

RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

WHEREAS, The Banyan Group, has properly filed an application for: In the AG district: a) District boundary change to PUD and CC; b) Unusual use for a gate house (security) (Sec. 500.10); and c) Special exception in the PUD district for consumption on premises of alcoholic beverages for beer, wine and liquor on a piece of property located on U.S. 41, described more particularly as;

That part of Section 20 and 21, Township 46 South, Range 25 East, Lee County, Florida, described as follows: Commencing at the southwest corner of said Section 21, thence N 00° 40' 45" W 1326.75 feet, along the west line of said Section 21, to a point on the northwesterly right-of-way line of State Road 45, (U.S. 41), being the POINT OF BEGINNING; thence N 36° 53' 45" W 180.99 feet, along said right-of-way line; thence N 89° 19' 15" E 106.93 feet, to a point on the west line of said Section 21; thence N 00° 40' 45" W 530.98 feet, along the west line of said Section 21; thence S 36° 53' 45" E 1447.66 feet, parallel to the right-of-way line of State Road 45 (U.S. 41), to a point on the line connecting the northeast corner and the southwest corner of said Section 21; thence S 44° 58' 58" W 404.05 feet, along said connecting line, to a point on the northwesterly right-of-way line of State Road 45 (US 41); thence N 36° 53' 45" W 958.54 feet, along said right-of-way line, to the Point of Beginning. Containing 11.227 acres, more or less.

Subject to easements, restrictions and reservations of record.

RESIDENTIAL

That part of Sections 20 and 21, Township 46 South, Range 25 East, Lee County, Florida, described as follows: Commencing at the southwest corner of said Section 21, thence N 00° 40' 45" W 1326.75 feet along the west line of said Section 21, to a point on the northeasterly right-of-way line of State Road 45 (U.S. 41), thence N 36° 53' 45" W 180.99 feet, along said right-of-way line; thence N 89° 19' 15" E 106.93 feet, to a point on the west line of said Section 21; thence N 00° 40' 45" W 530.98 feet, along the west line of said Section 21, to the POINT OF BEGINNING; thence N 00° 40' 45" W 636.01 feet to the west quarter corner of said Section 21; thence N 00° 42' 46" W 2661.72 feet to the northwest corner of said Section 21; thence S 88° 44' 20" E 2649.74 feet, to the north quarter corner of said Section 21; thence S 89° 25' 10" E 1305.92 feet along the north line of said Section 21; thence S 00° 49' 11" E 1317.90 feet to a point on a line connecting the northeast corner and the southwest corner of said Section 21; thence S 44° 58' 58" W 4334.50 feet along said connecting line; to a point 404.05 feet northeasterly of the northeasterly right-of-way line of State Road 45 (U.S. 41); thence N 36° 53' 45" W 1447.66 feet parallel to said right-of-way line to the point of beginning; less and except therefrom the Seaboard Coastline Railroad right-of-way; as recorded in Deed Book 68, on page 78, Public Records of Lee County, Florida. Containing 269.392 acres, more or less.

Subject to easements, restrictions and reservations of record.

TOTAL

That part of Sections 20 and 21, Township 46 South, Range 25 East, Lee County, Florida, described as follows: Commencing at the southwest corner of said Section 21, thence N 00° 40' 45" W 1326.75 feet along the west line of said Section 21, to a point on the northeasterly right-of-way line of State Road 45 (U.S. 41), being the POINT OF BEGINNING; thence N 36° 53' 45" W 180.99 feet, along said right-of-way line; thence N 89° 19' 15" E 106.93 feet, to a point on the west line of said Section 21; thence N 00° 40' 45" W 1166.99 feet to the west quarter corner of said Section 21; thence N 00° 42' 46" W 2661.72 feet to the northwest corner of said Section 21; thence S 88° 44' 20" E 2649.74 feet, to the north quarter corner of said Section 21; thence S 89° 25' 10" E 1305.92 feet along the north line of said Section 21; thence S 00° 49' 11" E 1317.90 feet to a point on a line connecting the northeast corner and the southwest corner of said Section 21; thence S 44° 58' 58" W 4738.55 feet along said connecting line to a point on the northeasterly right-of-way line of State Road 45 (US 41); thence N 36° 53' 45" W 958.54 feet along said right-of-way line to the point of beginning; less except therefrom the Seaboard Coastline Railroad right-of-way; as recorded in Deed Book 68, on page 78, Public Records of Lee County, Florida. Containing 280.6186 acres, more or less.

Subject to easements, restrictions and reservations of record.

WHEREAS, Samalco Sociedad Anonima, et. al., the owner of the subject parcel has given proper authorization to Kenneth Jones to act as their agent, and have given him the authority to pursue this zoning action; and,

WHEREAS, a public hearing was legally and properly held before the Lee County Zoning Board, with full consideration of all the evidence available to the Zoning Board; and,

WHEREAS, the Lee County Zoning Board fully reviewed the matter and recommended approval of request in the AG district for a) District boundary change to PUD and CC; b) Unusual use for a gate house (security) (Sec. 500.10); and c) Special exception in the PUD district for consumption on premises of alcoholic beverages for beer, wine and liquor with conditions, based on the fact the Zoning Board felt this was a very well done Planned Unit Development. The LPA found the request consistent with the Lee County Comprehensive Plan; and

WHEREAS, an appeal was timely filed by an aggrieved person/the Division of Community Development; and

WHEREAS, a public hearing was legally and properly advertised and held before the Lee County Board of County Commissioners; and

