

ADMINISTRATIVE AMENDMENT
LEE COUNTY, FLORIDA

WHEREAS, Coconut Point Ford filed an application for an administrative amendment for a Commercial Planned Development (CPD) known as Estero Greens on a project known as Tamiami Trail Dealership to amend the Special Buffering required by Condition 4 of Resolution Number Z-97-050 on property located at 22600-604 Tamiami Trail, Estero, described more particularly as:

LEGAL DESCRIPTION: In Section 04, Township 47 South, Range 25 East, Lee County, Florida:

See attached Exhibit A.

WHEREAS, the current STRAP number for the subject property is 04-47-25-00-00001.002G; and

WHEREAS, the property was originally rezoned by Resolution Number Z-97-050 (Case No. 97-04-065.03Z01.01) with subsequent amendments in case number ADD2001-00179, DOS2000-00077, LDO2000-00350, ADM2000-00003, DOS2001-00107, ADM2001-00016, and LDO2007-00461; and

WHEREAS, the subject property is located in the Suburban Future Land Use Category as designated by the Lee Plan; and

WHEREAS, the Lee County Land Development Code provides for certain administrative changes to planned development master concept plans and planned unit development final development plans; and

WHEREAS, the applicant seeks to amend the Special Buffering required by Condition 4 of Resolution Number Z-97-050 as it applies to the western boundary of the subject property; and

WHEREAS, Condition 4 states:

Special Buffering

- a. The developer must provide a 75-foot-wide indigenous preserve buffer along the length of the entire western property boundary (east of the 10-foot-wide drainage easement). In addition, the developer must provide an 8-foot-high fence (not a wall) or a 6-foot-high fence on a 2-foot-high berm within the westerly 10-foot-wide drainage easement. Additional tree plantings must be provided on the east side of the fence within 20 feet of said fence. These tree plantings must be South Florida slash pines no less than 10 feet tall with a three-inch caliper measured at three feet above the ground. A minimum of eight trees per 100 foot buffer segment are required.

- b. The developer must remove invasive exotic vegetation from the special buffering area and provide the fence and additional plantings as part of the first phase of any construction on site.

WHEREAS, the required buffer width remains unchanged with the proposed amendment; and

WHEREAS, an opaque pre-cast 8 foot wall was installed in lieu of a transparent fence as required by Z-97-050 in order to enhance the buffer between the residential and commercial uses; and

WHEREAS, the amended buffer includes 44 cabbage palms installed at varying specs in addition to a double hedge row and 8 trees per 100 linear feet, as required by Z-97-050, on the east side of the wall and 13 red maple trees planted on the west side of the wall; and

WHEREAS, a continuous hedge of Areca Palms have been planted on the west side of the fence within the buffer and have matured to an average height of 12 feet; and

WHEREAS, the Areca palms and Red Maples on the west side of the wall shall be maintained in perpetuity by the property owner; and

WHEREAS, the amended buffer abuts residentially zoned property developed as The Manors at Fountain Lakes and Fountain Lakes; and

WHEREAS, the applicant has obtained signed, notarized letters from The Manors at Fountain Lakes Condominium Association and the Fountain Lakes Community Association supporting the amended buffer (see Letters of Support, attachment B); and

WHEREAS, the Estero Design Review Committee (EDRC) and the Estero Community Planning Panel (ECP) support of the amended buffer (see EDRC and ECP meeting minutes, attachment C); and

WHEREAS, Environmental Sciences staff reviewed the proposed administrative amendment and recommended the amended buffer be approved with conditions submitted in their Staff Report dated June 6, 2008 (see ES Staff Report, attachment D); and

WHEREAS, the proposed buffer, as conditioned, exceeds the buffer requirements of Condition 4 of Resolution Z-97-050 and the Lee County Land Development Code for buffering and screening; and

WHEREAS, the subject application and plans have been reviewed by the Lee County Department of Community Development in accordance with applicable regulations for compliance with all terms of the administrative approval procedures; and

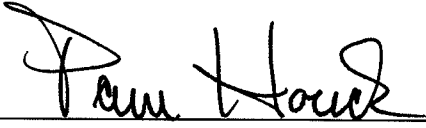
WHEREAS, it is found that the proposed amendment does not increase density or intensity within the development; does not decrease buffers or open space required by the LDC; does not underutilize public resources or infrastructure; does not reduce total open

space, buffering, landscaping or preservation areas; and does not otherwise adversely impact on surrounding land uses.

NOW, THEREFORE, IT IS HEREBY DETERMINED that the application for administrative approval for an amendment to Commercial Planned Development is **APPROVED**, subject to the following conditions:

1. Prior to local development order approval, the landscape plans must indicate the modification of the landscaping buffer along the west property line. Development of the buffer must be in compliance with the four-page landscape plan entitled Tamiami Trail Dealership stamped ADD2008-00029 and stamped received May 5, 2008 (see attachment A).
2. Prior to local development order approval, the 44 cabbage palms must be installed at staggered heights of 12' - 20' clear trunk on the east side of the wall within the western buffer.
3. The amended Special Buffer applies only to the subject property, Condition 4 shall remain in effect for all additional development that is subject to Z-97-050.
4. The Areca palms and Red Maples on the west side of the buffer wall shall be maintained in perpetuity by the property owner.
5. The terms and conditions of the original zoning resolutions remain in full force and effect.

DULY SIGNED this 9th day of June, A.D., 2008.

BY: 
Pam Houck, Director
Division of Zoning
Department of Community Development

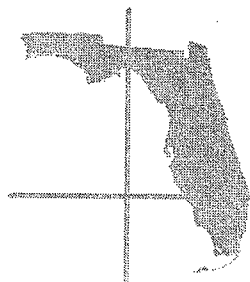
Attachments:

- A - Tamiami Trail Dealership - four page landscape plan
- B - Letters of Support - Manors at Fountain Lakes Condominium Association
Fountain Lakes Community Association, Inc.
- C - EDRC April 9, 2008 Meeting Minutes
ECPP April 21, 2008 Meeting Minutes
- D - Division of Environmental Sciences Staff Report dated June 6, 2008

Exhibits:

- A - Legal Description

EXHIBIT A



METRON
SURVEYING & MAPPING, LLC
LAND SURVEYORS • PLANNERS

LEGAL DESCRIPTION
OF A PARCEL OF LAND LYING IN
SECTION 04, TOWNSHIP 47 SOUTH, RANGE 25 EAST,
LEE COUNTY, FLORIDA

A TRACT OR PARCEL SITUATED IN THE STATE OF FLORIDA, COUNTY OF LEE, LYING IN SECTION 04, TOWNSHIP 47 SOUTH, RANGE 25 EAST, BEING ALL OF THE PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 3583, PAGE 2694 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:


COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 04, RUN NORTH 88°25'47" EAST (BASIS OF BEARINGS) ALONG THE EAST-WEST QUARTER SECTION LINE FOR 118.32 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF U.S. 41 (TAMIAMI TRAIL, S.R. 45, 200 FEET WIDE); THENCE RUN SOUTH 06°41'21" EAST ALONG SAID RIGHT OF WAY LINE FOR 95.11 FEET TO THE **POINT OF BEGINNING**; THENCE CONTINUE SOUTH 06°41'21" EAST ALONG SAID RIGHT OF WAY LINE FOR 348.48 FEET; THENCE RUN SOUTH 83°18'39" WEST ALONG A LINE COMMON WITH A TRACT OR PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1775 AT PAGE 2026 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA FOR 500.00 FEET; THENCE RUN NORTH 06°41'21" WEST ALONG SAID COMMON LINE FOR 348.48 FEET; THENCE RUN NORTH 83°18'39" EAST FOR 500.00 FEET TO SAID RIGHT OF WAY LINE AND THE **POINT OF BEGINNING**.

CONTAINING 4.00 ACRES, MORE OR LESS.


SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY (RECORDED AND UNRECORDED, WRITTEN AND UNWRITTEN)

BEARINGS ARE BASED ON THE EAST-WEST QUARTER SECTION LINE OF SAID SECTION 04 AS BEARING N.88°25'47"E.

METRON SURVEYING & MAPPING, LLC
FLORIDA CERTIFICATE OF AUTHORIZATION LB# 7071


3/6/08
DENIS J. O'CONNELL, JR.
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 5430

ADD 2008-00029

Applicant's Legal Checked
by  5/6/08

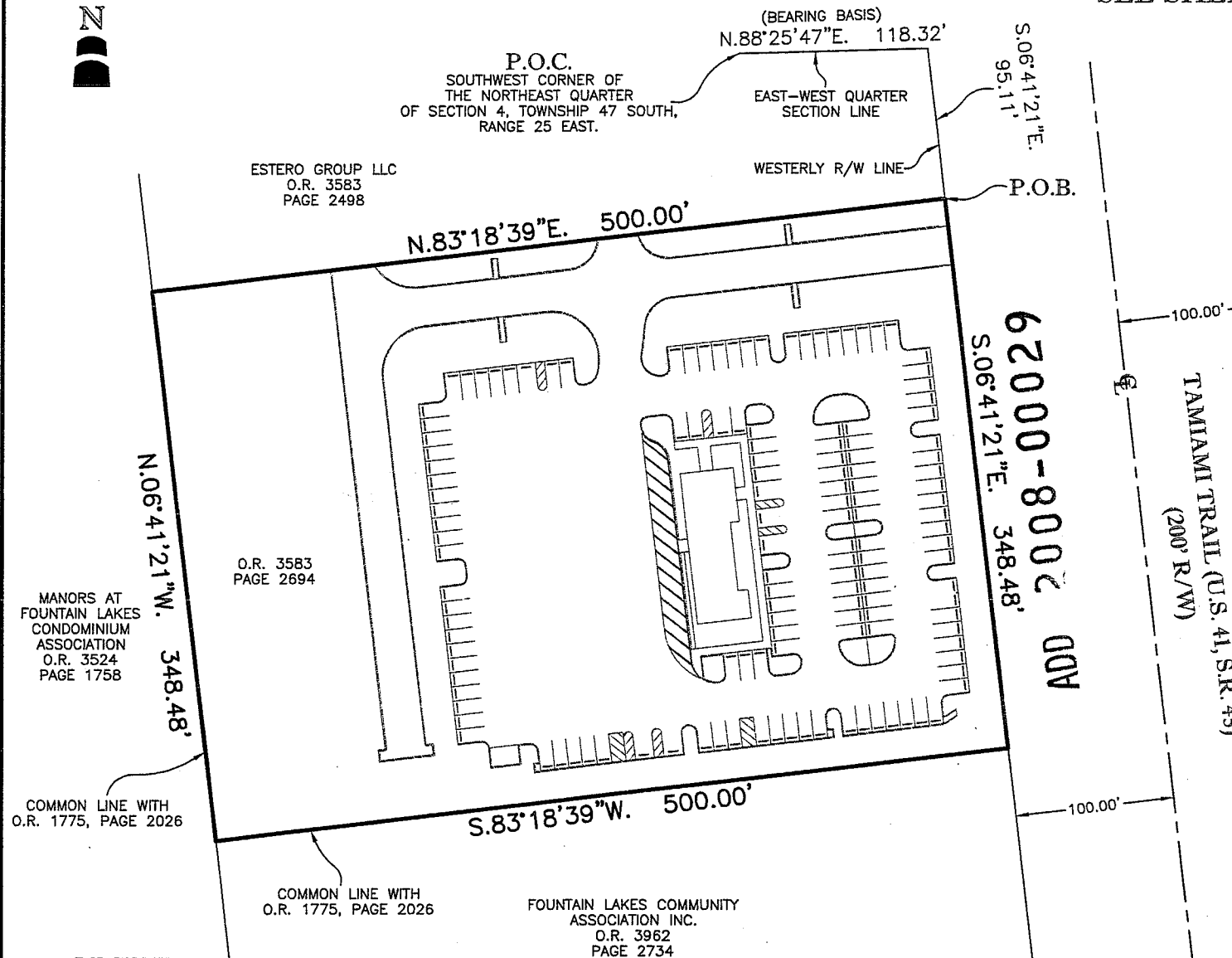
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MAY 05 2008

SHEET 1 OF 2

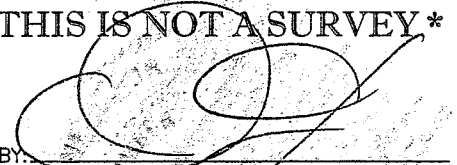
PERMIT COUNTER

SKETCH TO ACCOMPANY DESCRIPTION

* SEE SHEET 1 OF 2 FOR LEGAL DESCRIPTION *



* THIS IS NOT A SURVEY *

BY: 
DENIS J. O'CONNELL, JR.
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. LS# 5430

DATE SIGNED: 3/6/08

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TAMIAMI DEALERSHIP

TITLE: **SKETCH OF DESCRIPTION**



METRON
SURVEYING & MAPPING, LLC
LAND SURVEYORS-PLANNERS
LB# 7071


10970 S. CLEVELAND AVENUE
SUITE 605
FORT MYERS, FLORIDA 33907
PHONE: (239) 275-8575
FAX: (239) 275-8457

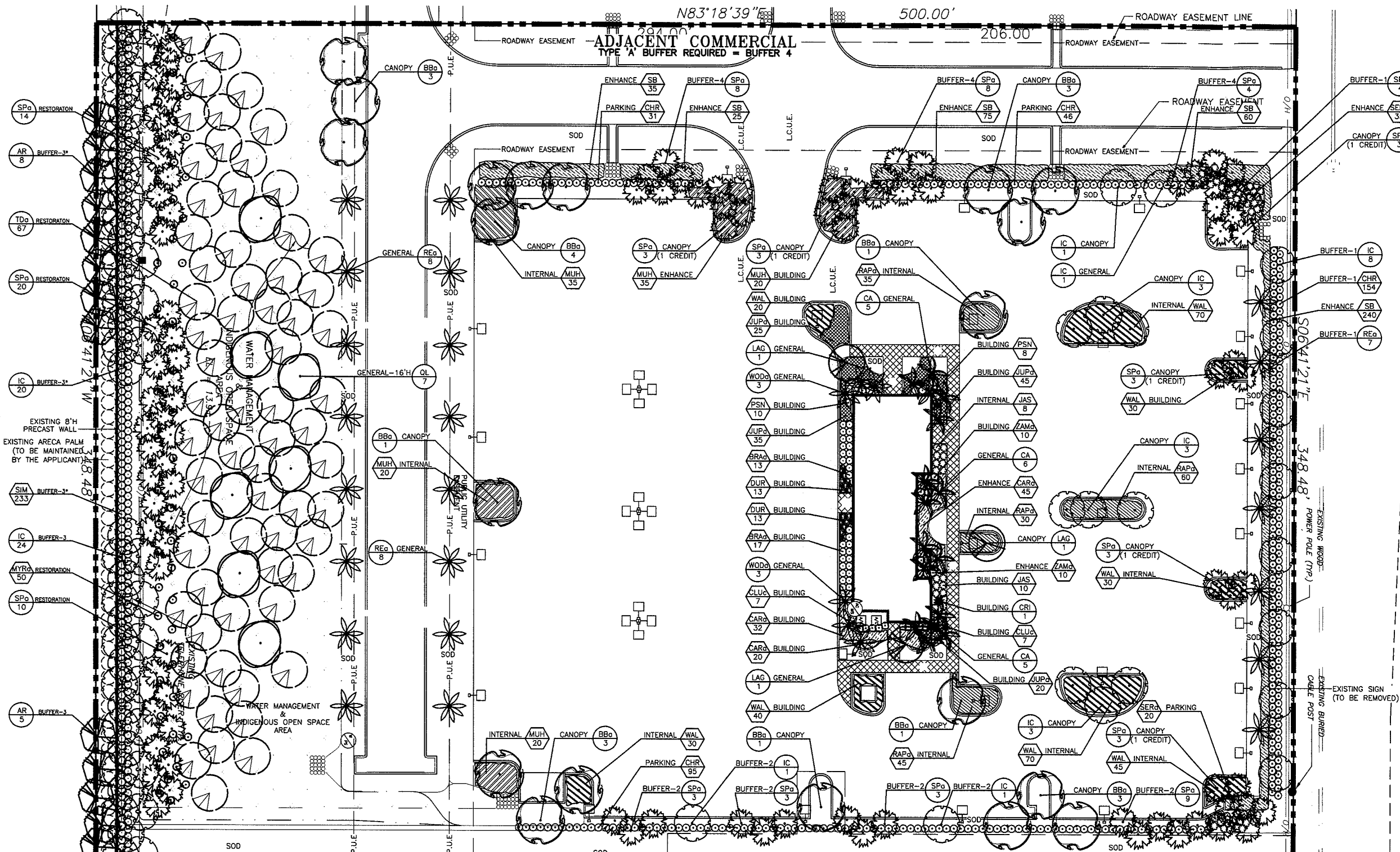
www.metronfl.com

FILE NAME: 10402 OVERALL SK.dwg	FIELD BOOK/PAGE: N/A	PROJECT NO.: 10402	SHEET: 2 OF 2
SKETCH DATE: 3-6-2008	DRAWN BY: DESII	SCALE: 1" = 100'	CHECKED BY: DJO
			(S-T-R) 4-47-25

LEGEND:

INST = INSTRUMENT
O.R. = OFFICIAL RECORD BOOK
P.B. = PLAT BOOK
PG. = PAGE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
R/W = RIGHT-OF-WAY

Applicant's Legal Checked
by  5/6/08



REQUIRED BUFFERZONES:
A CONTINUOUS HEDGE BUFFER IS REQUIRED ALONG ALL PARKING OF THIS PROJECT WITH RESPECT TO THE REQUIREMENTS SET FORTH BY THE REQUIRED ZONING RESOLUTION. ALL PARKING AREAS FACING ADJACENT PROPERTIES HAVE BEEN BUFFERED WITH THE REQUIRED HEDGE.
APPLICANT SHALL MAINTAIN THE MODIFIED TYPE F BUFFER ALONG THE ADJACENT RESIDENTIAL PROPERTY TO THE MINIMUM HEDGE OF NOT LESS THAN 10 FEET (10') IN PERPETUITY.

