'-6".



Section at Projecting Sign



Elevation at Projecting Sign

Elevation at Wall Mounted and Awning Signs

JUNE 14, 2004

D. Banners

- Banners announce community events and animate streetscapes and pedestrian areas by adding color, texture and rhythm.
- Seasonal theme banners are permitted in commercial zones.
- Banners may not advertise discounts or other sale-type events.
- Banners must be fastened to: arms attached to poles erected for that purpose; lamp posts; or wall brackets on buildings. Arms and brackets must be permanently fastened and integral to the design of the post or façade they are attached to.



82

PART 1 - SIGNAGE

- Double illuminated channel letter signs: Individual channel letters are mounted off the wall either by mounting clips or pins with internal illumination projecting out and around the letter backs, as well as through the letter faces.



- Internally illuminated channel letter signs: Individual channel letters are surface mounted to the wall usually with clip angles with internal illumination projecting through translucent letter faces but not through opaque letter sides or backs.



- Edge illuminated channel letter signs: Individual channel letters are surface mounted to the wall usually with clip angles with internal illumination projecting through translucent letter edges but not through opaque letter faces or backs.



- Dimensional cut or cast letter signs: Dimensional cut or cast letters are mounted off the wall either by mounting clips or pins, with concealed illumination projecting out and around the letters.



- Sign cut from an opaque panel: Individual letters are cut from an opaque panel, with concealed illumination projecting through the letters and possibly out and around the panel as well.



2. Construction of Commercial Building Sign Types and Criteria

The following types of sign construction are permitted for Commercial Retail Signs at Coconut Point. For all sign construction types, all transformers, wiring, ballasts, connectors and labels must be concealed from view.

- Internally illuminated, reverse channel letter signs: Individual channel letters are mounted off the wall either by mounting clips or pins with internal illumination projecting out and around the letter backs.



JUNE 14, 2004

ADD 2004-00060

RECEIVED
JUN 30 2004
PERMIT COCONUT

PART 5 LIGHTING

I. INTRODUCTION

Lighting sets the tone for all of Coconut Point and serves to enhance the nocturnal atmosphere by creating delightful spaces with soft pools of light and sparkling reflections. Proper lighting not only creates enchanting, inviting spaces and experiences but also functions as an integral element of way finding systems by creating a sense of safety and well being. Outdoor lighting techniques at Coconut Point should accent architecture, entries, hardscape and plant features in the landscape. Just as the architectural design and landscape architecture will reflect a definite style and quality, the outdoor lighting effects will likewise express the distinct Mediterranean Revival character of this community. The outdoor lighting system for the project shall be well designed and coordinated. The thoughtful application of lighting techniques at Coconut Point will add value to property from a safety and security standpoint as well as provide beautiful, luminescent visual and functional effects.

09000-4007 ADD
PLANT COORDINATOR
JUN 14 2004
RECEIVED

II. GENERAL CHARACTERISTICS OF LIGHTING AT COCONUT POINT

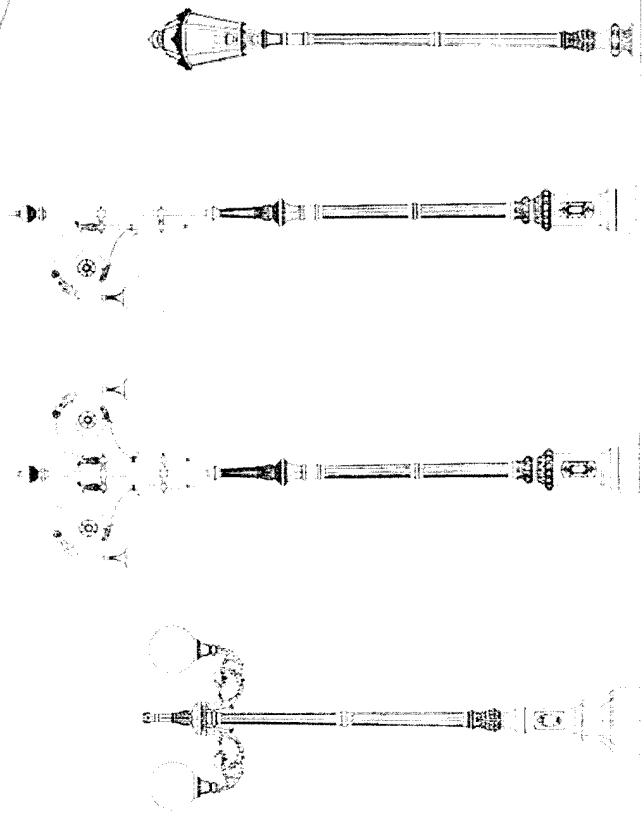
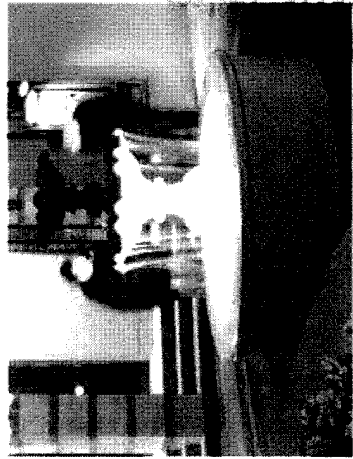
Designers should acknowledge and adhere to the following general lighting principles affecting all outdoor lighting at Coconut Point:

- Accent lighting of building facades, signage and entry drives is encouraged. Accent lighting will be indirect in character.
- Site and accent lighting shall be coordinated with the landscape design.
- Building mounted floodlights will not be permitted except for internally protected service court areas or emergency lighting.
- No lighting design or fixture shall be directed at the public right of way that would be a nuisance to abutting properties.