REQUIRED INTERNAL LANDSCAPE IMPROVEMENTS:
INTERNAL LANDSCAPING CONSISTENT WITH THE REQUIREMENTS OF THE LDC HAVE BEEN PROVIDED AND ARE DESCRIBED IN THE ATTACHED LANDSCAPE PLAN. IN SOME CASES (AS DELINEATED ON THE DRAWINGS), 3 CABBAGE PALMS HAVE BEEN USED TO MEET THE REQUIREMENTS OF ONE CANOPY TREE.

REQUIRED GENERAL TREES:
GENERAL TREES CONSISTENT WITH THE REQUIREMENTS OF THE LDC ARE PROVIDED.
THE APPLICANT HAS CHOSEN TO APPLY THE 2:1 GENERAL TREE CREDIT FOR THE USE OF 16" TREES IN LIEU OF THE 10" TREES REQUIRED. SEVEN (7) 16" LAUREL OAKS HAVE BEEN PROPOSED TO OFFSET 14 GENERAL TREES REQUIRED.

REQUIRED BUILDING PERMITTER LANDSCAPING:
BUILDING PERMITTER LANDSCAPING CONSISTENT WITH THE REQUIREMENTS OF THE LDC ARE PROVIDED.

ESTERO OVERLAY REQUIREMENTS (EDRC):
THESE PLANS HAVE BEEN ORIGINALLY PREPARED PRIOR TO THE ADOPTION OF THE ESTERO OVERLAY. HOWEVER, HAD BEEN DESIGNED TO MEET THE INTENT THEREIN OUTLINED. FORMAL PUBLIC PRESENTATION NOT REQUIRED.

MITIGATION REQUIREMENTS (SEE ADDITIONAL NOTES):
THE BALD CYPRESS TREES (TID), LAUREL OAK TREES (LO), AND THE MAX WYTHLEAFS (WYLO) ARE TO BE PLACED IN A MANNER THAT WILL PROVIDE THE LEAST IMPACT TO THE EXISTING GROWTH IN THE AREA. THE PLANTING OF THESE TREES IS FEASIBLE TO FACILITATE THE BEST GROWTH.
(SEE SHEET LC-2 FOR ADDITIONAL NOTES)

IN ACCORDANCE WITH THE ZONING AMENDMENT FOR THE PROJECT, THE BY-PRODUCT WALL RUNNINGS ALONG THE ADJACENT LOT SHALL BE MAINTAINED IN PERPETUITY BY THE APPLICANT/OWNER.

THE CONTIGUOUS HEDGE OF ARECA PALMS AND RED MAPLES ILLUSTRATED ON THE RESIDENTIAL SIDE OF THE LOT SHALL BE MAINTAINED IN PERPETUITY BY THE APPLICANT/OWNER.

THE BUTTERNUTS AS ILLUSTRATED ON THE DEVELOPMENT SIDE THE WALL SHALL HAVE THE HEDGE MAINTAINED IN PERPETUITY BY THE APPLICANT/OWNER. ALSO ALIGNING WITH THE DAHOOM HILLS IN A NATURAL STATE MAINTAINED IN PERPETUITY BY THE APPLICANT/OWNER.

RESTORATION:

IN ACCORDANCE WITH LITIGATING FACTORS ENCOUNTERED DURING CONSTRUCTION (LOSS OF PRESERVED TREES), THE FOLLOWING MINIMUM REMEDIATION PROGRAM FOR THE PROJECT, THE FOLLOWING TREES MUST BE MAINTAINED IN PERPETUITY BY THE APPLICANT/OWNER WITHIN THE NOTED RESTORATION:

1. ONE SEVEN (07) BALD CYPRESS AS ILLUSTRATED ON THE DRAWINGS.
2. TWO (02) FORTY-FOUR (44) ARECA PALMS AS ILLUSTRATED ON THE DRAWINGS.
3. THREE (03) BUTTERNUTS AS ILLUSTRATED ON THE DRAWINGS.
4. FIVE (05) MAG WATTLE AS ILLUSTRATED ON THE DRAWINGS.
5. ONE (01) LAUREL GUM AS ILLUSTRATED ON THE DRAWINGS.

IN ACCORDANCE WITH MITIGATING FACTORS ENCOUNTERED DURING CONSTRUCTION (LOSS OF PRESERVED PINES) AND THE ZONING AMENDMENT FOR THE PROJECT, THE FOLLOWING ITEMS MUST BE MAINTAINED IN PERPETUITY BY THE APPLICANT/OWNER WITHIN THE NOTED PRESERVE:

1. THE SIXTY-SEVEN (67) BALD CYPRESS AS ILLUSTRATED ON THE DRAWINGS.
2. THE FORTY-FOUR (44) CABBAGE PALMS AS ILLUSTRATED ON THE DRAWINGS.
3. THE FIFTY (50) WAX MYRTLE AS ILLUSTRATED ON THE DRAWINGS.
4. THE SEVEN (7) LAUREL OAKS (GENERAL TREES) AS ILLUSTRATED ON THE DRAWINGS.

PLANT MATERIAL:

SEE PLANT SCHEDULE ON DETAILS SHEET THIS SUBMITAL, AND WORK OF THESE DOCUMENTS.

SPECIAL CONSIDERATIONS

1. ALL TREES PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A MINIMUM 10", 2" CAL.
2. ALL TREES PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A MINIMUM 24", PLANTED AT A MAXIMUM OF 3'00" AT TIME OF PLANTING.
3. ALL SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A MINIMUM 24", PLANTED AT A MAXIMUM OF 3'00" AT TIME OF PLANTING.
4. ALL SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC BLDG. PERIMETER LANDSCAPE AREA REQUIREMENTS SHALL INCLUDE NOT MORE THAN 10% OF THE AREA TO BE PLANTED TO BE PLANTED IN SOIL AND SHALL INCLUDE A MIXTURE OF SHRUBS AND GROUND COVERS.
5. NOT LESS THAN 75% OF THE REQUIRED TREES AND 50% OF THE REQUIRED SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC COUNTY LDC SHALL BE NATIVE SPECIES CONDUCTIVE TO THE GEOGRAPHIC LOCATION OF THE SITE. (SEE RECOMMENDED PLANT LIST FOR ACCEPTABLE ALTERNATIVES)
6. CONTRACTOR SHALL NOTE AND ACKNOWLEDGE THAT THESE APPROVED DEVELOPMENT ORDER DOCUMENTS INCLUDE THE NECESSARY CALCULATIONS, SPECIFICATIONS, AND REQUIREMENTS NOT ILLUSTRATED ON THIS SHEET. HOWEVER, ARE MADE PART OF THE REQUIREMENTS OF WORK ON THIS PROJECT.
7. ALL PLANT MATERIAL FOR THIS PROJECT SHALL BE FLORIDA NO. 1 QUALITY (UNLESS OTHERWISE SPECIFIED FLORIDA PANCY) AS DEFINED BY GRADES & STANDARDS (LATEST EDITION).

ADDITIONAL CONSIDERATIONS

1. ALL TREES/PALMS PLANTED TO MEET THE REQUIREMENTS OF INTERNAL "CANOPY" TREES (INDICATED HEREIN AS "CANOPY") MUST BE PLANTED HEREIN SHOWN AND AS SPECIES SHOWN.
2. THE SAME SPECIES PLANTED TO MEET THE REQUIREMENTS OF INTERNAL "CANOPY" TREES WILL DEFINE SPECIES. THE SYMBOL WILL GENERALLY DEPict THE CATEGORY THE MATERIAL IS BEING PLANTED TO MEET.
3. ACTUAL GRAPHIC SYMBOLS MAY VARY. SEE PLANS FOR SPECIFIC REFERENCES

PLANT SCHEDULES AND LEGENDS:

TYPICAL INTERNAL CANOPY TREE:
(ACTUAL LOCATION AS SHOWN - SEE PLANT SCHEDULE OR ACCEPTED PLANT LIST)

TYPICAL GENERAL LANDSCAPE TREE:
(ACTUAL LOCATION MAY VARY, IF SHOWN - SEE PLANT SCHEDULE OR ACCEPTED PLANT LIST)

TYPICAL BUFFER LANDSCAPE TREE:
(ACTUAL LOCATION MAY VARY, IF SHOWN - SEE PLANT SCHEDULE OR ACCEPTED PLANT LIST)

TYPICAL EXISTING TREE (TO BE CREDITED):
(ACTUAL LOCATION AS SHOWN, SPECIES AS INDICATED, CALIPER > 5")

REQUIRED LANDSCAPE AREAS:

REQUIRED INTERNAL LANDSCAPE AREAS (PARKING):
(UNLESS SHOWN BY SYMBOL & DENOTED BY LEADER - INDICATED AS "INTERNAL")

REQUIRED BUILDING PERIMETER PLANTING AREAS:
(UNLESS SHOWN BY SYMBOL & DENOTED BY LEADER - INDICATED AS "BUILDING")

REQUIRED OPEN SPACE (INCLUDING VAULT INTERNAL AREAS)
(SEE DETAILS SHEET FOR OPEN SPACE DIAGRAM)

REQUIRED LITTORAL PLANTING AREAS, AS APPLICABLE:
(UNLESS SHOWN BY SYMBOL & DENOTED BY LEADER - INDICATED AS "LITTORAL")

REQUIRED OR PRESERVED INDIGENOUS AREAS, AS APPLICABLE:
(SEE DETAILS SHEET FOR OPEN SPACE DIAGRAM & DEFINITIONS FOR INDIGENOUS AREAS)

IRRIGATION LEGEND:	
SYMBOL	DESCRIPTION
	AUTOMATIC IRRIGATION TIMER / MOISTURE SENSOR (SEE DETAILS & SPECIFICATIONS)
	IRRIGATION METER / BACK FLOW DEVICE (SEE SPECIFICATIONS AS APPLICABLE)
	IRRIGATION WELL / PUMP STATION (SEE DETAILS AS APPLICABLE)

SPECIAL CONSIDERATIONS:

AN IRRIGATION SYSTEM DESIGN HAS BEEN DEVELOPED FOR THIS PROJECT. HOWEVER, IS NOT REQUIRED FOR THIS APPLICATION. THE LANDSCAPE AND/OR IRRIGATION CONTRACTOR(S) SHALL REQUEST THESE PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT.

THE CONTRACTOR(S) SHALL ALSO NOTE THAT AS-BUILT DRAWINGS FOR THE IRRIGATION SYSTEM AND ANY DEVIATIONS TO THE APPROVED PERMIT DRAWINGS ARE REQUIRED PRIOR TO A REQUEST FOR SUBSTANTIAL COMPLIANCE AND RECEIPT OF THE CERTIFICATE OF COMPLIANCE.

SHEET L2-4 REFERS TO THE ABSENCE OF IRRIGATION PLANS ONLY FOR THE PURPOSES OF THIS SUBMITTAL

Sheet No.:
LC-1
SHEET OF

ADD 2008-00029

REQUIREMENTS OF THE LEE COUNTY LAND DEVELOPMENT CODE:

ZONING RESOLUTIONS:

ZONING RESOLUTIONS AS APPROVED BY THE LEE COUNTY BOARD OF COUNTY COMMISSIONERS SHALL TAKE PRECEDENCE OVER THE LEE COUNTY LDC AS DEFINED BY ANY RELATIVE ZONING RESOLUTION. THE CONDITIONS AND FIGURES USED IN THE TABULATIONS FOR THIS PROJECT ARE SUPERSEDED, AS APPLICABLE, BY:

ZONING RESOLUTION NUMBER: N/A
CURRENT PROJECT ZONING: CPD

SPECIAL CONDITIONS:

ANY SPECIAL CONDITIONS MADE PART OF THE AFOREMENTIONED ZONING RESOLUTION, AS APPLICABLE, ARE NOTED WITH EACH SPECIFIC SECTION THAT THEY APPLY TO BELOW.

NOT APPLICABLE AT THIS TIME

SECTION 10-415 OPEN SPACE:

ALL PROJECTS LOCATED WITHIN THE UNINCORPORATED LIMITS OF LEE COUNTY MUST CONTAIN, THE MINIMUM, PERCENTAGE OF OPEN SPACE AS OUTLINED BY THE FOLLOWING TABULATION:

RELEVANT ZONING CONDITIONS (WHERE APPLICABLE):	N/A
CURRENT LAND USE CLASSIFICATION (FLUCCS):	740
PROJECT ZONING & LAND USE CATEGORY:	CPD / COMMERCIAL
PROJECT DEVELOPMENT AREA:	174,240 SF
OPEN SPACE REQUIRED:	174,240 SF X 30% = 52,272 SF
OPEN SPACE PROVIDED (NET):	71,355 SF

EXISTING INDIGENOUS VEGETATION REQUIREMENT:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
LARGE DEVELOPMENTS WITH EXISTING INDIGENOUS VEGETATION, MUST PROVIDE 50 PERCENT (50%) OF THE OPEN SPACE PERCENTAGE REQUIREMENT THROUGH THE ON SITE PRESERVATION OR EXISTING INDIGENOUS VEGETATION.

TOTAL AREA OF EXISTING INDIGENOUS VEGETATION:	174,240 SF
INDIGENOUS VEGETATION IN OPEN SPACE REQUIRED:	52,272 SF X 50% = 26,136 SF
INDIGENOUS VEGETATION IN OPEN SPACE PROVIDED:	28,354 SF

MITIGATION TO EXISTING INDIGENOUS VEGETATION REQUIREMENT:

PER ROB IRVING'S SITE VISIT ON FRIDAY, AUGUST 4TH 2006, A TOTAL OF 265 CALIPER INCHES OF PINE TREES WERE IMPACTED IN THE EXISTING INDIGENOUS PRESERVE. ADDITIONAL RESTORATION FOR IMPACTS TO THE WESTERN SIDE OF THE PRESERVE UNDER THE POWERLINES SHOULD BE SUPPLEMENTED BY PLANTING NATIVE SHRUBS (24"H). ALL LISTED EXOTIC SPECIES WITHIN THE INDIGENOUS PRESERVE AREA MUST BE ERADICATED USING "BEST MANAGEMENT PRACTICES".

TOTAL RESTORATION CALIPER INCH REQUIRED:	265" CAL
TOTAL RESTORATION CALIPER INCH PROVIDED:	67 BALD CYPRESS (10'H) X 4"CAL = 268" CAL
TOTAL RESTORATION SHRUBS REQUIRED:	24"H SRUBS
TOTAL RESTORATION SHRUBS PROVIDED:	50 WAX MYRTLE (24"H)

EXISTING INDIGENOUS VEGETATION CREDIT:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
AS AN INCENTIVE TO PRESERVE INDIGENOUS NATIVE UPLAND COMMUNITIES IN LARGE TRACTS, A SCALED OPEN SPACE CREDIT FOR SINGLE PRESERVE AREAS WILL GRANTED AS FOLLOWS:

ADDITIONAL INDIGENOUS VEGETATION CREDITS:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
AN ADDITIONAL TEN PERCENT (10%) CREDIT WILL BE GRANTED FOR PROJECTS THAT RETAIN ANY OF THE FOLLOWING INDIGENOUS VEGETATION AREAS:

OPEN SPACE IN WATER BODIES:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
EXISTING OR PROPOSED BODIES OF WATER, INCLUDING STORMWATER MANAGEMENT AREAS AND AREAS SUBJECT TO SALTWATER INUNDATION, MAY BE USED TO OFFSET UP TO A MAXIMUM OF TWENTY-FIVE PERCENT (25%) OF THE REQUIRED OPEN SPACE:

OPEN SPACE IN RECREATION AREAS:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
ACTIVE & PASSIVE RECREATION AREAS SUCH AS PLAYGROUNDS, GOLF COURSES, BEACH FRONTAGE, NATURE TRAILS, PEDESTRIAN PATHS, TENNIS COURTS, SWIMMING POOLS, AND OTHER SIMILAR OPEN SPACES, AS LONG AS NOT MORE THAN TWENTY PERCENT (20%) OF THE RECREATIONAL AREA CREDITED CONSISTS OF IMPERVIOUS SURFACES.