1. Site Lighting - Overall

Site lighting at Coconut Point sets the ambience for nighttime outdoor activities, accentuates paths and roadways, and creates overall safe conditions. The following items are important components to successful site lighting at Coconut Point:

- Parking Lots**
 - All parking lots shall be lighted utilizing a shoebox type fixture on a high pole. Fixture shall be metal halide.
 - Parking lot fixtures shall be spaced so as to provide light evenly distributed throughout the lot.
 - Parking lot light fixture design shall be consistent within each district.
- Pathways and Pedestrian Lighting**
 - A street and pedestrian lighting program has been established for all public rights-of-way as an integral part of the Coconut Point streetscape.
 - Pedestrian pole lights are to be furnished, installed, maintained and powered by an association and individual property owners.
 - Pedestrian lighting shall be mounted at a height of 12 feet to the bottom of the fixture. Fixtures may be mounted on either freestanding poles or brackets on building facades.
 - Appropriate lighting shall be provided to ensure that pathways are safe at night.

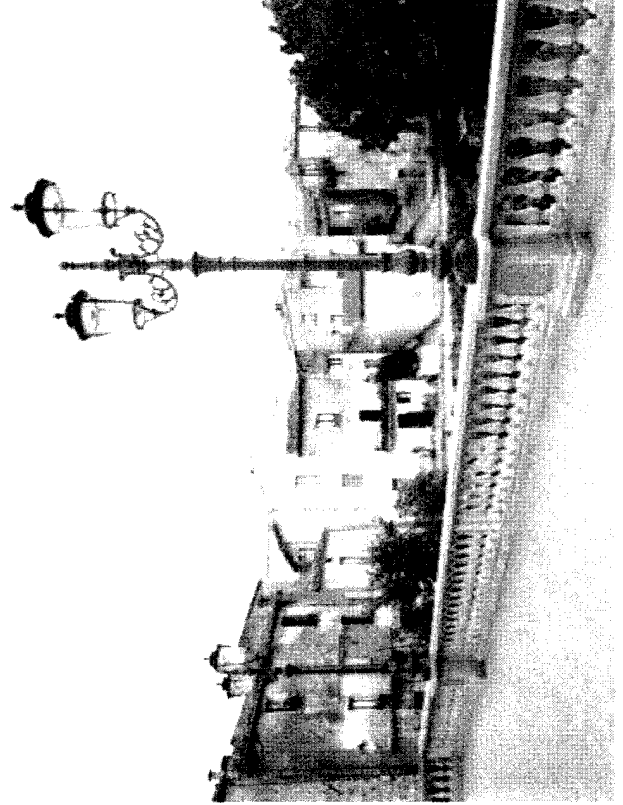
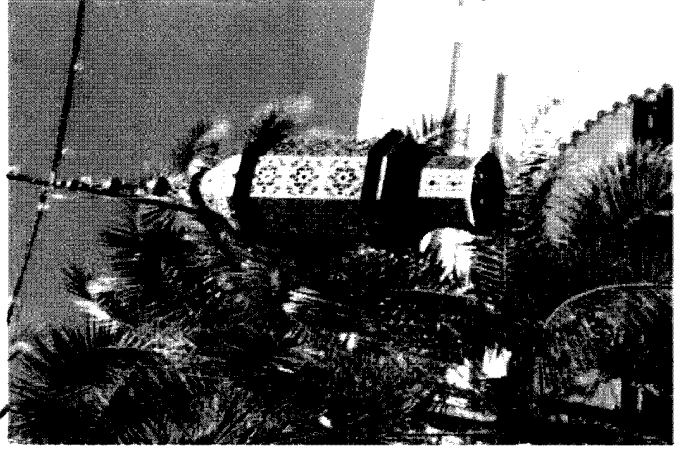
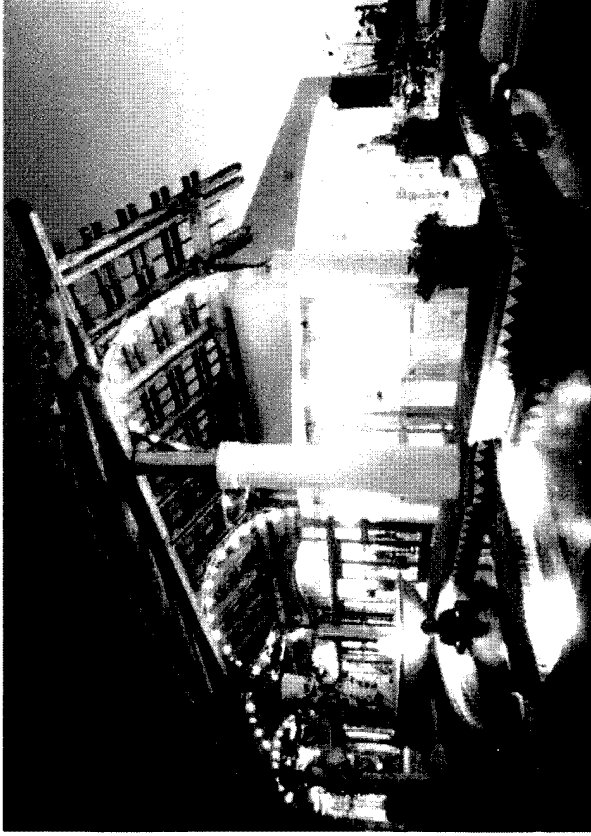


PERMITS COUNTY
 JUN 3 0 2004
 RELAY

ADD 2004-00060

2. Landscape Lighting

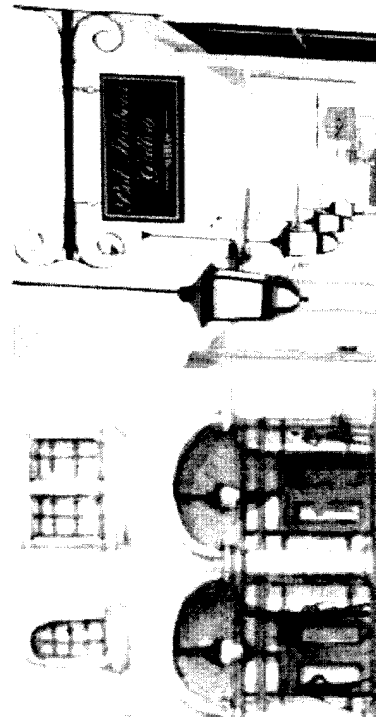
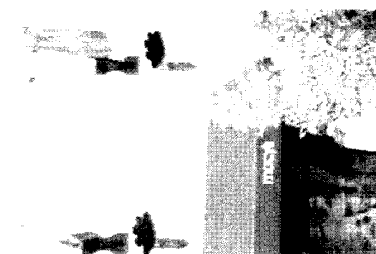
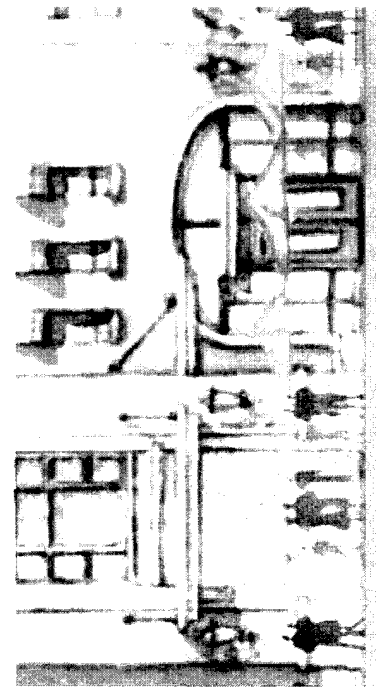
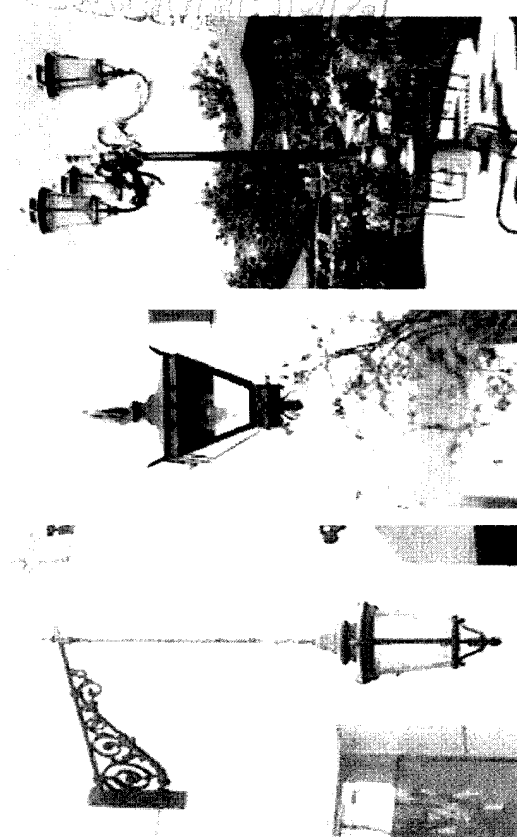
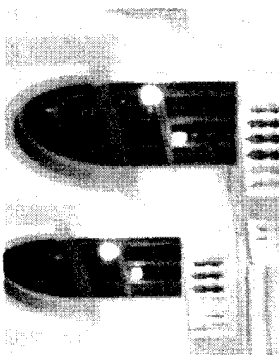
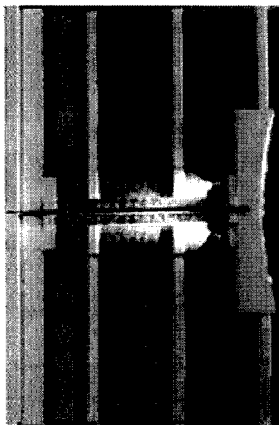
Landscape lighting plays a critical role in enhancing Coconut Point's lush greenery. The following lighting techniques are encouraged at landscaped areas, including plant groupings and special landscape features: bullet lighting on trees, canopy down lights, garden lights, decorative lanterns at tree canopies, concealed up lights, and ambient landscape lighting.



III. CHARACTERISTICS OF COMMERCIAL RETAIL LIGHTING AT COCONUT POINT

A studied application of lighting in commercial retail areas sets a tone for all of Coconut Point and serves to enliven entire districts and zones. The following items are important components to successful commercial retail lighting at Coconut Point:

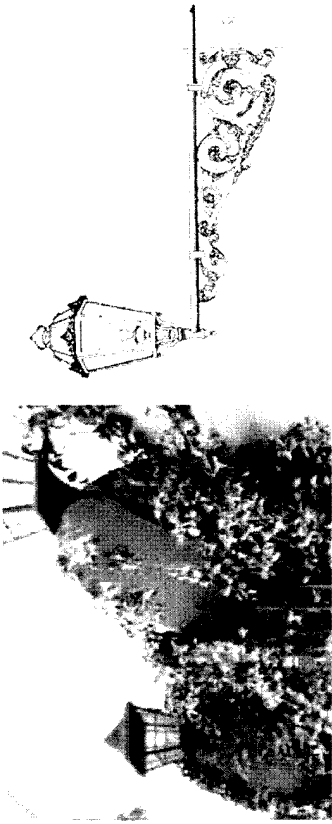
- Building lighting in the form of sconces, up lights, cove lights and ornamental fixtures can define and enhance building massing and color.
- A cohesive design language reflecting the Mediterranean Revival architectural identity of Coconut Point shall be reflected in the design of all visible building lighting elements.
- Concealed accent lights at building façades emphasize accent features and focal points such as towers and portals.
- Freestanding pole lights adjacent to building exteriors further reinforce the project design intent.
- Encouraged materials for visible building light fixtures include: wrought iron and glass, painted metal and aged metals.