OPEN SPACE IN OUTDOOR PUBLIC AREAS:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
ACTIVE & PASSIVE RECREATION AREAS SUCH AS PLAYGROUNDS, GOLF COURSES, BEACH FRONTAGE, NATURE TRAILS, PEDESTRIAN PATHS, TENNIS COURTS, SWIMMING POOLS, AND OTHER SIMILAR OPEN SPACES, AS LONG AS NOT MORE THAN TWENTY PERCENT (20%) OF THE RECREATIONAL AREA CREDITED CONSISTS OF IMPERVIOUS SURFACES.

OPEN SPACE:

GROSS OPEN SPACE PROVIDED: 71,355 SF

OPEN SPACE CONDITIONS:

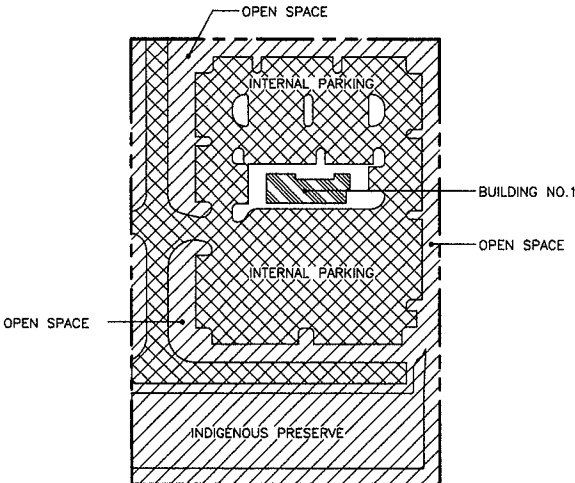
THE FOLLOWING USES MAY CONTRIBUTE TO OPEN SPACE PROVIDED THE FOLLOWING CONDITIONS ARE MET (IN ADDITION TO THOSE STATE ABOVE OR IN THE RELEVANT ZONING RESOLUTION):

- MINIMUM DIMENSIONS FOR OPEN SPACE SHALL BE 10' X 18' AND 180 SF.
- ALL DRY RETENTION AREA, BUFFERS, AND LANDSCAPE AREAS 50 LONG AS MINIMUM DIMENSIONS ARE MET.
- INDIGENOUS OPEN SPACE AREAS MUST HAVE A MINIMUM AVERAGE WIDTH OF NOT LESS THAN TWENTY FEET (20') AND A MINIMUM AREA OF NOT LESS THAN 400 SF.

SPECIAL CONSIDERATIONS (OPEN SPACE):

OPEN SPACE DIAGRAM:

THE FOLLOWING DIAGRAM ILLUSTRATES THE OPEN SPACE AREAS FOR THE PROJECT HEREIN REFERENCED.



BUILDING: The area delineated in the diagram indicates the total Bldg Area to which the required perimeter landscape area was quantified against on the plans. NOTE: Where & When Applicable.

INTERNAL PARKING: The area delineated in the diagram indicates the total internal parking area to which the required landscape area was quantified against on the plans.

OPEN SPACE: The area delineated in the diagram indicates the Open Space quantified on the plans.

SECTION 10-416 LANDSCAPE STANDARDS:

GENERAL LANDSCAPING FOR ALL NEW DEVELOPMENTS MUST INCLUDE, AT A MINIMUM, THE FOLLOWING NUMBER OF TREES, IN ADDITION TO THE LANDSCAPING REQUIRED FOR VEHICULAR USE AREAS (PARKING) AND BUFFERS. EXISTING WATER BODIES WITHIN THE SUBJECT DEVELOPMENT AREA WILL NOT BE INCLUDED IN THE CALCULATION FOR REQUIRED GENERAL TREES.

SPECIAL CONSIDERATIONS (LANDSCAPE):

SECTION 10-416(a) GENERAL TREES:

ALL PROJECTS LOCATED WITHIN THE UNINCORPORATED LIMITS OF LEE COUNTY MUST PROVIDE, AT A MINIMUM, THE FOLLOWING NUMBER OF GENERAL TREES BASED ON OVERALL DEVELOPMENT AREA:

RELEVANT ZONING CONDITIONS:	N/A
PROJECT ZONING & LAND USE CATEGORY:	CPD / COMMERCIAL
PROJECT DEVELOPMENT AREA:	174,240 SF
GENERAL TREE REQUIREMENTS PER LAND USE:	1 TREE PER 3,500.00 SF

GENERAL TREES:

GENERAL TREE CALCULATION PER LAND USE:	174,240 SF / 3,500 SF = 50
GENERAL TREES REQUIRED:	50 TREES

USE OF LARGER GENERAL TREES:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
LARGER TREES SUBSTITUTED TO REDUCE THE MINIMUM NUMBER OF GENERAL TREES, WITHOUT THE USE OF AN ALTERNATE LANDSCAPE BETTERMENT PLAN, MUST BE NO LESS THAN 16'H WITH A MINIMUM 3" CALIPER AT THE TIME OF PLANTING. THE USE OF LARGER TREES MAY NOT REDUCE THE OVERALL REQUIRED AMOUNT BY MORE THAN FIFTY PERCENT (50%).

REQUIRED GENERAL TREES:	50 TREES
NUMBER OF LARGER (16'H) TREES USED:	7 TREES
NUMBER OF LARGER CREDITED TOWARDS MINIMUM (10'H) TREES:	7 LARGER (16'H) TREES X 2 = 14 TREES
NUMBER OF MINIMUM (12'H) TREES REQUIRED:	40 TREES
NUMBER OF LARGER (16'H) TREES REQUIRED:	7 TREES

EXISTING TREE CREDITS (SECTION 10-420(h)):

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO

THREE CREDITS MAY BE ISSUED FOR EACH INDIGENOUS NATIVE TREE PRESERVED IN PLACE, WHICH HAS A TRUNK DIAMETER OF FOUR INCHES (4") OR GREATER MEASURED AT DBH. A CREDIT OF FIVE (5) TREES SHALL BE GRANTED FOR EACH TREE SAVED IN PLACE. NATIVE PALMS GREATER THAN EIGHT FEET (8'H) SHALL RECEIVE ONE (1) TREE WHETHER SAVED IN PLACE OR RELOCATED. CREDITS WILL ONLY APPLY IF TREES ARE LABELED AS PROTECTED TREE CREDITS AND BARRICADES ARE ERECTED AND MAINTAINED THROUGH SUBSTANTIAL COMPLIANCE IF THE CREDITED TREE DIES WITHIN 3-YEARS, IT MUST BE REPLACED WITH TREES BY THE AMOUNT CREDITED.

NOTE: EXISTING NATIVE INDIGENOUS TREES THAT HAVE BEEN PREVIOUSLY PLANTED TO MEET THE REQUIREMENTS OF THE LEE COUNTY LDC SHALL RECEIVE A 1:1 TREE CREDIT.

NATIVE INDIGENOUS TREE CREDITS:	5 TREE CREDITS PER EXISTING TREE >4" CALIPER
NATIVE INDIGENOUS TREES PRESERVED & PROTECTED:	0 TREES
NUMBER OF GENERAL/BUFFER TREES CREDITED:	0 TREE CREDITS 0 TREES = 0 TREES
NATIVE INDIGENOUS PALM CREDITS:	5 TREE CREDITS PER EXISTING TREE >4" CALIPER
NATIVE INDIGENOUS PALMS PRESERVED & PROTECTED:	0 PALMS
NUMBER OF GENERAL/BUFFER TREES CREDITED:	0 TREE CREDITS 0 PALMS = 0 TREES

TOTAL TREE CREDITS:	0 TREES
NUMBER OF TREE CREDITS IN BUFFERS:	0 TREES
NUMBER OF GENERAL TREE CREDITS:	0 TREES
NUMBER OF GENERAL PLANT TREE CREDITS:	0 TREES
TOTAL TREE CREDITS PROVIDED:	0 TREES

TOTAL GENERAL TREES PROVIDED: 40 (12'H) TREES & 7 (16'H) TREES

SECTION 10-416(b) BUILDING PERIMETER PLANTINGS:

BUILDING PERIMETER PLANTINGS REQUIRED: YES

ALL COMMERCIAL PROJECTS LOCATED WITHIN THE UNINCORPORATED LIMITS OF LEE COUNTY MUST PROVIDE BUILDING PERIMETER PLANTINGS, AT A MINIMUM, EQUAL TO TEN PERCENT (10%) OF THE PROPOSED GROSS GROUND LEVEL FLOOR AREA. THE MINIMUM PLANTING AREA FOR PERIMETER PLANTINGS SHALL NOT BE LESS THAN FIVE FEET (5') IN WIDTH. TURF GRASS IS LIMITED TO TEN PERCENT (10%) OF THE REQUIRED PERIMETER LANDSCAPE AREA. THE FOLLOWING MINIMUM AREAS SHALL BE PROVIDED AS DELINEATED ON THE DRAWINGS:

RELEVANT ZONING CONDITIONS:	N/A
PROJECT ZONING & LAND USE CATEGORY:	N/A
TOTAL NUMBER OF BUILDINGS:	N/A

BUILDING PERIMETER LANDSCAPE REQUIREMENTS:

BUILDING NO. 1 (SALES CENTER)	2,730 SF
BUILDING PERIMETER AREA REQUIRED:	2,730 SF X 10% = 273 SF
BUILDING PERIMETER AREA PROVIDED:	+300 SF
SURPLUS AGAINST CODE:	110%

ENLARGED PERIMETER LANDSCAPE:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO

AN ENLARGED PERIMETER LANDSCAPE AREA IS REQUIRED IN THE FRONT OF SHOPPING CENTERS AND PRESTANDING RETAIL USES THAT CONSTITUTE LARGE DEVELOPMENTS. AN AREA THAT IS AT LEAST FIVE PERCENT (5%) OF THE SIZE OF THE VEHICULAR USE AREAS MUST BE RETAINED AS ADDITIONAL GREEN SPACE WITHIN THE FRONT OF THESE PROJECTS AS AN ENLARGEMENT TO THE FRONT BUILDING PERIMETER PLANTING AREA. SAME CONDITIONS AS STANDARD BUILDING PERIMETER LANDSCAPE APPLIES.

TOTAL VEHICULAR USE AREA:	0.00 SF
ENLARGED BUILDING PERIMETER LANDSCAPE REQUIRED:	0.00 SF X 5% = 0.00 SF
ENLARGED BUILDING PERIMETER LANDSCAPE AREA PROVIDED:	0.00 SF

TOTAL BUILDING PERIMETER LANDSCAPE AREA PROVIDED: +300 SF

SECTION 10-416(c) LANDSCAPING OF PARKING & VEHICULAR USE AREAS:

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
ALL PROJECT WITHIN THE LIMITS OF LEE COUNTY MUST PROVIDE LANDSCAPING AND TREE CANOPY TO OFFSET THE RADIANT HEAT AND PROVIDE VISUAL RELIEF AND TO CHANNELIZE AND DEFINE LOGICAL AREAS FOR PEDESTRIAN AND VEHICULAR CIRCULATION AS FOLLOWS:

VEHICULAR USE AREAS:

TOTAL VEHICULAR USE AREA(S):	87,850 SF X 10% = 8,785 SF
REQUIRED INTERNAL LANDSCAPE AREA(S):	8,750 SF

TOTAL PROVIDED INTERNAL LANDSCAPE AREA(S): 8,800 SF

REQUIRED CANOPY TREE CALCULATIONS:	(REQUIRED INTERNAL LANDSCAPE AREA) 8,750 SF
REQUIRED CANOPY TREES:	8,750 SF / 250 = 35 TREES

TOTAL PROVIDED CANOPY TREES: 35 TREES

NOTE: THE "TOTAL VEHICULAR USE AREA" WAS ORIGINALLY CALCULATED WITHOUT TAKING INTO ACCOUNT THE FUTURE BUILDING SQUARE FOOTAGE. THE CORRECT QUANTITY OF CANOPY TREES ARE BEING PROVIDED, AND NO ADDITIONAL CANOPY TREES NEED TO BE INSTALLED.

SECTION 10-416(d) BUFFERING ADJACENT PROPERTY:

A BUFFERING AREA IS REQUIRED ALONG THE ENTIRE PERIMETER OF THE PROPOSED DEVELOPMENT WHENEVER THE PROPOSED DEVELOPMENT A BUTS A DIFFERENT USE (ONLY REQUIRED BUFFERS ILLUSTRATED BELOW)

REQUIRED BUFFER CALCULATIONS:

EAST PROPERTY SIDE BUFFER-1:	ABUTS PUBLIC ROW (US-41) - 15'W TYPE 'D' BUFFER REQUIRED:
SPECIAL ZONING CONSIDERATIONS:	MAINTAIN PARKING LOT PERIMETER HEDGE THROUGHOUT USE
WALL REQUIRED/PROVIDED:	NO
TREES REQUIRED:	348.48 LF X 5 TREES PER 100 LF = 18 TREES
TREES PROVIDED:	10 TREES
SHRUBS REQUIRED:	CONT. DBL ROW HEDGE @ 348.48 LF X 2 / 3'OC = 233
SHRUBS PROVIDED:	+240 SHRUBS

SOUTH PROPERTY SIDE BUFFER-2:	ABUTS COMMERCIAL - 5'W TYPE 'A' BUFFER REQUIRED:
SPECIAL ZONING CONSIDERATIONS:	MAINTAIN PARKING LOT PERIMETER HEDGE THROUGHOUT USE
WALL REQUIRED/PROVIDED:	NO
TREES REQUIRED:	500 LF X 4 TREES PER 100 LF = 20 TREES
TREES PROVIDED:	20 TREES
SHRUBS REQUIRED:	NO SHRUBS REQUIRED (HEDGE REQUIRED ALONG PARKING)
SHRUBS PROVIDED:	+80 SHRUBS

WEST PROPERTY SIDE BUFFER-3:	ABUTS MF RESIDENTIAL - 30'W MODIFIED TYPE 'F' BUFFER REQUIRED:
SPECIAL ZONING CONSIDERATIONS:	MAINTAIN PARKING LOT PERIMETER HEDGE THROUGHOUT USE
WALL REQUIRED/PROVIDED:	YES
TREES REQUIRED:	348.48 LF X 10 TREES PER 100 LF = 35 TREES
TREES PROVIDED (WEST SIDE OF WALL):	15 TREES
TREES PROVIDED (EAST SIDE OF WALL):	44 TREES
SHRUBS REQUIRED:	CONT. DBL ROW HEDGE (48"H INSTALLED) @ 348.48 LF X 2 / 3'OC = 233
SHRUBS PROVIDED (WEST SIDE OF WALL):	EXISTING ARECA PALMS (8"-10")
SHRUBS PROVIDED (EAST SIDE OF WALL):	233 SHRUBS (48"H)
NORTH PROPERTY SIDE BUFFER-4:	ABUTS COMMERCIAL - 5'W TYPE 'A' BUFFER REQUIRED:
SPECIAL ZONING CONSIDERATIONS:	MAINTAIN PARKING LOT PERIMETER HEDGE THROUGHOUT USE
WALL REQUIRED/PROVIDED:	NO
TREES REQUIRED:	500 LF X 4 TREES PER 100 LF = 20 TREES
TREES PROVIDED:	20 TREES
SHRUBS REQUIRED:	NO SHRUBS REQUIRED (HEDGE REQUIRED ALONG PARKING)
SHRUBS PROVIDED:	+80 SHRUBS

SECTION 10-417. IRRIGATION DESIGN STANDARDS:

SEE THE IRRIGATION DESIGN GUIDELINES AND REQUIREMENTS SHEET AND IRRIGATION SYSTEM PLAN (WHERE APPLICABLE) HEREIN INCLUDED AND MADE PART OF THESE PERMIT DOCUMENTS.

SECTION 10-418. STORMWATER PONDS:

DESIGN STANDARDS: TECHNIQUES TO MIMIC THE FUNCTION OF NATURAL SYSTEMS IN STORMWATER MANAGEMENT PONDS ARE MINIMALLY DEFINED BELOW, WHERE AND WHEN APPLICABLE.

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO

DESIGN STANDARDS AND PLANTING REQUIREMENTS:

SHORELINE CONFIGURATION: SHORELINES MUST BE SINUOUS IN CONFIGURATION TO PROVIDE INCREASED LENGTH AND DIVERSITY OF THE LITTORAL ZONE SINUOUS IS DEFINED AS SERPENTINE, BENDING IN AND OUT, WAVY OR WINDING.

MINIMUM PLANTING STANDARDS: THE FOLLOWING ARE CONSIDERED SUFFICIENT TO MIMIC THE FUNCTION OF NATURAL SYSTEMS IN PONDS WITH SLOPES FROM 6:1 TO NOT MORE THAN 4:1.