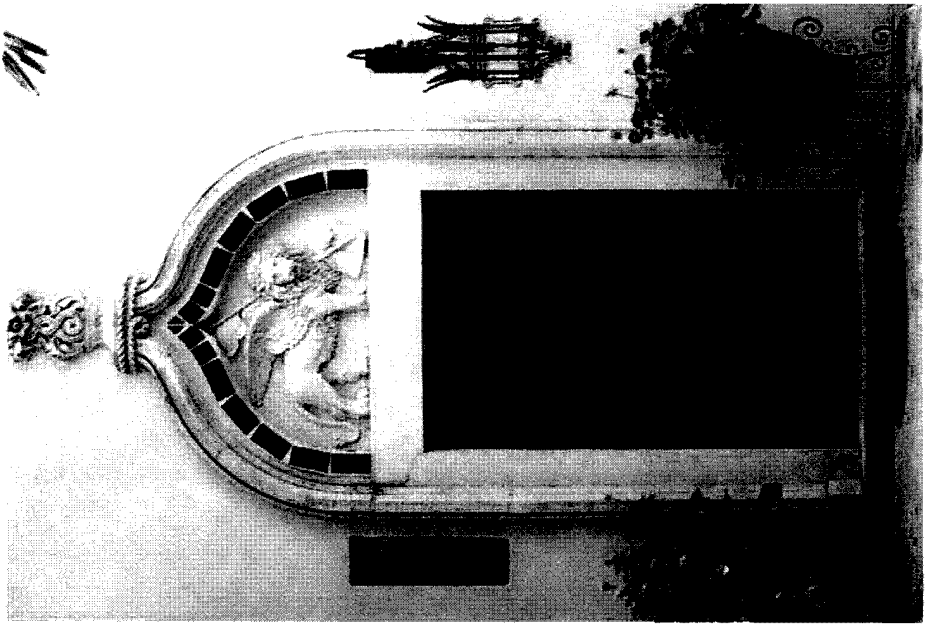
IV. CHARACTERISTICS OF RESIDENTIAL LIGHTING AT COCONUT POINT

Residential lighting creates safe neighborhoods and homes and can emphasize architectural features. DRA approval is not required for exterior residential lighting if lighting is installed in accordance with the following guidelines:

- Exterior lights shall be conservative in design and as small in size as is reasonable practical.
- Exterior lighting shall be directed toward the house and be of low wattage to minimize glare sources to neighbors and adjacent structures.
- Lighting for walkways generally must be directed toward the ground. Lighting fixtures shall be dark colored so as to be less obtrusive.
- Low voltage (12 volts) lighting is preferable to conventional house-voltage systems because of its safety advantages.
- Colored lights are prohibited, except as temporary holiday decor.



PH



ADMINISTRATIVE AMENDMENT (PD) ADD2004-00060

**ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA**

WHEREAS, Coconut Point Developers LLC, filed an application for administrative approval to a Mixed Use Planned Development on a project known as Coconut Point MPD to:

- 1. Revise the approved Master Concept Plan to change the tract layout for Area #2 with related changes to the land use table, open space calculations, internal access points, and Schedule of Uses.**
- 2. Revise the waiver and re-wording of Conditions #3, #5, and #9 of Resolution Z-02-009 granted in ADD2003-00060 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District and a temporary sales facility for the Rapallo development.**
- 3. Approval of a pedestrian circulation plan as provided for in Condition #14 of Resolution Z-02-009.**
- 4. a. Confirmation of off-street parking regulations for the development.**
b. Confirmation of parking ratios for restaurants and retail use when part of the Regional Shopping or Community Center when not part of the outparcels.
- 5. Approval of the Site Lighting Standards in accordance with Condition #18 of Resolution Z-02-009.**
- 6. Deviation from LDC Section 34-2016(2) a.2. requiring the use of parking bumpers, to eliminate this requirement where enlarged medians and green space is provided within the parking areas.**
- 7. Temporary Site Signage (already approved as part of ADD2004-00060(A)).**
- 8. Revision of the Schedule of Uses to allow the development of Bank and Financial Establishment on Tract 1D.**
- 9. Clarification of open space for residential uses above commercial uses.**
- 10. Revise Conditions 3 and 5 allowing site development work but not allowing vertical development until the Conditions are met. (Approved in ADD2003-00060 and re-stated in this action)**

The subject property is located on US 41 between Williams and Coconut Roads in Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A

WHEREAS, the property was originally rezoned in case number Z-02-009 (with subsequent amendments in case numbers DRI2000-00015; DCI2001-00005); and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the subject application has been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for to amend the existing Mixed Use Planned Development to allow the following changes is approved with conditions:

- 1. Revise the approved Master Concept Plan to change the tract layout for Area #2 with related changes to the land use table, open space calculations, internal access points, and Schedule of Uses.**
- 2. Revise the waiver and re-wording of Conditions #3, #5, and #9 of Resolution Z-02-009 granted in ADD2003-00060 to allow work to proceed on lake excavation and ground preparation and development of a building for the Estero Fire District and a temporary sales facility for the Rapallo development.**
- 3. Approval of a pedestrian circulation plan as provided for in Condition #14 of Resolution Z-02-009.**
- 4. a. Confirmation of off-street parking regulations for the development.**