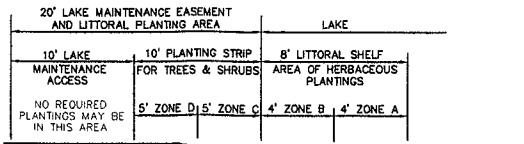
- SHORELINES MUST BE SLOPED OR BERMED TO DIRECT STORMWATER THROUGH PRETREATMENT SYSTEMS OR SWALES PRIOR TO DISCHARGE INTO THE POND.
- THE MINIMUM NUMBER OF NATIVE WETLAND PLANTS IS ONE PLANT PER LINEAR FOOT OF LAKE SHORELINE MEASURED FROM THE CONTROL ELEVATION. NATIVE WETLAND TREES AND SHRUBS MAY BE SUBSTITUTED FOR UP TO 20% FOR THE TOTAL NUMBER OF REQUIRED LITTORAL PLANTS. 1 TREE OR 2 SHRUBS MAY BE SUBSTITUTED FOR 10 HERBACEOUS LITTORAL PLANTS.
- PLANTS MUST BE INSTALLED IN CLUSTERS AROUND THE LAKE PERIMETER. CLUSTERS MUST CONTAIN A MINIMUM OF 25 PLANTS WITHIN A 50 SF AREA. PLACEMENT OF PLANTINGS AT INFALL AND OUTFALL STRUCTURES IS STRONGLY ENCOURAGED.
- AT LEAST 4 SPECIES OF HERBACEOUS PLANTS MUST BE PLANTED.
- A MINIMUM OF 80% SURVIVABILITY AFTER 1 YEAR IS REQUIRED FOR HERBACEOUS LITTORAL PLANTS. WETLAND TREES AND SHRUBS MUST BE MAINTAINED IN PERPETUITY AS DEFINED IN SECTION 10-421(D).

LITTORAL PLANTING ZONE DIAGRAM:

THE FOLLOWING DIAGRAM SHALL DEFINE THE METHODOLOGY FOR INSTALLING THE REQUIRED LITTORAL ZONE PLANTINGS. SEE THE PLANT SCHEDULE ON SHEET LC-3 HEREIN INCLUDED.

IMPORTANT NOTE TO CONTRACTOR: THE CONTRACTOR SHALL CLOSELY FOLLOW THE LAYOUT AND ARRANGEMENT OF THE LITTORAL PLANTINGS SHOWN ON THE PLANS AND DEFINED HEREIN. LINEAR PLANTING AND SIGNIFICANT DEVIATIONS FROM THE PLANS(S) AND STANDARDS DEFINED HEREIN SHALL REQUIRE THE RE-EXECUTION OF WORK BY THE CONTRACTOR AT THEIR TIME & EXPENSE. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR ANY SIGNIFICANT DEVIATIONS THAT MAY BE REQUIRED DURING THE PREPARATION & SUBMITTAL OF AS-BUILT DOCUMENTS BY THE LANDSCAPE ARCHITECT AND SHALL BEAR THE COST OF SAID DOCUMENTS.

THE FEE FOR AS-BUILT DOCUMENTS SHALL BE NOT LESS THAN \$500.00 AND SHALL BE PAID BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT PRIOR TO & AS A PREREQUISITE FOR SUBSTANTIAL COMPLIANCE, UNLESS THE DEVIATIONS FROM THE APPROVED DEVELOPMENT ORDER DOCUMENTS WHERE DIRECTED BY THE APPLICANT/OWNER.



LITTORAL PLANTING ZONES: 6:1 TO 4:1
NOT TO SCALE

DEEP LAKE MANAGEMENT PLAN (SECTION 10-322(13))

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
FOR ALL LAKES DEEPER THAN TWELVE FEET (12'), A DEEP LAKE MANAGEMENT PLAN MUST ADDRESS LONG TERM MANAGEMENT STRATEGIES AND INCLUDE, AT A MINIMUM, THE FOLLOWING:

MINIMUM DESIGN STANDARDS & CRITERIA:

A DESTRATIFICATION SYSTEM MUST BE INSTALLED IN ANY LAKE THAT EXCEEDS 12' IN DEPTH. DOCUMENTATION THAT THE PROPOSED DESTRATIFICATION SYSTEM IS ADEQUATELY SIZED AND DESIGNED FOR EACH LAKE DEEPER THAN 12' IN DEPTH MUST BE SUBMITTED PRIOR TO DEVELOPMENT ORDER ISSUANCE.
NATIVE SHADE TREES, MEETING THE MINIMUM STANDARDS DEFINED BY SECTION 10-420(c) MUST BE PLANTED AROUND THE LAKE PERIMETER, CALCULATED AT 1 TREE PER 100 LF OF LAKE SHORELINE MEASURED AT CONTROL ELEVATION.

THE APPLICANT MUST RECORD COVENANTS ACCEPTABLE TO LEE COUNTY PROVIDING THAT THE LAKE MANAGEMENT TECHNIQUES, INCLUDING OPERATION OF THE DESTRATIFICATION SYSTEM SPECIFIED HEREIN, AS APPLICABLE, WILL BE MAINTAINED IN PERPETUITY.

A POST-CONSTRUCTION BATHYMETRIC SURVEY, SEALED BY A PROFESSIONAL SURVEYOR MUST BE SUBMITTED PRIOR TO CERTIFICATE OF COMPLIANCE FOR ALL LAKES DEEPER THAN 12' IN DEPTH.

SECTION 10-419. ALTERNATE LANDSCAPE BETTERMENT PLAN

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): NO
APPLICATION PURSUANT TO THIS DIVISION ARE ENTITLED TO DEMONSTRATE THAT THE INTENT OF THIS DIVISION CAN BE MORE EFFECTIVELY ACCOMPLISHED THROUGH AN ALTERNATE LANDSCAPE BETTERMENT PLAN. THE FOLLOWING CONDITIONS MUST BE MET:

- THE PLAN MAY NOT DEVIATE FROM THE MINIMUM OPEN SPACE REQUIREMENTS OF SECTION 10-415.
- THE PLAN MUST BE LABELED AS AN ALTERNATE LANDSCAPE BETTERMENT PLAN AND MUST DELINEATE IDENTIFY, AND LOCATE ALL CHANGES TO THE REQUIREMENTS OF THIS SECTION.
- NO LESS THAN 75% OF THE TREES INSTALLED MUST BE NATIVE SPECIES.
- IF LARGER TREES ARE SUBSTITUTED TO REDUCE THE MINIMUM NUMBER OF GENERAL TREES REQUIRED, ALL SUBSTITUTED TREES MUST BE A MINIMUM OF 12'H WITH A 3" CALIPER AT THE TIME OF PLANTING. AT NO TIME SHALL THE REQUIRED NUMBER GENERAL TREES BE REDUCED BY A NUMBER GREATER THAN 50%.
- THE PLAN MUST DESIGNATE THE BOTANICAL NAME AND LOCATION OF ALL PLANT MATERIAL TO BE INSTALLED.
- THE PROPOSED ALTERNATE LANDSCAPE BETTERMENT PLAN MAY NOT BE APPROVED IF STAFF DETERMINES THAT THE INTENT OF THE MINIMUM REQUIREMENTS OF THESE PROVISIONS IS NOT BEING EXCEEDED.

ALTERNATE LANDSCAPE BETTERMENT PLAN NARRATIVE:

THE FOLLOWING DEVIATIONS OF THESE PROVISIONS HAVE BEEN MADE WITH THE WITH THE NOTED BETTERMENT:

DEVIATION NO. 1:
DUE TO SITE CONSTRAINTS AND THE APPLICATION OF EASEMENT, THE APPLICANT CANNOT MEET THE SPECIFIC REQUIREMENTS OF PROVIDING A WALL WHERE PARKING OR DRIVEWAY ARE WITHIN 125' OF SF RESIDENTIAL.

SECTION 10-420. PLANT MATERIAL STANDARDS:

SEE SHEET LC-4 FOR THE COMPLETE PLANT MATERIAL STANDARDS DEFINED BY BOTH LEE COUNTY AND THESE PERMIT DOCUMENTS.

GENERAL MINIMUM REQUIREMENTS FOR PLANT MATERIALS:

- NO PLANT MATERIAL INSTALLED IN REFERENCE TO LEE COUNTY CODE REQUIREMENTS MAY BE PLANTED IN EASEMENTS.
- ALL PLANT MATERIAL INSTALLED IN REFERENCE TO LEE COUNTY CODE REQUIREMENTS SHALL BE XERISCAPE VARIETIES AS DEFINED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
- ALL PLANT MATERIAL INSTALLED IN REFERENCE TO LEE COUNTY CODE REQUIREMENTS SHALL RESPOND TO THE FOLLOWING MINIMUM PLANT REQUIREMENTS:
MINIMUM PERCENTAGE OF NATIVE TREES:
MINIMUM PERCENTAGE OF NATIVE PALMS FOR REQUIRED TREES:
(NOTE: THREE (3) PALMS MUST BE EXCHANGED FOR EACH REQUIRED CANOPY TREE, WHERE APPLICABLE)
- SEE PLANT LIST FOR MINIMUM PLANT MATERIAL SPECIFICATIONS AND NATIVE MATERIAL ADHERENCE.
- SEE PLANTING DETAILS, CONSTRUCTION NOTES AND CONDITIONS HEREIN INCLUDED PRIOR TO EXECUTION OF WORK.
- NOTE: ALL PLANTS IN ADDITION TO THOSE REQUIRED ARE AT THE OPTION OF THE OWNER.

GENERAL MINIMUM PLANT STANDARDS:

- ALL TREES PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A MINIMUM 10'H, 2"CAL AT TIME OF PLANTING.
- ALL SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC SHALL BE AT A MINIMUM 24"H, PLANTED AT A MAXIMUM OF 3'OC AT TIME OF PLANTING.
- ALL SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LDC BLDG. PERIMETER LANDSCAPE AREA REQUIREMENTS SHALL INCLUDE NOT MORE THAN 20% OF THE AREA DESIGNATED TO BE PLANTED IN SOD AND SHALL INCLUDE A MIXTURE OF SHRUBS AND GROUND COVERS.
- NOT LESS THAN 75% OF THE REQUIRED TREES AND 50% OF THE REQUIRED SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THE LEE COUNTY LDC SHALL BE NATIVE SPECIES CONDUCTIVE TO THE GEOGRAPHIC LOCATION OF THE SITE. (SEE RECOMMENDED PLANT LIST FOR ACCEPTABLE ALTERNATIVES)

SECTION 10-421. PLANT INSTALLATION & MAINTENANCE STANDARDS:

SEE SHEET LC-3 FOR THE PLANT INSTALLATION & MAINTENANCE STANDARDS DEFINED BY BOTH LEE COUNTY & THESE PERMIT DOCUMENTS.

LEGEND

SEE SHEET LC-1 OR LC-3 FOR THE GRAPHIC LEGEND RELATIVE TO THESE PERMIT DOCUMENTS, WHICHEVER IS APPLICABLE.

CONCEPTUS

Land Architectural Technologies Inc.

2149 McGregor Blvd.
Suite 2
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33901

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Fax: 239.334.9590

WEB: www.CLATi.com
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Exhibit H-2.B.2.

TAMIAMI TRAIL DEALERSHIP
ESTERO, FLORIDA

SUNCOAST AUTOBUILDERS, INC.
5180 113th AVENUE NORTH
CLEARWATER, FLORIDA 33760

PREPARED FOR:

LANDSCAPE CODE CALCULATIONS

Registration:

WILLIAM E. PRYSI, RLA, ASLA
REGISTERED LANDSCAPE ARCHITECT
FLORIDA LICENSE NO. 00001342



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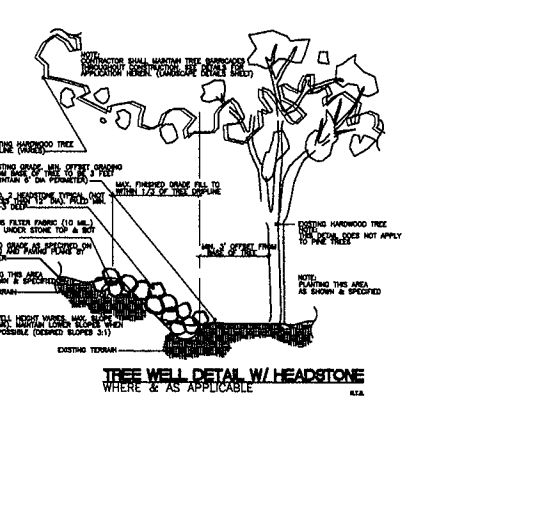
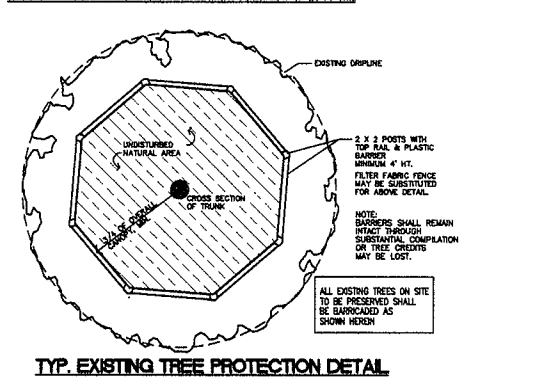
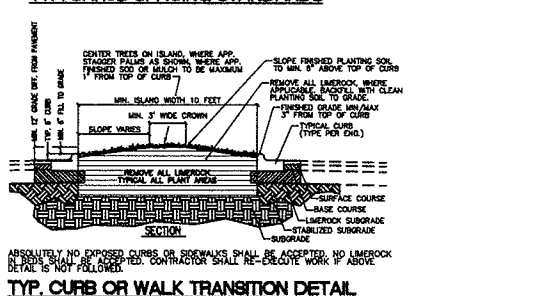
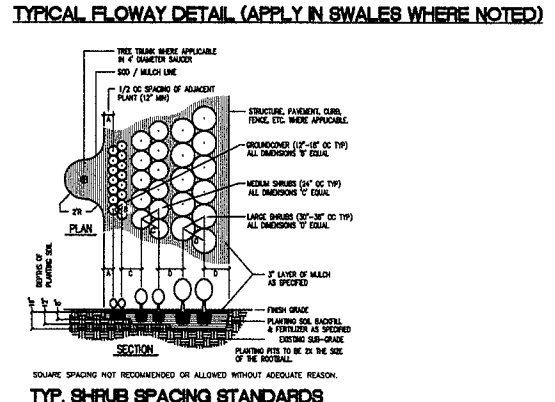
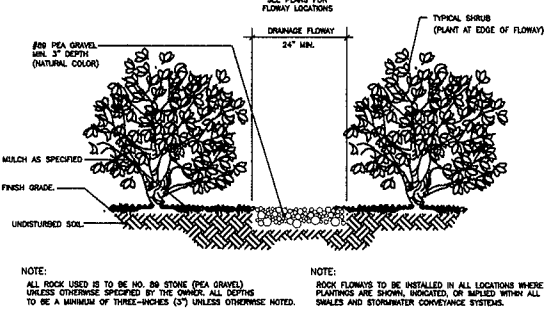
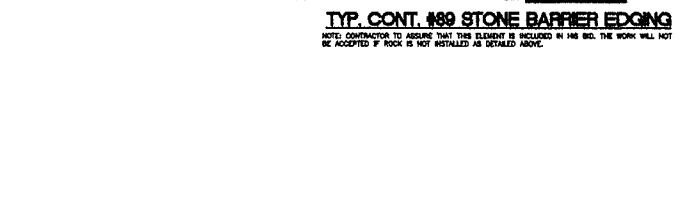
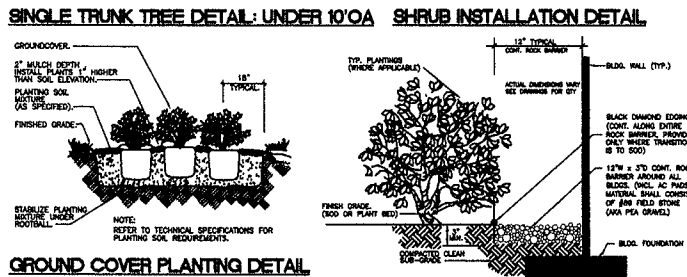
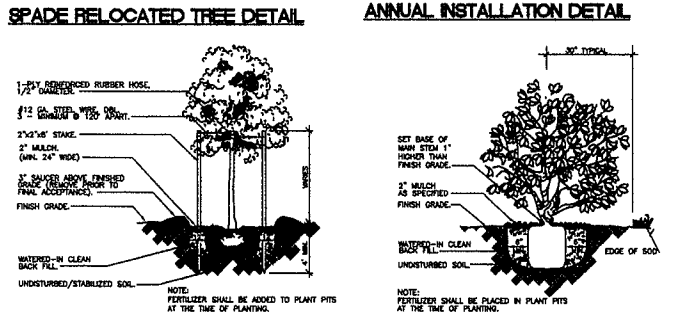
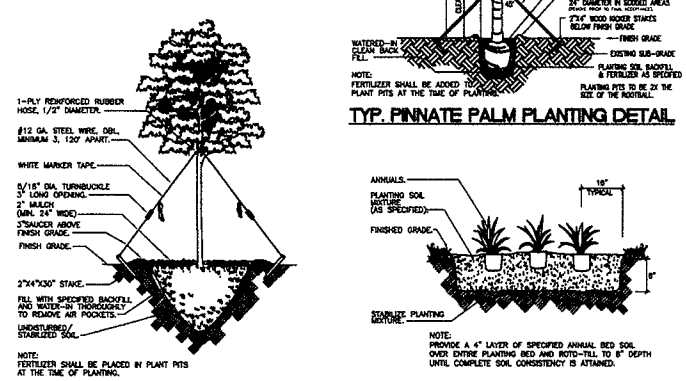
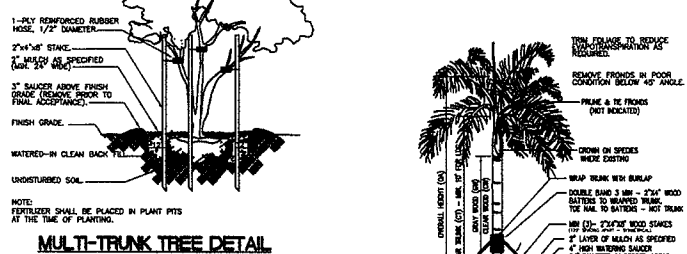
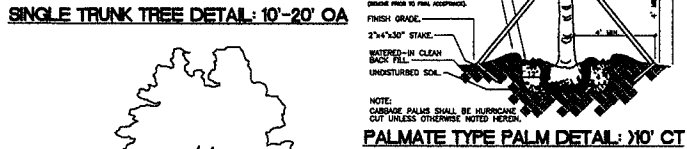
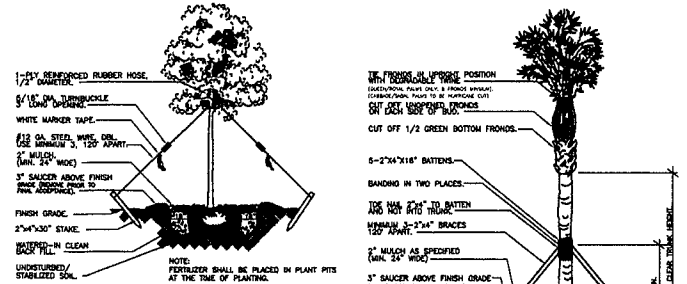
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Principal-in-Charge: Date: 2003-09-24