- b. **Confirmation of parking ratios for restaurants and retail use when part of the Regional Shopping or Community Center when not part of the outparcels.**
- 5. **Approval of the Site Lighting Standards in accordance with Condition #18 of Resolution Z-02-009.**
- 6. **Deviation from LDC Section 34-2016(2) a.2. requiring the use of parking bumpers, to eliminate this requirement where enlarged medians and green space is provided within the parking areas.**
- 7. **Temporary Site Signage (already approved as part of ADD2004-00060(A)).**
- 8. **Revision of the Schedule of Uses to allow the development of Bank and Financial Establishment on Tract 1D.**
- 9. **Clarification of open space for residential uses above commercial uses.**
- 10. **Revise Conditions 3 and 5 allowing site development work but not allowing vertical development until the Conditions are met. (Approved in ADD2003-00060 and re-stated in this action)**

This approval is subject to the following conditions:

- 1. **Condition 1 of Resolution Z-02-009 is hereby amended to read as follows:**
 - 1. **The development of this project must be consistent with the one- page Master Concept Plan, stamped received May 24, 2004, except as modified by the conditions below. This development must comply with all requirements of the Lee County LDC at time of local Development Order Approval, except as may be granted by deviation as part of this planned development. If changes to the Master Concept Plan are subsequently pursued, appropriate approvals will be necessary.**

This includes the change to the Plan permitting the development of a Temporary Sales Facility on Tract 1C. Development of this facility must comply with the Design Review Guidelines for this project.
- 2. **Condition 3 of Resolution Z-02-009 is hereby amended to read as follows:**
 - 3. **The development of the subject property must include a regional shopping center, which incorporates a shopping center and commercial and residential tracts all developed with a common architectural theme. The entire project**

must include a common landscaping and graphic theme throughout the project. The architectural theme, landscaping and graphic design theme must be reviewed and approved by the Lee County Department of Community Development prior to the issuance of any local development order for the first local development order for vertical development of any buildings on the property. Any change from the proposed "regional mall" development will necessitate an amendment to the MPD zoning approval through the public hearing process.

The only exception to the above language is the development of a building for the Estero Fire District.

3. Condition 5 of Resolution Z-02-009 is hereby amended to read as follows:

5. This development, including the proposed regional shopping center, must incorporate a common architectural theme on all sides of all buildings that are visible from the Brooks MPD, YU.S. 41, Coconut Road, Williams Road and Sandy Lane Extension rights-of-way to ensure an equally attractive architectural elevation for all facets of the development. The common architectural theme must include streetscape landscaping and enhanced building architectural features. This condition is applicable to the entire development including any proposed outparcels within the MPD. A plan reflecting the design standards required by this condition must be submitted for review and approval by the Lee County Department of Community Development prior to the issuance of any local Development Order for the first local development order for vertical development of any buildings on for the property within the MPD.

The only exception to the above language is the development of a building for the Estero Fire District.

4. Condition 9 of Resolution Z-02-009 is hereby amended to read as follows:

9. Prior to local development order for the first local development order for vertical development of any buildings, open space must be provided as detailed in the open space table on the Master Concept plan with the condition that any residential dwelling units requiring open space per LDC§10-415(a) must provide 30 percent common open space within Tracts 1-E, 1-F, 2-B2, 3-B, and 3-D.

The only exception to the above language is the development of a building for the Estero Fire District.

5. Coupled with the approval of the changes to Condition 1 of Resolution Z-00-009 the following condition is hereby adopted:

Prior to local development order approval, the development order plans must include a detailed planting plan for the upland preservation area north of Tract 2B that provides the specifications for the native shrubs (species, size and number) to be installed prior to issuance of a Certificate of Compliance. A minimum of 500 shrubs must be planted provided this does not contradict the preserve management plan per Florida Fish and Wildlife Conservation Commission requirements of the Development of Regional Impact Development Order. The shrubs must be planted in a random manner to mimic a natural system. The shrubs must be native species tolerant of periodic flooding such as wax myrtle, myrsine, and cocoplum. Fifty percent of the shrubs must be a minimum 4-foot height, and fifty percent must be a minimum 3-gallon container size at time of installation. All shrubs must be mulched with a pine straw (3-inch layer; 24-inch radius).

6. Condition 2.a. is hereby amended to adopt a new Schedule of Uses as found in attached Exhibit A.
7. The Land Use Breakdown Table must be consistent with Note 3 on the approved Master Concept Plan in Condition 1.
8. In accordance with Condition #14 of Resolution Z-02-009, the three-page Attachment D (Sheet 1 through Sheet 3) is approved and adopted as the pedestrian circulation plan for this development.
9. The calculation of parking may be calculated as a whole for each of the proposed three (3) phases. Within each Phase as long as each Phase contains less than 600,000 square feet then parking maybe calculated at a rate of 4.5 parking spaces per thousand square feet. Included in this calculation may be restaurants and retail shops not attached to but incorporated in the individual Phase.

Excluded from this provision are all areas identified as "outlots", depicted in Attachment E. These must be developed with sufficient parking to support the use located in these outlots.

10. Deviation seeking relief from LDC Section 34-625(d)(4)a. which requires a maximum height of 25 feet for light poles for parking lots and vehicular use areas; to allow 30 feet. This deviation is **APPROVED**.
11. Deviation seeking relief from LDC Section 34-2016(2)a.2 which requires the use of parking pumpers in parking lots; to eliminate this requirement subject to use of landscape medians in the parking areas. This deviation is **APPROVED** subject to the condition that the parking lots are designed with landscaped medians substantially consistent with attached plan noted as Attachment J, "Proposed Project Parking/Landscaping Plan".

12. As a clarification of the original approval, if residential uses are proposed within buildings with commercial uses on the ground floor, the open space requirement is 30%.
13. Deviation seeking relief from LDC Section 10-329(d)(4) which requires slopes along the banks of excavation, to allow the use of bulkheads as delineated on the Plan noted as Attachment O, Bulkhead Exhibit. This deviation is APPROVED subject to the following condition:

If bulkheads are utilized in the final site design, then the Paving and Grading, and Landscape Plans must delineate the location of the bulkheads in substantial compliance with the attached Bulkhead Exhibit (attached hereto). The design of the lake adjacent to the bulkheads must include a compensatory littoral zone with a 4:1 slope with a 5-foot littoral shelf equivalent to the linear footage of the bulkhead along the bulkhead, or an alternative compensatory littoral zone reviewed and approved by the Division of Environmental Sciences. The littoral planting requirements within any lake utilizing bulkheads must be calculated as two (2) herbaceous littoral plants per linear foot of shoreline for the lakes delineated on the Bulkhead Planting Exhibit (attached hereto), and the placement of the littoral vegetation must be concentrated within the compensatory littoral zone. Native wetland trees and/or shrubs may be used to meet the littoral planting requirement with one 7-gallon tree or two 3-gallon shrubs credited as 10 herbaceous littoral plants.

14. In accordance with Conditions 3 and 5 of Resolution Z-02-009, the submitted Design Review Guidelines are conceptually approved. All vertical development and signage must be consistent with these guidelines and the Lee County Land Development Code.

DULY SIGNED this 11th day of June, A.D., 2004.

BY: 

Pam Houck, Director
Division of Zoning
Department of Community Development

EXHIBIT A

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 1 OF 3

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY, AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE CONTINUE S.88°56'17"W., ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 1,733.04 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN N.10°32'05"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 971.33 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5,605.39 FEET, THROUGH A CENTRAL ANGLE OF 04°03'11", SUBTENDED BY A CHORD OF 396.43 FEET AT A BEARING OF N.08°30'30"W., FOR A DISTANCE OF 396.52 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°07'51"E. FOR A DISTANCE OF 747.22 FEET TO A POINT ON A CIRCULAR CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS N.82°31'42"E., A DISTANCE OF 3,909.60 FEET THEREFROM; THENCE RUN NORTHERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,909.60 FEET, THROUGH A CENTRAL ANGLE OF 08°29'31", SUBTENDED BY A CHORD OF 578.92 FEET AT A BEARING OF N.03°13'32"W., FOR A DISTANCE OF 579.45 FEET TO THE END OF SAID CURVE; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 583.09 FEET; THENCE RUN N.00°15'56"W., FOR A DISTANCE OF 47.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY, THE SAME BEING A POINT ON A CIRCULAR CURVE, CONCAVE NORTHERLY, WHOSE RADIUS POINT BEARS N.10°26'58"W., A DISTANCE OF 2,025.00 FEET THEREFROM; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°12'27", SUBTENDED BY A CHORD OF 325.07 FEET AT A BEARING OF N.74°56'48"E., FOR A DISTANCE OF 325.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.70°20'35"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,025.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 487.89 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 488.42 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 238.23 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN S.00°59'47"E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,869.10 FEET TO THE POINT OF BEGINNING; CONTAINING 95.885 ACRES, MORE OR LESS.

AND

A PORTION OF SECTIONS 3, 4, 9, AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE RUN S.88°56'17"W., ALONG THE SOUTH LINE OF THE

SOUTHEAST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 5.89 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A 130.00 FOOT RIGHT-OF-WAY; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 3,021.15 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,320.56 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°59'47"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,692.32 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN N.00°56'59"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,590.78 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN NORTHERLY, ALONG SAID WESTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 5,641.38 FEET, THROUGH A CENTRAL ANGLE OF 09°31'27", SUBTENDED BY A CHORD OF 936.68 FEET AT A BEARING OF N.05°42'42"W., FOR A DISTANCE OF 937.76 FEET TO THE END OF SAID CURVE; THENCE RUN N.10°28'26"W., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 98.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WILLIAMS ROAD, A 100.00 FOOT RIGHT-OF-WAY; THENCE RUN S.88°20'53"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,029.70 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN WESTERLY, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 7,050.00 FEET, THROUGH A CENTRAL ANGLE OF 03°00'00", SUBTENDED BY A CHORD OF 369.09 FEET AT A BEARING OF S.89°50'53"W., FOR A DISTANCE OF 369.14 FEET TO THE END OF SAID CURVE; THENCE RUN N.88°39'07"W., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 674.92 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HWY. NO. 41 (FLORIDA STATE ROAD NO. 45), A 200.00 FOOT RIGHT-OF-WAY; THENCE RUN S.04°52'41"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 1,901.57 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE EASTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 2,725.19 FEET, THROUGH A CENTRAL ANGLE OF 11°32'50", SUBTENDED BY A CHORD OF 548.30 FEET AT A BEARING OF S.00°53'44"E., FOR A DISTANCE OF 549.23 FEET TO THE END OF SAID CURVE; THENCE RUN S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR A DISTANCE OF 225.81 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 2,710.61 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE CONTINUE S.06°40'09"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 626.03 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE WESTERLY; THENCE RUN SOUTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 11,584.73 FEET, THROUGH A CENTRAL ANGLE OF 06°24'13", SUBTENDED BY A CHORD OF 1,294.08 FEET AT A BEARING OF S.03°28'03"E., FOR A DISTANCE OF 1,294.76 FEET TO THE END OF SAID CURVE; THENCE RUN S.00°15'56"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 274.74 FEET; THENCE RUN S.46°02'16"E., FOR A DISTANCE OF 577.44 FEET; THENCE RUN S.01°57'26"E. FOR A DISTANCE OF 25.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, A 150.00 FOOT RIGHT-OF-WAY; THENCE RUN N.88°02'34"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 32.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE NORTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1,875.00 FEET, THROUGH A CENTRAL ANGLE OF 17°41'59", SUBTENDED BY A CHORD OF 576.92 FEET AT A BEARING OF N.79°11'34"E., FOR A DISTANCE OF 579.22 FEET TO THE END OF SAID

HM PROJECT #1997079

1/17/01

REF. DWG. #A-994-2

PAGE 3 OF **X3**

CURVE; THENCE RUN N.70°20'35"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE, CONCAVE SOUTHERLY; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 3,175.00 FEET, THROUGH A CENTRAL ANGLE OF 09°15'04", SUBTENDED BY A CHORD OF 512.09 FEET AT A BEARING OF N.74°58'07"E., FOR A DISTANCE OF 512.65 FEET TO THE END OF SAID CURVE; THENCE RUN N.79°35'39"E., ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 263.08 FEET TO THE POINT OF BEGINNING; CONTAINING 386.536 ACRES, MORE OR LESS.