Designed By: WEK REVISIONS: DATE:

LANDSCAPE DETAILS and MINIMUM STANDARDS:

LANDSCAPE DETAILS (and INSTALLATION STANDARDS)



LANDSCAPE DETAILS and LDC REQUIREMENTS:

LANDSCAPE CONSTRUCTION NOTES:

- The Contractor shall be responsible for the location of all utilities and services both underground and overhead prior to the commencement of work. Protection of all utilities and services throughout the course of work is expected.
- Soil used on this project shall be the type and variety indicated and shall be provided throughout. Seeding may be provided as indicated. All erosion and drainage system details shall be added unless otherwise indicated on the drawings.
- It shall be the responsibility of the Contractor to finish grade all landscape areas eliminating all bumps, depressions, rocks, sticks, or other debris prior to the installation of plant material. The Contractor shall also be responsible for maintaining positive sheet flow drainage away from all structures and to all drainage ways shown or implied on the drawings. SEE DETAIL THIS SHEET FOR FLOWAY APPLICATIONS.
- Coordinate all work with all trades so as to avoid any conflict with the execution of work by others. Contractor shall not be responsible for the damage to plant materials caused by other trades or subcontractors. The condition of plant material shall be in accordance to the Quality standards defined herein at the time of Final Walk through by the Landscape Architect.
- The Contractor shall provide a guarantee and warrant all workmanship and plant materials for a period of not less than one (1) year from Final Acceptance. Any Guarantees short of this minimum requirement shall be considered null and void.
- At no time may any work on the site commence without a Vegetation Removal Permit as required by Lee County. The Contractor shall be responsible for it's acquisition.
- The Contractor assumes full responsibility for executing these documents as drawn and specified. Any rework associated with the failure to execute these drawings as illustrated shall be done at the Contractor's sole expense.

EXOTIC SPECIES REMOVAL LIST:

ALL OF THE FOLLOWING LISTED EXOTIC SPECIES MUST BE PHYSICALLY REMOVED FROM THE SITE AND MAINTAINED FREE OF REGENERATION IN PERPETUITY. SOME STANDS OF EXOTICS MAY BE DESTROYED USING "KILL IN PLACE" METHODS AS APPROVED BY AND NOTED HEREIN. ALL OF THE LISTED EXOTICS MUST BE DESTROYED PRIOR TO SUBMISSION FOR A CERTIFICATE OF COMPLIANCE.

MELALEUCA BRAZILIAN PEPPER / FLORIDA HOLLY (SCHINUS TEREBINTHIFOLIUS) AUSTRALIAN PINE (CASUARINA SPECIES) EARLEAF ACACIA (ACACIA AURICULIFORMIS) DOWNY ROSE MYRTLE (RHODOMYRTUS TOMENTOSA) TROPICAL SODA APPLE (ALBIZIA LEISBECK) WOMANS TONGUE TREE (BISHOPIA JAVONICA) BISHOP WOOD / TOGG TREE (CUPANOPSIS SPP.) CARROTWOOD TREE (DALBERGIA SISOON) AIR POTATO (DIOSCOREA ALATA) MURRAY RED GUM TREE (EUCALYPTUS SPP.) BENJAMIN FIG / WEEPING FIG TREE (FICUS BENJAMINIA) CUBAN LAUREL TREE (FICUS RETUSA / FICUS MICROCARPA) CHINESE TALLOW TREE (SAPIUM SEBIFERUM) JAMA PLUM TREE (SYZYGIUM CUMINI) COOK TREE (THESTESIA POPULNEA) WEDELIA (WEDDILLIA TRILOBATA) JAPANESE CLIMBING FERN (LYGODIUM JAPONICUM) OLD WORLD CLIMBING FERN (LYGODIUM MICROPHYLLUM) ROSE APPLE (SYZYGIUM JAMBOS)	(MELALEUCA QUINQUENARIA) (SCHINUS TEREBINTHIFOLIUS) (CASUARINA SPECIES) (ACACIA AURICULIFORMIS) (RHODOMYRTUS TOMENTOSA) (SOLANUM VARIUM) (ALBIZIA LEISBECK) (BISHOPIA JAVONICA) (CUPANOPSIS SPP.) (DALBERGIA SISOON) (DIOSCOREA ALATA) (EUCALYPTUS SPP.) (FICUS BENJAMINIA) (FICUS RETUSA / FICUS MICROCARPA) (SAPIUM SEBIFERUM) (SYZYGIUM CUMINI) (THESTESIA POPULNEA) (WEDDILLIA TRILOBATA) (LYGODIUM JAPONICUM) (LYGODIUM MICROPHYLLUM) (SYZYGIUM JAMBOS)
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UNACCEPTABLE PLANT MATERIALS:

AT NO TIME SHALL ANY OF THE FOLLOWING PLANT SPECIES BE CONSIDERED ACCEPTABLE FOR APPLICATION ON THIS PROJECT IN ANY FORM.

CANOPY TREES SILK OAK (GREVILLEA ROBUSTA) PAPER MULBERRY (BROUSSAIA PAPAYERA) EAR TREE (ENTEROLBIUM CYCLOCARPUM) CHINABERRY TREE (MELIA AZEDARACH) ARDISIA (ARDISIA SPP.) NORFOLK ISLAND PINE (ARAUCARIA HETEROPHYLLA) SMALL/ACCENT TREES OR LARGE SHRUBS JATROPHA (JATROPHA HASTATA) OLEANDER (permitted as optional, not required) (NERIUM OLEANDER) SHRUBS OR GROUND COVERS AIR POTATO (DIOSCOREA BULBIFERA) LATHER LEAF (COLUMBINA ASIATICA) CLIMBING FERN (LYGODIUM SPP.) CATCLAW MIIMOSA (MIIMOSA FIGRA) AUSTRALIAN KIMBERLY (SCAEVOLA FRUTESCENS) LITTORAL PLANTINGS ANY NON-NATIVE SPECIES (EXOTIC SPP.)	
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ACCEPTABLE PLANT ALTERNATES

IF A PLANT SCHEDULE IS PROVIDED SPECIFYING SPECIFIC MATERIALS, THOSE MATERIALS MUST BE INSTALLED AS NOTED. WRITTEN ACCEPTANCE FROM THE LANDSCAPE ARCHITECT FOR ALL ALTERNATES IS REQUIRED.

ALTERNATE BETTERMENT LANDSCAPE PLAN:
AT NO TIME MAY ANY PLANTS BE ALTERNATED FROM THOSE SPECIFIED ON THE DRAWINGS WHEN AN ALTERNATE BETTERMENT LANDSCAPE PLAN HAS BEEN IDENTIFIED.

THE FOLLOWING PLANT MATERIALS ARE RECOMMENDED AND ACCEPTABLE FOR USE

CANOPY TREES (MIN. 75% NATIVE USED TO MEET REQUIREMENTS): LIVE OAK* (QUERCUS VIRGINIANA) LAUREL OAK* (QUERCUS LAURIFOLIA) BLACK OLIVE - CULTIVAR* (BUCIDIA BUCERUS 'SHADY LADY') MAHOGANY* (SWietenia MAHOGONI) SOUTHERN SLASH PINE* (PINUS ELIOTTI VAR. DENSE) JUMBO LIMBO* (BURSERIA SIMBARUBA) SMALL/ACCENT TREES (MIN. 75% NATIVE USED TO MEET REQUIREMENTS): WAX MYRTLE* (MYRTICA CERIFERA) WAX LIGUSTRUM (LIGUSTRUM LUCIDUM) YELLOW OR PURPLE TABEBUIA (TABEBUIA CARAIBA OR IMPE) GEIGER TREE* (CORDIA SEBASTIANA) PIGEON PLUM* (COCOLoba DIVERSIFOLIA) PITCH APPLE* (CLUSIA ROSEA) PALMS (MIN. 50% NATIVE USED OR 75% X 3 FOR CANOPY TREES): CABBAGE PALM* (SABAL PALMETTO) ROYAL PALM* (ROYSTONIA REGIA) KEY THATCH PALM* (THRINAX RADIATA) FOXTAIL PALM (WODYETA BIFURCATA) GREEN BISMARKIA (BISMARKIA NOBILIS) SHRUBS (MIN. 50% NATIVE USED TO MEET REQUIREMENTS): COCOLAM* (CHRYSOBALANUS ICACO) WALTERS VIBURNUM* (VIBURNUM OBOVATUM) SAW PALMETTO* (SERENOA REPENS) SEAGRAPH* (COCOLoba UVIFERA) BUTTERNUTS* (CONCARPUS SPP.) MULHLY GRASS* (MULHBERGIA CAPILLARIS) SPIDER LILY* (HYMENOCALIS LATIFOLIA) FAKACHATCHE GRASS* (TRIPSACUM DACTYLOIDES) GAMA GRASS* (TRIPSACUM FLORIDANA) COONTEE* (ZAMIA FLORIDANA) SIMPSON'S STOPPER* (MYRCANTHES FRAGRANS) FLORIDA PRIVET* (FORSTERIA SELEGATA) YALPON HOLLY* (ILEX VOMITORIA - & CULTIVARS) LITTORAL PLANTINGS: (NO SIZES, NATIVE VARIETIES ONLY): PICKEREL WEED* (PONTEDERIA SPP.) ARROWHEAD* (SAGITTARIA SPP.) SWAMP LILY* (CRINUM AMERICANUM) BULRUSH* (SCIRPUS CUBENSIS) SMOOTH CORDGRASS* (SPARTINA BAKERI) SOFTSTEM BULRUSH* (SCIRPUS VALIDUS)	
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PLANTING SCHEDULE:

TREES	SITE	PHASE	QUANTITIES	NOTE: ALL TREES TO BE SUPPLIED BY SOUTH FLORIDA NURSERIES.	BOTANICAL NAME	COMMON NAME	DESCRIPTION
BBB	SEE PLANS	---	---	---	BUCIDIA BUCERUS 'SHADY LADY'	SHADY LADY BLACK OLIVE	10'-12" H X 4'-5", 3" CAL, 3' CT, 450
OL	SEE PLANS	---	---	---	QUERCUS LAURIFOLIA	LAUREL OAK	10'-12" H X 4'-5", 3" CAL, 3' CT, 1000
IC	SEE PLANS	---	---	---	ILEX CASSINE	DAKON HOLLY	10'-12" H X 4'-5", 2" CAL, 300
AR	SEE PLANS	---	---	---	ACER RUBRUM	RED MAPLE	10'-12" H X 4'-5", 2" CAL, 300
TDO	SEE PLANS	---	---	---	TAXODIUM DISTICHUM	BALD CYPRESS	10'-12" H X 4'-5", 4" CAL, 450
PALMS	SITE	PHASE	QUANTITIES	NOTE: ALL PALMS INDICATED BELOW SHALL BE PROVIDED BY LICENSED NURSERIES.	BOTANICAL NAME	COMMON NAME	DESCRIPTION
CA	SEE PLANS	---	---	---	CARPENTERIA ACUMINATA	CARPENTERIA PALM	8'W, 10'CT, 18-18"OA, STRAIGHT TRUNK, FULL ROBUST HEAD
REG	SEE PLANS	---	---	---	ROYSTONIA REGIA	ROYAL PALM	4'W, 10'CT, 20-22"OA, BUTTRESSED TRUNK, FULL ROBUST HEAD
WOD	SEE PLANS	---	---	---	WODYETA BIFURCATA	FOXTAIL PALM	10'CT, 16"OA, STRAIGHT TRUNK, FULL ROBUST HEAD
SPD	SEE PLANS	---	---	---	SABAL PALMETTO	CABBAGE PALM	10'CT, 18" MIN. CAL, STRAIGHT TRUNK, 'NO BOOTS', FD
SPD	SEE PLANS	---	---	---	SABAL PALMETTO	CABBAGE PALM	12'CT, 18" MIN. CAL, STRAIGHT TRUNK, 'NO BOOTS', FD
SPD	SEE PLANS	---	---	---	SABAL PALMETTO	CABBAGE PALM	14'CT, 18" MIN. CAL, STRAIGHT TRUNK, 'NO BOOTS', FD
SPD	SEE PLANS	---	---	---	SABAL PALMETTO	CABBAGE PALM	16'CT, 18" MIN. CAL, STRAIGHT TRUNK, 'NO BOOTS', FD
ACCENTS (SPECIALTY)	SITE	PHASE	QUANTITIES	NOTE: ALL SPECIALTY AND ACCENT MATERIAL TO BE FLORIDA FANCY QUALITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
LQ	SEE PLANS	---	---	---	LAEDONSTOMA SPECIOSA	QUEEN GRAPE MYRTLE	10" H X 6" S, 55"TF, 3" CAL
CR	SEE PLANS	---	---	---	CRINUM ASIANUM	CRINUM LILY	38" H X 24" S, 100
SHRUBS AND GROUND COVERS	SITE	PHASE	QUANTITIES	NOTE: ALL SHRUBS, GROUND COVERS, AND ACCESSORIES TO BE FLORIDA NO. 1 QUALITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION
PSN	SEE PLANS	---	---	---	PSYCHOTRIA NERVOZA	WILD COFFEE	20" H X 20" S, 30, 36"OC
IXY	SEE PLANS	---	---	---	ILEX VOMITORIA 'NANA'	DWARF YALPON HOLLY	18" H X 18" S, 30, 24"OC
MUL	SEE PLANS	---	---	---	MULHBERGIA CAPILLARIS	PINK MULHLY GRASS	24" H X 20" S, 30, 36"OC
SER	SEE PLANS	---	---	---	SERENOA REPENS 'SILVER'	SILVER SAW PALMETTO	15" H X 18" S, 30, 36"OC
CLUS	SEE PLANS	---	---	---	CLUSIA ROSEA	PITCH APPLE	24" H X 18" S, 30, 36"OC
BRAS	SEE PLANS	---	---	---	BRASSAIA ABBICOLA	DWARF SCHEFFLERA	24" H X 18" S, 30, 36"OC
CAR	SEE PLANS	---	---	---	CARRISIA MACROPHYLLA	DWARF NATAL PLUM	15" H X 18" S, 30, 24"OC
WAL	SEE PLANS	---	---	---	VIBURNUM OBOVATUM	DWARF WALTERS VIBURNUM	20" H X 18" S, 30, 24"OC
CHR	SEE PLANS	---	---	---	CHRYSOBALANUS ICACO	COCOLAM	20" H X 18" S, 30, 36"OC
RAP	SEE PLANS	---	---	---	RAPHIOLEPS INDICA	INDIAN HAWTHORN	18" H X 18" S, 30, 24"OC
MUL	SEE PLANS	---	---	---	MULHBERGIA CAPILLARIS	PINK MULHLY GRASS	24" H X 18" S, 30, 36"OC
SB	SEE PLANS	---	---	---	SPARTINA BAKERI	CORDGRASS	12" H X 10" S, 10, 36"OC
JUP	SEE PLANS	---	---	---	JUNIPERUS CHINENSIS PARSONII	PARSONS JUNIPER	12" H X 18" S, 30, 24"OC
JAS	SEE PLANS	---	---	---	JASMINUM VOLLBIE	WAX JASMINE	15" H X 18" S, 30, 24"OC
ZAM	SEE PLANS	---	---	---	ZAMIA FLORIDANA	COONTEE	20" H X 18" S, 30, 36"OC
DUR	SEE PLANS	---	---	---	DURANTA ERECTA 'GOLD MOUND'	GOLD MOUND DURANTA	20" H X 18" S, 30, 24"OC
MYR	SEE PLANS	---	---	---	MYRTICA CERIFERA	WAX MYRTLE	24" H X 18" S, 30, 36"OC
SM	SEE PLANS	---	---	---	MYRCANTHES FRAGRANS	SIMPSON'S STOPPER	48" H X 24" S, 100, 36"OC
MULCH	TAKE OFF	---	---	---	STENOCHLOA SECUNDATA	FLORITAM	3" CUT SOD
ROCK	TAKE OFF	---	---	---	ROCK BARRIER	BLDG.	800 STONE
---	---	---	---	---	---	---	NOT APPLICABLE TO THIS PROJECT

MULCH REQUIREMENT:

A TWO INCH LAYER, AFTER WATERING, OF MULCH OR OTHER RECYCLED MATERIALS MUST BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED TREES, SHRUBS, AND GROUND COVER PLANTINGS. EACH TREE MUST HAVE A RING OF MULCH NO LESS THAN 24 INCHES BEYOND ITS TRUNK IN ALL DIRECTIONS.