NOTES:

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS OR RESTRICTIONS OF RECORD.

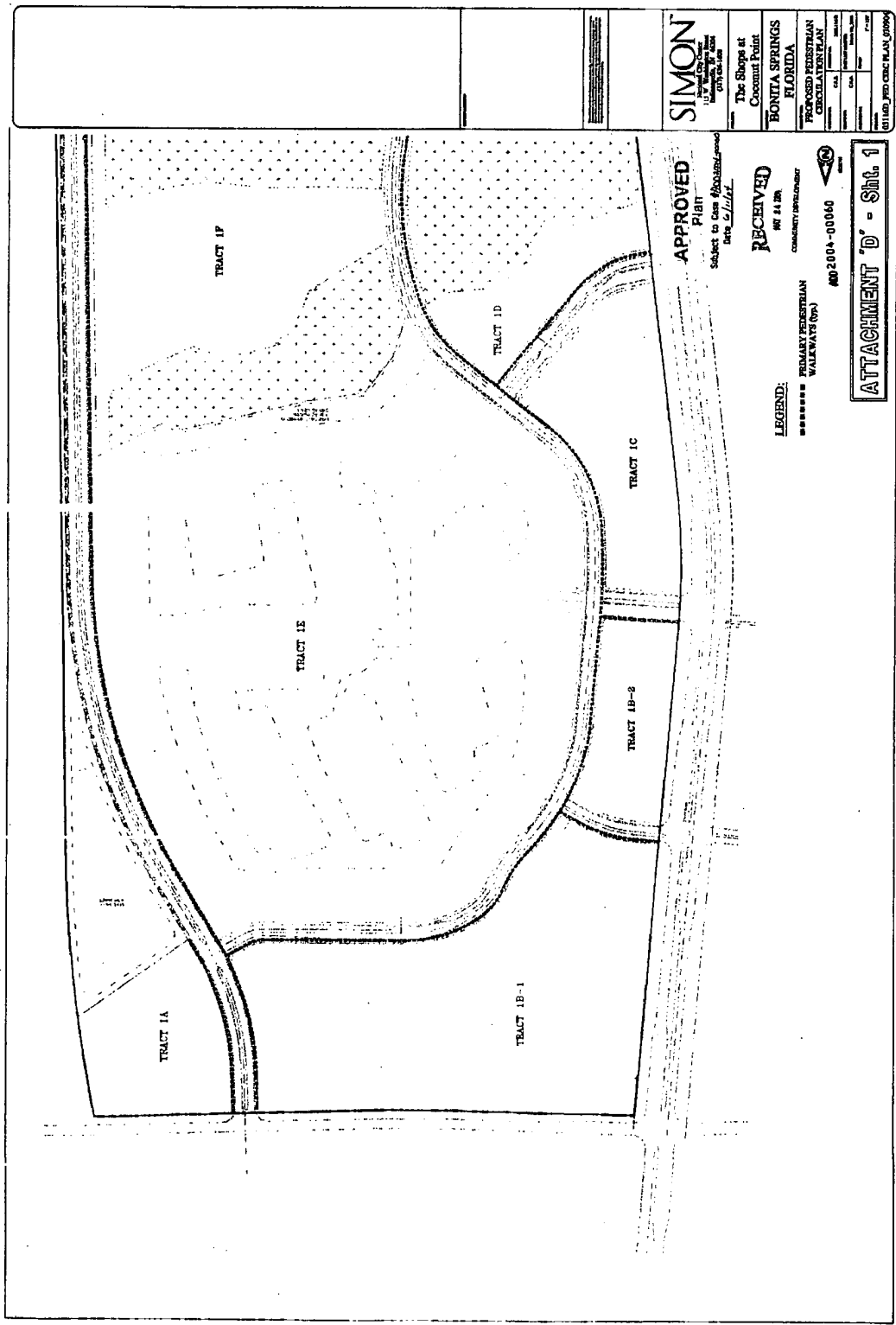
TOTAL PROPERTY AREA: 482.421 ACRES, MORE OR LESS.