SCHEDULE NOTES:

- SEE APPROVED/ACCEPTABLE PLANT MATERIALS LIST FOR PLANT SELECTIONS ON THIS PROJECT. MINIMUM NATIVE/EXOTIC RATIOS MUST BE MAINTAINED.
- IF A PLANT SYMBOL IS NOT NOTED ABOVE, THEN THE PLANT IS TYPICALLY NOT ASSOCIATED WITH THE DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING THEIR OWN MATERIAL TAKE-OFFS. WORK TO BE EXECUTED AS HEREIN DRAWN AND SPECIFIED.
- THE PHYSICAL SIZES OF PLANT MATERIAL SPECIFIED SUPERCEDE ANY CONTAINER SIZE CONFLICTS. THE "MINIMUM" DIMENSIONS & CONTAINER SIZES MUST BE MAINTAINED.

IMPORTANT NOTICE TO CONTRACTOR:

- THE CONTRACTOR UPON AWARD OF CONTRACT FOR THE WORK DEPICTED BY THESE PERMIT DOCUMENTS (A.K.A. CONTRACT DOCUMENTS), ACKNOWLEDGES THAT THE DATA, PLANS, TERMS, CONDITIONS, AND COVENANTS HEREIN SET FORTH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO EXECUTE AS APPROVED AND REQUIRED BY THE LEE COUNTY LAND DEVELOPMENT CODE.
- THE CONTRACTOR UPON AWARD OF CONTRACT FURTHER ACKNOWLEDGES THAT ANY SIGNIFICANT DEVIATIONS TO THESE APPROVED PERMIT DOCUMENTS WILL REQUIRE THAT AS-BUILT OR MINOR CHANGE DOCUMENTS WILL BE REQUIRED TO BE PREPARED BY THE LANDSCAPE ARCHITECT AND SUBMITTED TO LEE COUNTY (FOR APPROVAL).
- ANY SIGNIFICANT DEVIATIONS TO THESE PERMIT DOCUMENTS THAT WERE CONDUCTED BY THE CONTRACTOR WITHOUT THE SPECIFIC DIRECTION OF THE OWNER OR APPLICANT SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO RECTIFY, WHERE AND AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, CORRECTING, OR RESTORING ANY DEVIATIONS TO THESE APPROVED PERMIT DOCUMENTS PRIOR TO CERTIFICATION OF SUBSTANTIAL COMPLIANCE AND CERTIFICATION OF COMPLIANCE.
- OR
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS AND EXPENSES OF PREPARING THE LEE COUNTY REQUIRED AS-BUILT OR MINOR CHANGE DOCUMENTS THAT SHALL BE PRODUCED BY THE LANDSCAPE ARCHITECT. THE FEES FOR THIS SERVICE SHALL NOT BE LESS THAN \$750.00 (PLUS AN ADDITIONAL \$100.00 FOR THE MINOR CHANGE APPLICATION FEE, WHERE APPLICABLE) AND SHALL BE PAID BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT PRIOR TO AND AS A PREREQUISITE FOR SUBSTANTIAL COMPLIANCE OF THE WORK ILLUSTRATED HEREIN. ACTUAL AND FINAL FEES SHALL BE DETERMINED BASED UPON THE WORK REQUIRED AND ISSUED TO THE CONTRACTOR FOR PAYMENT. ANY DELAYS IN THE COMPLETION OF WORK OR RECEIPT OF ANY RELEVANT CERTIFICATE OF COMPLIANCE.
- THE CONTRACTOR ACKNOWLEDGES THAT THERE WILL BE DELAYS ASSOCIATED WITH THE PREPARATION OF THE REQUIRED AS-BUILTS (IF AND WHERE APPLICABLE). THE CONTRACTOR FURTHER ABSOLVES THE LANDSCAPE ARCHITECT AND ASSUMES FULL RESPONSIBILITY FOR PAYMENT TO THE LANDSCAPE ARCHITECT AND ANY TIME ASSOCIATED WITH THE PREPARATION OF SAID DOCUMENTS.
- THE CONTRACTOR SHALL BE ABSOLVED OF THE RESPONSIBILITY OF THE AFOREMENTIONED WORK, SERVICES, AND FEES IF THE SIGNIFICANT DEVIATIONS WERE DIRECTED BY THE OWNER OR APPLICANT AND DONE SO IN WRITING AND SUBMITTED TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR MUST ADHERE TO THE FOLLOWING MINIMUM STANDARDS IN ORDER FOR THE EXECUTED WORK TO BE CERTIFIED AS COMPLIANT WITH THE APPROVED DEVELOPMENT ORDER DOCUMENTS AND LEE COUNTY LDC (REGARDLESS OF WHETHER DELINEATED TO THE CONTRARY):
 - NO REQUIRED TREE MAY BE PLANTED CLOSER THAN TEN FEET (10') TO ANY INHABITABLE STRUCTURE OR FOUR FEET (4') FROM ANY CURB, DRIVE, OR SIDEWALK.
 - NO REQUIRED PALM MAY BE PLANTED CLOSER THAN EIGHT FEET (8') TO ANY INHABITABLE STRUCTURE.
 - NO REQUIRED TREE MAY BE PLANTED WITHIN TEN FEET (10') OF ANY OVERHEAD POWERLINES.

CONCEPTUS

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Fort Myers, Florida 33901

Phone: 239.334.9144
Fax: 239.334.9590
WEB: www.CLATI.com
Email: mail@CLATI.com

Exhibit H-2.B.2.

TAMIAMI TRAIL DEALERSHIP
ESTERO, FLORIDA

PREPARED FOR:
SUNCOAST AUTOBUILDERS, INC.
5180 113th AVENUE NORTH
CLEARWATER, FLORIDA 33780

Sheet Title:
LANDSCAPE DETAILS and SCHEDULES

Registration:

WILLIAM E. PRYSI, RLA, ASLA
REGISTERED LANDSCAPE ARCHITECT
FLORIDA LICENSE NO. 00001342

SCALE: N.T.S.
0 0 0 0

Notice of Copyright:
THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF CONCEPTUS LAND ARCHITECTURAL TECHNOLOGIES, INC. THEIR USE IS FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE OF THESE DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF CONCEPTUS LAND ARCHITECTURAL TECHNOLOGIES, INC. IS PROHIBITED. ANY UNLAWFUL USE OF THESE DOCUMENTS WITHOUT THE WRITTEN APPROVAL OF CONCEPTUS LAND ARCHITECTURAL TECHNOLOGIES, INC. SHALL BE CONSIDERED A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

Principal-in-Charge:	WEP	Date:	2003-09-24
Designed By:	WEP	REVISIONS:	DATE:
Drawn By:	MFR		
Project No.:	03047		
File No.:	03047-02-147 (2/10/2003/000000)	03047-02-147 (2/10/2003/000000)	2003-09-24
Master Attachments:	03047-XMasterCode_v1d	03047-XMasterCode_v1d	2003-09-24
Sheet No.:	LC-3		

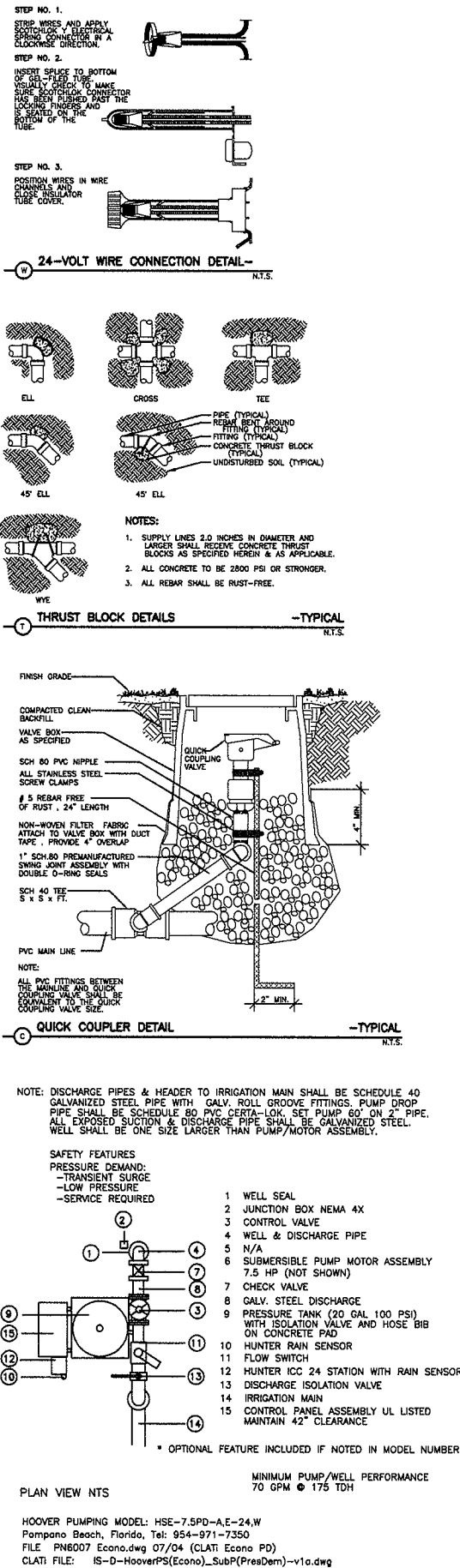
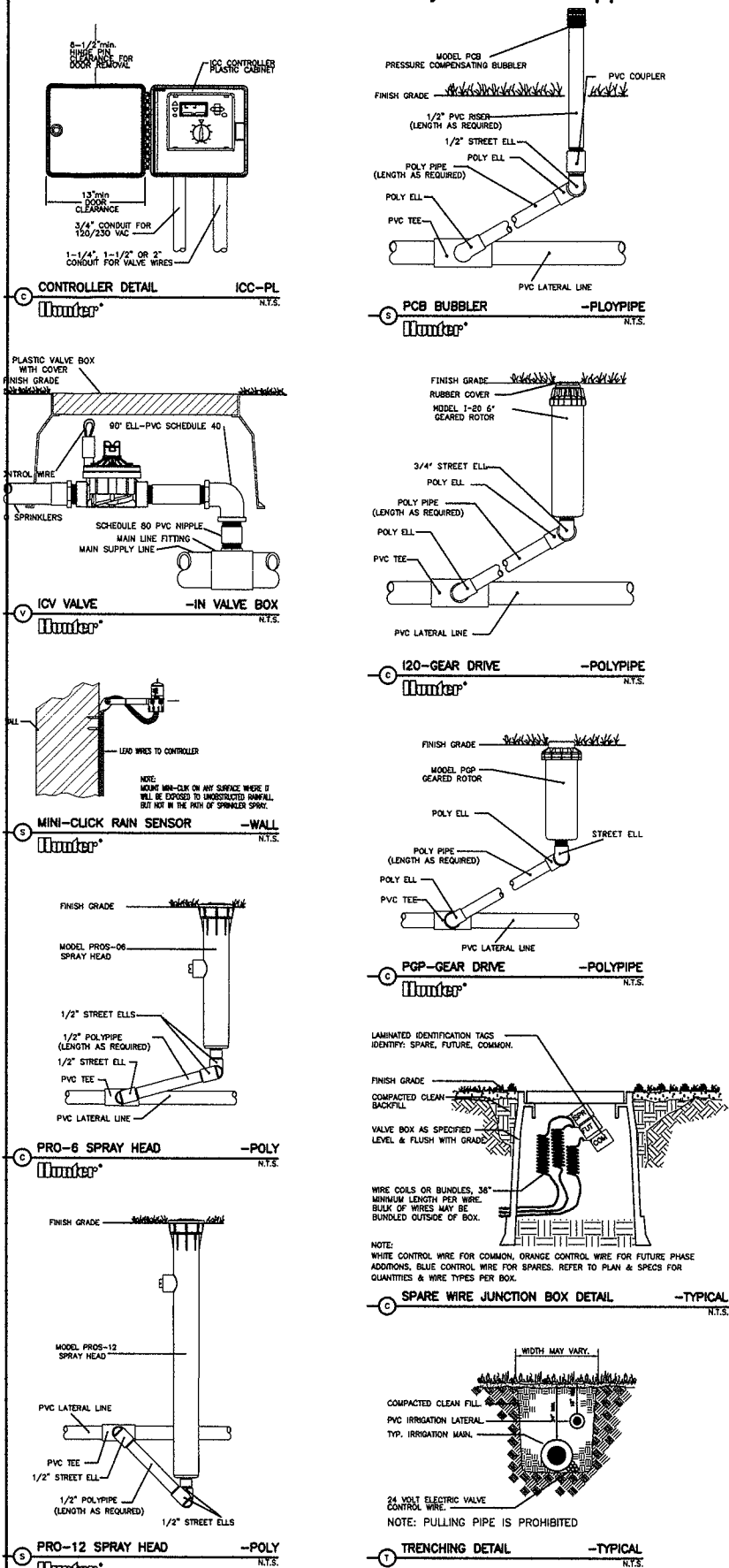
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SHEET OF

PERMIT NUMBER
MAY 05 2008

ADD 2008-00029

IRRIGATION INSTALLATION DETAILS:

IRRIGATION DETAILS (Substitutions Only with Written Approval):



IRRIGATION INSTALLATION GUIDELINE REQUIREMENTS:

IRRIGATION SYSTEM PLAN and LAYOUT

FORMAL IRRIGATION SYSTEM DESIGN DOCUMENTS:
Formal Irrigation System Design Documents (Plans) have been prepared by the LANDSCAPE ARCHITECT and are hereby a part of the Contract Documents for the work described herein. Said Formal Design Documents are not, however, part of the LDC submittal documents. The CONTRACTOR shall assume full responsibility in contacting the LANDSCAPE ARCHITECT prior to bidding or the execution of work to ensure the Owner that said Formal Irrigation System Design Documents (Plans) have been acquired and included with these submittal documents. The aforementioned plans shall be inserted into these submittal documents upon receipt of the Lee County Development Order for this project and made part of the Contract Documents for the work depicted and described therein.

IRRIGATION SYSTEM CONDITIONS PER LDC

- IRRIGATION:** The applicant shall, at a minimum provide an irrigation system that maintains 100% coverage for the plant materials installed in compliance with all applicable codes, regulations, and resolutions. The irrigation shall, at a minimum, contain the following elements: (1) Irrigation heads providing 100% coverage, (2) complete delivery system, (3) water source; well, potable, or effluent, (4) Rain Sensor Device, (5) Backflow Prevention Device; where applicable.)
- IRRIGATION:** All components of the irrigation system will be designed, installed, and maintained to minimize the overflow or application of water to all and any indigenous or natural preserve areas as defined by code. The system shall also be designed, installed, and maintained to minimize any overflow onto impervious surfaces.
- TYPICAL CONNECTION STANDARDS:**
 - Rotor type spray heads will NOT be accepted for irrigating shrub beds unless specifically approved by the Landscape Architect. All shrub beds shall be provided with irrigation from not less than two (2) directions. Single head irrigation strips in beds larger than three feet (3') are not acceptable.
 - Irrigation System As-Built Drawings shall be kept at all times and shall be made available for review on demand. As-Built Drawings must be made available prior to the required Certification walkthrough.
 - The Irrigation Contractor shall review these and the Engineer's Paving and Grading Plans for the sleeve size and locations and shall verify if said sleeve sizes and locations are compatible with the intended system to be installed prior to construction.
- NOTICE SUBMITTAL DOCUMENTS REQUIRED:**
 - Irrigation Contractor shall provide Record Drawings to the Landscape Architect prior to the commencement of work for all components of the proposed irrigation system for approval. Failure to do so may result in the re-execution of work or delay in receiving the Certificate of Compliance.
 - Irrigation Contractor shall provide Shop Drawings to the Landscape Architect prior to the commencement of work for all components of the proposed irrigation system for approval. Failure to do so may result in the re-execution of work or delay in receiving the Certificate of Compliance.
- REQUIRED PERMITS:**
 - Irrigation Contractor shall be responsible for acquiring all necessary permits to install the system defined by these documents. Said permits to include all well and water use permits required by all local jurisdictions, including the South Florida Water Management District, where and when applicable.

SYSTEM SPECIFICATIONS and GUIDELINES:

CONDITIONS OF LEE COUNTY LDC:
Note: The Contractor acknowledges that Irrigation System components are required by part of the Development Order process. Formal drawings have been prepared by the LANDSCAPE ARCHITECT, however are not part of the LDC Submittal. Therefore, it is the specific responsibility of the CONTRACTOR to acquire and ensure that the system is installed in accordance to the drawings prepared by the LANDSCAPE ARCHITECT. As-Built drawings, prepared by the CONTRACTOR, shall be submitted to the LANDSCAPE ARCHITECT in conjunction with the system walkthrough prior to the issuance of the Certificate of Compliance. The CONTRACTOR acknowledges that the LANDSCAPE ARCHITECT can not & will not approve the system for compliance without said As-Built and approved Walkthrough. DEVIATIONS TO THE SYSTEM DESIGN WILL REQUIRE A FEE FROM THE CONTRACTOR IF DEVIATIONS ARE NOT OWNER DIRECTED AND IN WRITING. FEE DUE PRIOR TO SUBMITTAL FOR CC.

- SCOPE OF WORK:**
- Formal Irrigation drawings have been prepared for this project. The CONTRACTOR shall adhere to the standards defined in these Permit documents and to design and product specifications illustrated. Where conventional practices and these standards conflict, the standard defined herein shall govern.
 - CONTRACTOR shall provide all labor, materials, services, specified products, and equipment necessary for the complete installation of depicted irrigation system.
 - CONTRACTOR hereby concedes to the OWNER that time is of the essence and that any damages occasioned by the CONTRACTOR's failure to complete the work by the dates established in the contract, where applicable, shall be reimbursable to the OWNER.
 - If at any time, conflicts between the CONTRACTOR's installation and the Contract Documents are encountered, the CONTRACTOR, the LANDSCAPE ARCHITECT, or the OWNER, shall have the CONTRACTOR revise, modify, rework, or repair the work product in question at the CONTRACTOR's time and expense.
- QUALITY ASSURANCE:**
- The CONTRACTOR shall be responsible for thoroughly reviewing the Contract Documents herein and made part of these standards. The CONTRACTOR shall be responsible for providing 100% coverage to all plant material shown and identified, including turf areas, unless depicted otherwise on the Formal Irrigation Design Documents.
 - CONTRACTOR qualifications shall be a firm specializing in irrigation work with not less than five (5) years of experience in installing irrigation systems similar to the type and scope herein referenced. The CONTRACTOR shall also be fully licensed to practice irrigation work in the state and local jurisdiction.
 - The OWNER or LANDSCAPE ARCHITECT shall have full authority to approve or reject work performed by the CONTRACTOR. The OWNER and LANDSCAPE ARCHITECT shall also have full authority to make field adjustments as deemed necessary.
- SUBMITTALS:**
- Record Drawings: The OWNER shall furnish the CONTRACTOR with a set of clean original irrigation drawings provided for the project for the purpose of having the CONTRACTOR record all the physical components of the irrigation system on said drawings. The CONTRACTOR shall delineate on the prints the following minimum components:
 - Mainline and elbows.
 - Valves, quick couplers, gate valves, etc.
 - Controller & Rain Sensor.
 - See Supplemental Notes for further detail of As-Built submittal requirements.
 - The CONTRACTOR shall submit the Record Drawings to the LANDSCAPE ARCHITECT prior to the issuance of the Certificate of Compliance for review. The CONTRACTOR shall have the CONTRACTOR to record all required and relevant system information and to submit in a timely fashion may result in non-compliance with the Code in effect. The LANDSCAPE ARCHITECT requires, at a minimum, 72 hours to review and respond.
 - CONTRACTOR shall furnish to the OWNER the following loose equipment:
 - Three (3) quick coupler keys and matching swivel hose ends (if applicable).
 - Two (2) gate valve keys and two (2) controller keys.
- PROTECTION OF PROPERTY - PUBLIC HEALTH, SAFETY, AND WELFARE:**
- The CONTRACTOR shall be responsible for the location and protection of utilities and services both underground and overhead. The CONTRACTOR assumes all liability for damages to said utilities and services.
 - Refer to the General Landscape Specifications, Section 3 for additional standards under this category (when applicable).
- COMPLETION AND ACCEPTANCE:**
- The completion of work to the irrigation system will be accepted only when the entire system is completed to the satisfaction of the LANDSCAPE ARCHITECT or OWNER. All plant beds indicated on the drawings shall have complete (100%) coverage before the work will be accepted. By completion of the work depicted by the Contract Documents, the CONTRACTOR assumes all assurances to apply and abide by all applicable permits.
 - The acceptability of material, components, workmanship, labor, and compliance with these specifications shall be solely determined by the LANDSCAPE ARCHITECT.
 - Right to Reject: The LANDSCAPE ARCHITECT will have the right, at any stage of the work, to reject any and all work, materials, and components which, in his opinion, does not meet the requirements herein set forth.
 - Record drawings shall be delivered to the LANDSCAPE ARCHITECT for approval. Upon approval, the LANDSCAPE ARCHITECT will forward the record drawings to the OWNER. Approval by the LANDSCAPE ARCHITECT is solely in reference to meeting the intent of applicable local regulations. No assertion is warranted on quality or application.
- WARRANTY:**
- The CONTRACTOR shall warrant and guarantee from defect and malfunction all workmanship and materials for a period of one (1) year from the date of Final Acceptance.
 - The CONTRACTOR further agrees that he will, at his own expense, repair and/or replace all such defective work and materials and all other work damaged thereby and which becomes defective during the term of the guarantee-warranty in an expedient manner.
 - The OWNER retains the right to make emergency repairs without relieving the CONTRACTOR'S obligation. In the event the CONTRACTOR does not respond the OWNER'S request for repair work under the CONTRACTOR'S warranty within a period of 48 hours, the OWNER may make such repairs as he deems necessary, at the full expense of the CONTRACTOR.

GUIDELINES...continued

- LIMITATION OF LIABILITY:**
- These Contract Documents (drawings, illustrations, specifications, etc.) are provided by the LANDSCAPE ARCHITECT for the purpose of depicting a professional irrigation system application which yields 100% coverage over the plant materials shown and specified on the drawings. The CONTRACTOR is responsible for providing the Owner with a sufficient pre-installation walk-through shall the minimum standards defined herein. The CONTRACTOR shall also be responsible for coordinating with others and in applying for and receiving all permits from all applicable Jurisdictional Agencies (where & when applicable). The LANDSCAPE ARCHITECT does not apply for any permits unless noted.
 - The CONTRACTOR shall be responsible for providing a complete set of As-Built Drawings that clearly documents the system installed as shown herein. The CONTRACTOR shall also be responsible for submitting said As-Built to the LANDSCAPE ARCHITECT for review and approval. The CONTRACTOR shall assume full liability and shall hold harmless the LANDSCAPE ARCHITECT against any claim for failure of the system or to prepare and submit acceptable As-Built documents of the system installed.
- RAIN SENSOR DEVICES:**
- The CONTRACTOR shall provide an automatic Rain Sensor Device that is appropriately connected to the controller for the system. Said device shall be located in a manner to serve its function (i.e. not located under cover or shelter). The device shall be provided by an common and acceptable manufacturer unless specified on the drawings.
- CONTROLLERS:**
- The CONTRACTOR shall be responsible for providing the specified automatic controller that services the entire irrigation system. Said controller shall be zoned to address water restriction windows and shall also be protected from lightning and power surges.
 - The CONTRACTOR shall coordinate the installation of the specified Controller with the Owner, as detailed, if located other than shown on the drawings.
- MATERIALS:**
- The CONTRACTOR shall provide products from the following list of acceptable manufacturers for the specified components. Failure on the part of the CONTRACTOR to furnish the listed acceptable products are at their risk of rejection & replacement. PRODUCTS LISTED ON THESE DRAWINGS SHALL BE INSTALLED AS SPECIFIED:
 - Rotor, Spray, and Bubble heads (Shop Drawings Required):
 - HUNTER (I-Series)
 - HUNTER (PGF-Series)
 - HUNTER (Industrial and Pro Series, or SRS Series - 6"Pop or over)
 - Automatic Control Valves (Shop Drawings Required):
 - HUNTER (PGV or HPV Series)
 - HUNTER (HPV Brass Series)
 - HUNTER (ASV Anti-Siphon Series)
 - Controllers (Shop Drawings Required):
 - HUNTER (ICC Series)
 - HUNTER (SPC Series). Light usage only
 - Backflow Preventors & Meters (Shop Drawings Required):
 - FEBCO
 - FRANKLIN
 - or as required by local authorities.
 - DEVIATION TO OR ALTERNATIVE PRODUCT USAGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE OWNER AND/OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEM AND PRODUCTS HEREIN SPECIFIED.
 - Polyvinyl Chloride Pipe (PVC):
 - All PVC pipe shall be homogeneous throughout, free from visible cracks, holes, and foreign materials. The pipe shall be free from blisters, dents, ripples, extrusions die and heat marks.
 - All PVC pipe shall be continuously and permanently marked with the manufacturer's name or trademark, kind and size (IPS) of pipe, material, manufacturer's lot number, schedule, class, or type, and the NSF seal of approval.
 - Piping under constant pressure, upstream of control valves shall be, at a minimum, PVC 1120/1220, SCH-40. Pipe sizes 3" or larger shall be bell and gasket type. Pipe size 2-1/2" or smaller shall be solvent weld type.
 - Piping on non-constant pressure side of control valves shall be, at a minimum, PVC 1120/1220, Class 200. Pipes shall be solvent weld type.
 - Sleeves shall be provided for all piping running under concrete, paving or any fixed elements. All sleeves shall be PVC 1120/1220, Schedule 40, not less than 2 sizes larger than the pipe size running through it.
 - Pipe fittings shall be PVC 1120/1220, Schedule 40.
- Automatic field controllers shall be equipped with all available electrical surge and lightning protection devices provided by the manufacturer. Protection devices not supplied by the manufacturer shall be as recommended by the manufacturer as to provide a maximum degree of protection.
 - Low voltage control wire (24 Volt) shall be #14 AWG UL listed single conductor solid copper, type UF, 800 volt tested wire for direct burial installation.
 - All risers shall be sized appropriately to the head and shall be PVC 1120/1220, SCH-40.
- BACKFLOW PREVENTION DEVICES (WHERE APPLICABLE):**
- The CONTRACTOR shall be responsible for coordinating and receiving approvals from the relative water service utility agency in effort to gain approval for connection of the proposed irrigation system to the potable water source.
 - No detail is given for backflow prevention devices. The CONTRACTOR coordinate the installation of the appropriate device as required by the relative agencies' standards.
- IRRIGATION WELL AND PUMPS (WHERE APPLICABLE):**
- The CONTRACTOR shall be responsible for coordinating and receiving approvals from the County and Water Management District in effort to gain approval for the drilling and encasement of an adequate well and pump system suitable for the project. The CONTRACTOR shall be responsible for providing full operational well system.
 - A Pre-Manufactured Well & Pump Station Detail is provided, any variation of this design by the CONTRACTOR shall assume full responsibility and hold harmless the LA there to.
- EXECUTION:**
- Layout:** The CONTRACTOR shall carefully review the landscape plans prepared for this project to fully understand the nature, complexity, and necessary coverage to be provided by the irrigation system. The CONTRACTOR shall coordinate with the LANDSCAPE ARCHITECT to provide complete coverage to all plants herein indicated and referenced to the satisfaction of the LANDSCAPE ARCHITECT. CONTRACTOR shall provide head coverage to plant beds from at least two (2) directions, three (3) if the plant bed is greater than 18 feet in width. Linear applications count as a single source.
 - Spacing:** Rotor head types and spacings shall not exceed 30 feet. Spray head types and spacings in plant beds shall not exceed 12 feet. Bubblers shall be set as noted.
 - Rotor Heads:** All turf applications shall utilize rotor heads whenever possible. All turf area coverage shall be taken independently from plant bed zones. Rotors whose head capacity exceeds 6 GPM shall be installed with triple swing joints. At no time shall rotor head coverage be used to irrigate plant (shrub) beds.
 - Spray Heads:** All plant beds shall be irrigated with spray applications on centers not to exceed 12 feet. Riser may be used only where installed or existing plant material completely hides the riser from view. If riser are visible, the CONTRACTOR shall be responsible for converting said risers to pop-up type heads. All ground cover materials shall utilize 12 inch pop-ups. All shrub materials and turf areas shall utilize 6 inch pop-up type heads.
 - Control Valves:** Install control valves in valve boxes, grouping together where possible. Place valve boxes no closer than 12 inches from walks, buildings, and walls.
 - Valve Boxes:** shall be set flush with the ground (finished grade) in lawn areas and one half inch (1/2") above finished grade in ground cover and shrub bed areas. Install all valve boxes to avoid direct contact with PVC irrigation piping. Following valve box installation, place gravel or sand as indicated in the detail. CONTRACTOR shall label and number all zone valve box covers with the corresponding controller zone number. Numbers shall be applied using a weather resistant type or point.
 - Controllers:** shall be field located by the OWNER or LANDSCAPE ARCHITECT. Controllers shall be installed as referenced and by the manufacturer's recommendations. See acceptable manufacturers for type.
 - The CONTRACTOR shall pressure test and flush all irrigation lines prior to head applications and system completion.
- SUPPLEMENTAL NOTES:**
- These Specifications, Details, and Guidelines along with the Formal Design Drawings constitute the Contract for the work depicted herein. If not followed in strict accordance thereto:
 - These documents are for the sole purpose of providing guidelines for the design and installation of an irrigation system by others. The LANDSCAPE ARCHITECT assumes no responsibility for the actual system implemented. The OWNER/Applicant shall be responsible for coordinating the installation of a system that meets the requirements set forth by the applicable regulations and industry standards.
 - The CONTRACTOR shall be responsible for preparing and submitting a complete set of As-Built drawings that clearly illustrates all the components of the system installed. Said As-Built shall include the following:
 - All Sleeve locations, Sub-outs w/ pipe sizes.
 - All Delivery System components: heads, valves, couplers, & piping with sizes.
 - All supporting component elements: gate valves, controllers, rain sensors, etc.
 - Control valves, if monitored, checked & referenced with parts.
 - The Date of System Installation and Total Cost.
 - If the system installed is exactly per the Formal Drawings provided, the CONTRACTOR shall submit written testimony to attest that the installation is per plan.

CONCEPTUS
Land Architectural Technologies Inc.
2149 McGregor Blvd., Suite 2
Fort Myers, Florida 33901
Phone: 239.334.9144
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Email: mail@CLATI.com

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WEB: www.CLATI.com
Email: mail@CLATI.com

Exhibit H-2.B.2.

TAMIAMI TRAIL DEALERSHIP
ESTERO, FLORIDA
RECEIVED
MAY 05 2008
PERMIT CENTER

SUNCOAST AUTOBUILDERS, INC.
5180 113th AVENUE NORTH
CLEARWATER, FLORIDA 33760
PREPARED FOR:

Sheet Title:
IRRIGATION DETAILS and GUIDELINES

Registration:

WILLIAM E. PRYSL, RLA, ASLA
REGISTERED LANDSCAPE ARCHITECT
FLORIDA LICENSE NO. 50001342
SCALE: N.T.S.

Notice of Copyright:

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Principal-in-Charge:	Date:
Designed By: WEP	REVISIONS: DATE:
Drawn By: MRR	
Project No.: 03047	
File No.: 03047-01 (2/20/2008)	
Master Attachments:	
03047-XMasterCode-v10	
Sheet No.: LC-4	

ATTACHMENT B

March 21, 2008

To: Bob Bontrager, Project Superintendent
Suncoast Auto Builders

From: Gail Beddes, President
The Manors at Fountain Lakes Condominium Association, Inc.