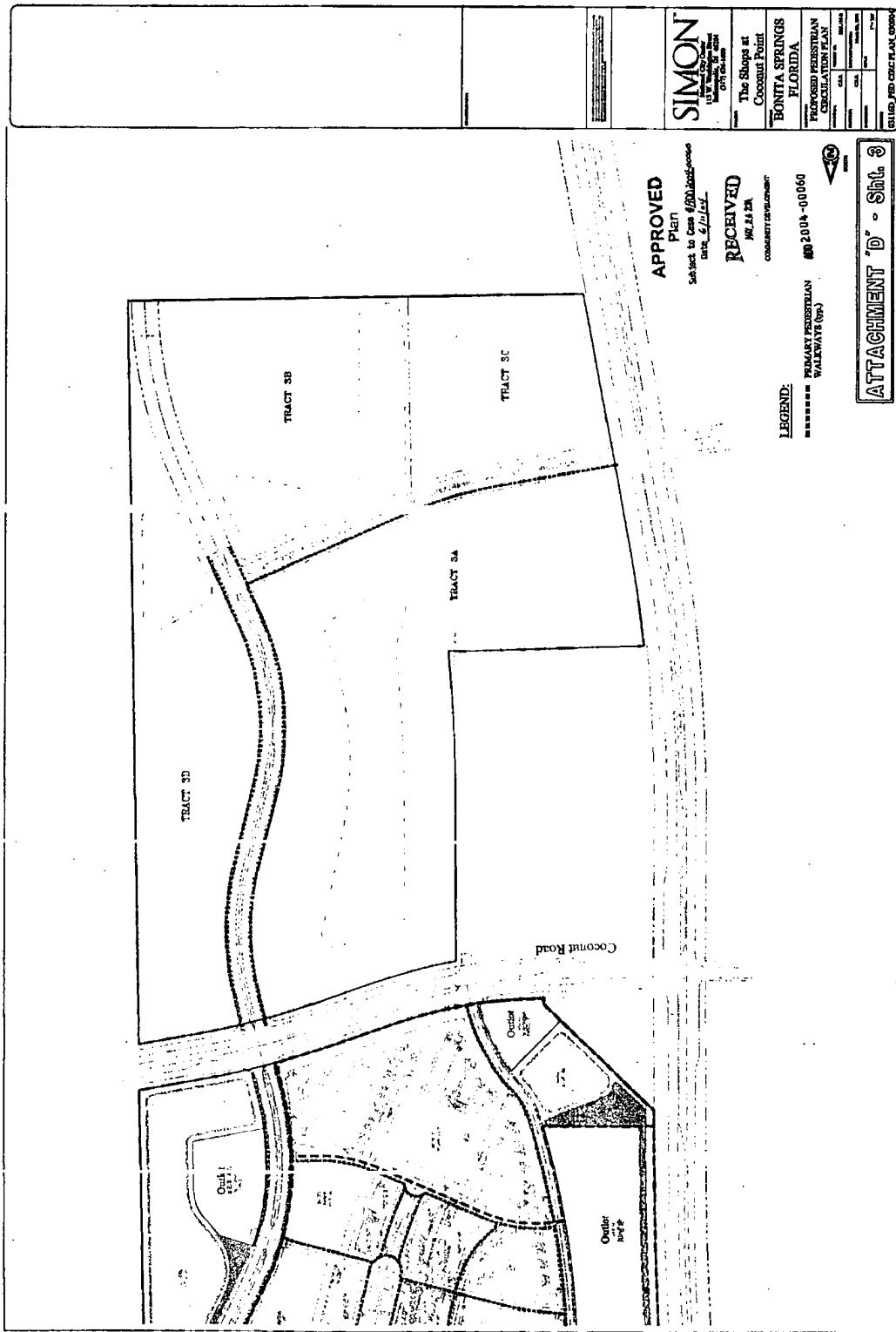
INFORMATION RELATING TO BOUNDARY DATA OF SECTIONS 3, 4, 9 AND 10, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, TOGETHER WITH THE LOCATION OF THE US HIGHWAY #41 RIGHT-OF-WAY, WAS OBTAINED FROM A SURVEY OF THE SWEETWATER RANCH PREPARED BY DENI ASSOCIATES HAVING ORDER NUMBER 8409031, DATED 9/14/84. INFORMATION RELATING TO THE LOCATION OF COCONUT ROAD AND ADJOINING EXCEPTED PARCELS WAS OBTAINED FROM PROPERTY DESCRIPTIONS PROVIDED BY CLIENT.

BEARINGS REFER TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AS BEING S.88°56'17"W.

Applicant's Legal Checked

by MM 01 APRIL 04





SIMON 11111111111111111111 CITY OF MIAMI	
The Shops at Coconut Point	
BONITA SPRINGS FLORIDA	
PROPOSED PEDESTRIAN CIRCULATION PLAN	
DATE	4/11/04
BY	11111111111111111111
CHECKED	11111111111111111111
DATE	4/11/04
CITY OF MIAMI COMMUNITY DEVELOPMENT	

APPROVED

APPROVED
Plan


plan

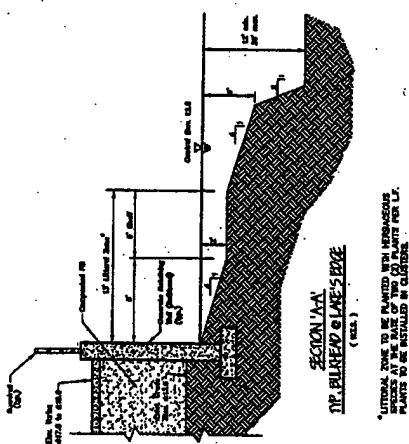
Subject to Case # ADD 2007-00060

Date 6/11/07

Rea. No.: Z-02-009
Approved Date: 21st October 2002
Case No.: D62000-00015 &
D62001-00005
State DBI No.: 09-2001-153

NOTE:
TOTAL LENGTH OF LAKE SHORELINE: 42,035 lin. ft.
TOTAL LENGTH OF CONCRETE BULKHEAD: ±575 lin. ft.
LENGTH of BULKHEAD / LENGTH of LAKE SHORELINE: 20.35

 Lakes Requiring
2 herbaceous
plants per
linear foot
per condition



SECTION 'A-A'
TOP, BULKHEAD @ LAKE'S EDGE
(W.L.S.)

*LITTORAL ZONE TO BE PLANTED WITH HERBACEOUS SPECIES AT THE RATE OF TWO (2) PLANTS PER L.F. PLANTS TO BE INSTALLED IN CLUSTERS.

COCONUT POINT M.P.D.
BULKHEAD DETAILS



HOLE MONTES
SOLING-SPORTS-GEMISSE
VERMIEDIGUNG

6202-F Presidential Court
Fort Myers, FL 33919
Phone: (813) 585-1200
Professional Registration No. 1772
Naples • Fort Myers • Venice • Englewood

Exhibit 'O'	03.116-B.1-1
-------------	--------------