Re: Landscaping along Western Buffer of Project
Tamiami Trail Dealership, Permit # COM2005-03547

Dear Mr. Bontranger:

Pursuant to our recent meeting and conversations with respect to the required buffer along the west side of the Tamiami Trail Dealership, Permit # COM2005-03547 and in agreement with the Owners of Fountain Lakes Community Association, Inc., we respectfully request that the existing continuous plantings of Areca Palms currently in-place remain as is and stand as the required buffer along the west side of the buffer wall. We acknowledge that in order to install the buffer that was originally approved would require that these palms be removed. We prefer that the existing palm hedge remain as it provides an existing planting screen against the adjacent commercial development. Based on the available property, we also recognize that additional planting on the west side of the buffer wall is not possible to do on the commercial property. Recognizing this, any effort to provide the necessary tree buffer on the east side of the wall consistent with respect to the power lines would be appreciated by our community.

Thank you for your consideration.

Sincerely,



Gail Beddes, President
The Manors at Fountain Lakes Condominium Association, Inc.



GABRIELLE HARTMANN
MY COMMISSION # DD 407046
EXPIRES: March 14, 2009
Bonded Thru Budget Notary Services

cc: Fountain Lakes Community Association, Inc.



March 21, 2008

To: Bob Bontrager, Project Superintendent
Suncoast Auto Builders

From: John Rellias, President
Fountain Lakes Community Association, Inc.

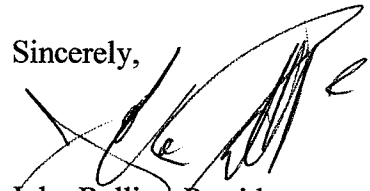
Re: Landscaping along Western Buffer of Project
Tamiami Trail Dealership, Permit # COM2005-03547

Dear Mr. Bontranger:

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Thank you for your consideration.

Sincerely,


John Rellias, President
Fountain Lakes Community Association, Inc.





GABRIELLE HARTMANN
MY COMMISSION # DD 407046
EXPIRES: March 14, 2009
Bonded Thru Budget Notary Services

cc: The Manors at Fountain Lakes Condominium Association, Inc.

ATTACHMENT C
ESTERO COMMUNITY PLANNING PANEL
Minutes of Public Meeting #98 - April 21, 2008
Estero Community Park, Estero, Florida

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Panel Members Present: Jack Lienesch, Acting Chairman, Estero Civic Association; Greg Toth, Estero Development Community, John Goodrich, Estero Council of Community Leaders; Tom O'Day, ECCL; Dan DeLisi, Estero Development Community; Lin Welch, Estero Chamber of Commerce. Recording Secretary: Jim Ramsburg, ECCL; Treasurer: Beverly MacNellis, ECCL.

Lienesch called the meeting to order at 6:03 PM.

Public Participation: Fourteen participants were present including six members of the general public. Ramsburg reported that public notices of the meeting were published in the Fort Myers News-Press, the Bonita Daily News and the Bonita Banner. Notices were posted on the Internet in the Estero Development Report and on the Web sites of the ECCL/ECPP/EDRC/ECA and Estero Fire Rescue. A paid advertising notice of the meeting was placed in the Bonita Banner of April 15th. Notices of the meeting were posted in the South Regional Library, Colonial Bank, Estero Community Park and Realty World of Estero.

Secretary's Report: Ramsburg distributed minutes of the March meeting. Goodrich: Motion to accept minutes. Toth: Second. Report accepted unanimously.

Treasurer's Report: MacNellis reported a current balance of \$1,304.75 in the Community Planning Panel account on deposit at Colonial Bank in Estero. O'Day: Motion to accept. Toth: Second. Report accepted unanimously.

Developer Presentation - Art District at Rapallo: Developer Jim Wallace and Bill Prysi presented a proposal to revise the landscape buffering between Rapallo and the east side of US 41 at, and to the south of, Williams Road as proposed in the original DRI. The new plan would increase the number of palm trees and space them in clusters which would permit visibility of buildings and signage within the development from US 41. New designs were also presented to enhance the landscaping of the existing sidewalk between Rapallo and US 41 to create an attractive "rhythmic path" similar to that within The Brooks. The Panel was unanimous in its support of the change and complimented Wallace on its appearance as illustrated in presentation renderings.

Zoning Amendment Request - Tamiami Trail Auto Dealership: Prysi presented a zoning amendment request concerning a fence/landscape buffering between the rear of Tamiami Trail Auto - located on the west side of US 41 between Coconut Point Ford and the entrance to the Fountain Lakes residential community. The current zoning calls for a chain link fence and landscaped buffer separating the rear of the auto dealership and the east side of Fountain Lakes. Prysi said that a six foot wall has already been constructed on a two foot buffer and landscaping that exceeds the original zoning requirement is in place and growing to obstruct the view of the business from neighboring residences. The Panel unanimously supported the amendment.

I-75 Widening: Lienesch reported that current Florida Department of Transportation "cure" plans for the widening of I-75 north of Corkscrew Road have been substantially modified to accommodate the recommendations of this panel and of the EDRC. As a result, the impact to the landscape buffering due to the road construction will be minimized between I-75 and Germain Arena on the road's east side, and the Villagio residential community and B&W Golf Cart facility on its west side.

Panel Meeting Dates: Lienesch reported that Panel meeting dates have been advanced to the third Monday of each month and meeting facilities at Estero Community Park have been reserved through December, 2008.

Signage Issues: Goodrich reported problems in creating a photo album of signage in the area to illustrate examples of what could be considered permissible and/or objectionable signage in the community. He said a committee consisting of Beverly MacNellis, Bill Prysi, Doug Pastre of Lee Designs and himself would meet to determine the logistics of meetings and public workshops leading to an updating of signage zoning in Estero. DeLisi and Toth strongly recommended obtaining legal counsel to guide the committee and the Panel in the preparation of its requested zoning amendments.

Panel Funding: Lienesch reported that means are still being explored to fund Panel and EDRC activities and provide additional funds for professional support. Toth recommended an immediate request to Lee County for grant monies to fund specific projects. The Panel discussed the possibilities of private funding through presentation fees and/or means of soliciting funding from the development community and related professional services.

David Graham Award: Lienesch reported that five nominees have been entered for the design excellence award. The nominating committee will meet on April 29th to review the applications and select a 2008 winner.

Toth: Motion to adjourn. DeLisi: Second. Motion passed unanimously. Meeting adjourned at 7:28 PM.

NEXT MEETING: 6:00 PM, MONDAY, MAY 19TH, ESTERO COMMUNITY PARK.

ADD 2008-00029



Public Meeting
April 9, 2008 at 5:00 P.M.
The Estero Recreation Center
9200 Corkscrew Palms Blvd.

Meeting Time: 5:00 P.M.

Members in Attendance: Tom O'Dea, Gordon Lyons, Al O'Donnell, Bob Melzer, Nancy Cohen, Bill Prys, and Joe McHarris

Absent: Gerald Simons and Jim Wallace

Chaired By: Tom O'Dea

Minutes By: Ramona Thomas

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COMMUNITY DEVELOPMENT

Meeting called to order.

Opening Remarks:

The Chairman noted that one of the committee members was absent because his brother died suddenly. The committee expressed their sympathy and condolences to Jim Wallace and his family.

It was reported that there are signs being put up that do not conform to the Estero community's interpretation of the Lee County signage review staff has not been cooperating with EDRC in insisting that all signage in Estero must first be reviewed by the EDRC. All future signs will come before the EDRC for review. The EPPC is doing a study to determine recommended changes to clarify the current signage code.

The Bonita Health Center will be painting their facility and is changing colors and asked that the committee review the selected colors. It is not currently required for approval of colors by the EDRC. EDRC will continue to work on the "Urgent Care" sign being changed to conform to code.

However, the EDRC voted unanimously in favor of the proposed colors for the painting of the Bonita Health Center.

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Approval of the minutes of the March 12th meeting was called for. A motion to approve the minutes was made, seconded and carried unanimously. Minutes were approved with no changes.

Applicant:	Fine Mark National Bank and Trust
Location:	The Brooks Town Center, Three Oaks Parkway and Coconut Road
Presented by:	Ramon Acevedo of Gora McGahey Associates in Architecture

Discussion on Site Plan:

Edward McDonald from Hole Montes presented site plans for Fine Mark National Bank and Trust located in The Brooks Town center, a 9390 sq ft 2-story bank on the SW corner of the outparcel. There will be a reduced size of the phase 3 & 4 buildings to compensate for the additional square footage of the bank, which went from 1-story to 2-story and will be using same colors as the Brooks building. The drive through changed to 2 lanes, all parking and remaining site plan is the same. The east facing entry has a colonnade created that reaches to the south side of the building, and includes a second entrance to the front door. The building consists of a cast stone base with stucco bands of rock like material, barrel tile roof, trim around windows of raised stucco, blue window frames with blue canvas awnings, and a setback for the second story. The east side includes a stairwell. The north elevation has offices above and will have blue awnings on windows. The roof structure over drive through is a solid roof. The intent of the building design & color is to match & blend the surrounding buildings on the parcel. The landscaping for the bank consists of grouped cabbage palms at the SW and SE corners of the building using same plant palate as remaining site, Montgomery palms on north & south elevations to screen stair element, jasmine vines on south side, hollies on north side, lower plantings of simple native plants. Dense mass of oaks & cabbage palms on north edge of property extending from NW corner to the dumpster to create layers, various trees which include slash pines to provide buffer along north side of property

Comments:

- ❖ EDRC noted that a portion of the building frontage perimeter landscaping consists of parking to walk to building without a landscape break. However, the committee supports the methodology the applicant has presented utilizing architectural elements to create a pedestrian court.

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- ❖ Noted that the tree sizes specified need to meet the minimum sizes discussed in chapter 33. Also noted some concern in getting tree from ligustrum at the required minimum size if used as required trees.

The EDRC voted in favor of issuing the DO letter with comments as noted. Motion carried unanimously.

Applicant: Bank of America
Presented by: Architectural Design Collaborative, Karen Anderson

Discussion:

Karen Anderson presented Bank of America which is currently under construction and had a sighting mishap causing the building to be 7.3 feet further east on the site so they are seeking a site amendment. The building is shifted to the east, closer to US41, and will now include a total of 36 parking spaces. Parking on the east side of the building is being eliminated. The landscape buffer is being made wider, and all utilities are moved closer to the road & unaffected by the building. The transformer is set closer to the building and the building design did not change.

Comments:

- ❖ Add three (3) palms with staggered heights of 16-24 feet on to SW corner of the building to help define the elevation.

The EDRC voted in favor of issuing the site amendment with comments as noted. Motion carried unanimously.

Applicant: Kohl's
Location: Coconut Crossing, corner of US41 and Coconut Road
Presented by: Joseph J. Jurewicz PE, Project Engineer, Staples of Scott & Gobel Architects, Brad Guarino, Development Manager, J.E.D

Discussion:

Brad Guarino & Joe Jurewicz presented changes to Kohl's per the comments of the January 2008 EDRC meeting. The roofline over Kohl's signage is made a complete gable with hip roofs. Added eave & soffit on front roof line to match vernacular & soften. the north & south elevation towers have been made complete

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with 4-sided hip roofs. Railings on the towers have been completed with faux window treatments made of black tile. The Serengeti finish is removed & is now an efface finish. Roof tile color is same as on Lowe's building. Added more contrast in colors and diamond medallions. Sable palms are added on rear of building with variation of heights.

Comments:

- ❖ The number of sable palms needs to be increased (approximately 60%) at heights that break up the roof line on the south and west side.
- ❖ Add four (4) royal palms, one each to the corners of both Kohl's main entries, move the planters closer to driveways to make relationships to buildings more conducive to large palms.
- ❖ Tenant signage must be lit letters on an opaque background. Project logo must be reverse channel lit lettering.
- ❖ Monument Sign design (form) does not relate to the project architecture well enough.
- ❖ Bring signage back with changes and indicate letters will be back channel lit.

The EDRC voted in favor of issuing the DO letter with comments as noted. Motion carried 5 to 1 with Bill Prysi opposing.

Applicant: Tamiami Ford Dealership

Presented by: Bill Prysi, President Conceptus Land Architects, Inc.

Discussion:

Bill Prysi, of Conceptus Land Architect, Inc. presented a proposed zoning amendment for the buffer which exceeds the intent of the original buffer. The original zoning buffer calls for a fence on the DO and there is now a wall in place, in lieu of a "fence" which Fountain Lakes planted areca palms along the wall on the side facing their community and do not want the areca palms or the wall removed. The amendment consists of adding 44 cabbage palms of staggered height placed between the wall and the existing cypress trees, Sixteen foot laurel oaks are scattered into the buffer. Letters from the owner and Fountain Lakes are also included in the package. The application is compliant with the intent expressed in the original DO order. There are power lines located in the buffer but no easement.

Comments:

- ❖ EDRC has no objections and would be in support of it being compliant.

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COMMUNITY DEVELOPMENT

Applicant: The Art District at Rapallo

Presented by: Bill Prysi, President Conceptus Land Architects, Inc.

Discussion:

Bill Prysi of Conceptus Land Architect and Ned Dewhirst of Oakbrook Properties presented plans for the buffer located along US41 which was put in place two years ago per a zoning amendment and DO approval. This buffer creates an issue which covers the area along where commercial marquee signage will go. There are 10 trees per 100 feet with a double row hedge for the minimum which calls for 50% actual trees, 50% palms, 197 trees require having 100 trees on the increased landscape plan.

Presenting a betterment plan to the zone along the sidewalk, will pull in trees at the buildings to bring up & ungulate providing an opening at the marquee views. The proposed amendment conceptually makes sense, will keep shade trees in the buffer and have added trees to the back of the art center theatre. Oakbrook supports the revised buffer and thinks it would be good.

Comments:

- ❖ The EDRC supports the deviation to the zoning of the proposed design versus the original design and installation applied with the caveat that the new buffer design provides transitional design elements from the old buffer into the new.
- ❖ The proposed design constitutes a "better" approach to the subject of the required landscape buffer responsive to the site, proposed architecture and original intent of the previous buffer installed.

The EDRC voted in favor of the deviation to the zoning with comments as noted and as long as it "blends" with the landscaping at the southern end of the Rapallo site. Motion carried unanimously.

Applicant: Riverwoods Kiosk & Pavilion

Presented by: Joe McHarris, McHarris Planning & Design

Discussion:

Joe McHarris presented plans for the Riverwoods Kiosk & Pavilion which is internally located in the Riverwoods community and will not be viewed externally. The structure will house mailboxes as they are required by the Postal Service to be externally placed. It is an open structure, metal roof with wood structure, no tile

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located in project, and the kiosk & pavilion will be plantation style to match the project theme.

The EDRC voted in favor of issuing the DO letter. Motion carried unanimously.

There being no further business to come before the committee the meeting was adjourned.

Next Meeting: Next EDRC Meeting will be held on Wednesday, May 14, 2008 at the Estero Park Community Center.

ADD 2008-00029

ATTACHMENT D

STAFF REPORT FROM DEPARTMENT OF COMMUNITY DEVELOPMENT DIVISION OF ENVIRONMENTAL SCIENCES

Date: June 6, 2008

To: Mikki Rozdolski, Planner

From: Becky Sweigert, Principal Environmental Planner

Phone: (239) 533-8552

E-mail: rsweigert@leegov.com

Project: Tamiami Trail Dealership (aka Coconut Point Ford) Revised

Case: ADD2008-00029

STRAP: 04-47-25-00-00001.002E

The Division of Environmental Sciences (ES) staff have reviewed the proposed administrative amendment to revise the western buffer. The proposed request is to provide a solid wall and retain the existing areca palms as agreed to with the adjacent neighbors. The applicant has obtained signed, notarized letters from the adjacent property owners and has met with both the Estero Community Planning Panel (ECP) and Estero Design Review Committee (EDRC). ECP and EDRC are supportive of the revised buffer design. The property owner will be responsible for maintaining the areca palms. The proposed plans include a double hedge row and 8 trees per 100 linear feet on the east side of the wall as required by Z-97-050. The buffer width remains unchanged with the proposed design. The applicant has included a revised landscape plan which indicates 44 additional cabbage palms to be installed on the east side of the wall at varying specs to assist in screening the rear of the building and 13 red maple trees to be planted on the west side of the wall.

The proposed landscape plan exceed the buffer requirements per the zoning resolution and Land Development Code for buffering and screening. Therefore, ES staff recommend the following conditions of approval to insure the proper amount and specs of plants are installed:

Prior to local development order approval, the landscape plans must indicate the modification of the landscaping buffer along the west property line. Development of this buffer must be in compliance with the four-page plan Plans entitled "Tamiami Trail Dealership" stamped received on May 8, 2008.

Prior to local development order approval, the 44 additional cabbage palms must be installed at staggered heights of 12' - 20' clear trunk on the east side of the wall within the western buffer.