WHEREAS, the Board of County Commissioners considered the recommendation of the Staff, the Local Planning Authority, the Zoning Board, the documents on file with the County and the testimony of all interested persons,

The Board of County Commissioners after full and complete consideration of the matter does hereby make the following findings of fact:

LEGISLATIVE HISTORY: The staff recommended that the Board of County Commissioners find the final PUD, the plan proposed dated July 3, 1984 with revisions dated August 17, 1984 to be in substantial conformance with the approved preliminary PUD plan and the six conditions adopted by the Board of County Commissioners and recommends approval for a final PUD with six conditions noted in the staff's recommendations. The staff noted that the final PUD request does not include commercial areas fronting on US 41. It is shown as Phase III on these drawings for development order purposes, but is deleted from the final PUD approval. The golf course and residential plans as submitted closely follow the preliminary PUD plans which were approved with conditions on February 20, 1984. The conditions proposed above clarify a few remaining issues. The LPA found on July 13, 1984 that the final PUD plan was consistent with the Lee County Comprehensive Plan. The Zoning Board, on July 23, 1984, recommended approval of the final PUD plan subject to staff recommendations. The Board of County Commissioners reviewed the recommendations of the Zoning Board and the staff and considered the presentations by Beverly Grady and Gordon Meiers on behalf of the applicant. The Board of County Commissioners accepted the majority of the recommendations of the staff and the Zoning Board.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS AS THE ZONING APPEALS BOARD, that the Zoning Appeals Board does hereby find that the final PUD plan is in substantial conformity with the preliminary PUD plan and does grant final PUD plan approval per site plan number SP-84-164 subject to the following conditions: 1) One or more access points to undeveloped property must be allowed along the property at a location subject to approval by the County Engineer; 2) the Board continues to allow those access points shown on the preliminary PUD plan as being card operated security gates access points to remain card operated access points despite any contentions that said gates would violate any existing regulations. However, the Board does require that the public safety persons such as fire, emergency medical services and police be provided with access through these gates; 3) that the signer of the wetland mitigation plans shall file a written certification that the plan meets or exceeds the specifications approved as part of the preliminary PUD; 4) a donation equal to the value of 5.57 acres of this land, as appraised at the time of final PUD approval, shall be made for park purposes to benefit residents of this area, and shall be paid at the issuance of a final development order; and 5) revisions to sheet four dated August 28, 1984 have been submitted which would constitute a variance from Section 500.4.E of the Zoning Regulations. This change would allow bank slopes to drop off sharply at about two feet below the maintained lake surface, rather than the required six feet. This provision was arguably discussed in the wetland mitigation plan but involved the reduction of the wetland area around the lake from County standards as well as a potential safety hazard, and is denied. The initial plans should be followed:

The foregoing Resolution was adopted by the Lee County Board of County Commissioners upon a motion by Commissioner Morgan, and seconded by Commissioner Goss and, upon being put to a vote, was as follows:

Porter J. Goss	Aye
Roland Eastwood	Aye
Roland Roberts	Aye
Bill Fussell	Aye
Melvin Morgan	Aye

DULY PASSED AND ADOPTED this 10th day of September, A.D., 1984.

ATTEST:
SAL GERACI, CLERK

BY: Mary Ametrant
Deputy Clerk

BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA

BY: R. Eastwood
Chairman

Approved as to form by:

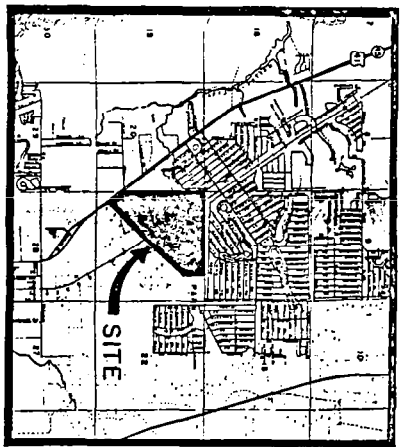
Neale Montgomery
County Attorney

DEVELOPMENT PLANS FOR THE VINTAGE GOLF & COUNTRY CLUB SECTION 21, T46S, R25E LEE COUNTY, FLORIDA

INDEX

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19. MULTI-FAMILY AREA NO. 2
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ELEVATIONS ARE BASED UPON NATIONAL
GEODETIC VERTICAL DATUM (NGVD)
OF 1929



LOCATION MAP

NOTE:
1. MODEL HOME, WILL BE DISCONTINUED AT THE PROJECT IS
FULLY DEVELOPED.

2. ALL SIGNS ERECTED ON SITE WILL COMPLY WITH SECTION
20.03 OF THE LEE COUNTY ZONING REGULATIONS OR SUCH
REGULATIONS AS ARE IN EFFECT AT THE TIME OF THE DEVELOP-
MENT.
3. ALL SITE ENTRANCES, SHALL HAVE GATES THAT OPEN WITH CAMO.
4. SPECIAL EXCEPTION FOR CONSUMPTION ON PREMISES, AT CLUBHOUSE AND

THE VINTAGE
GOLF & COUNTRY CLUB
SECTION 21, T46S, R25E
LEE COUNTY, FLORIDA

DEVELOPER / OWNER,
THE VINTAGE LIMITED PARTNERSHIP
THE BANYAN GROUP GENERAL PARTNER
6320 CORPORATE COURT, SUITE 200
FORT MYERS, FLORIDA 33907

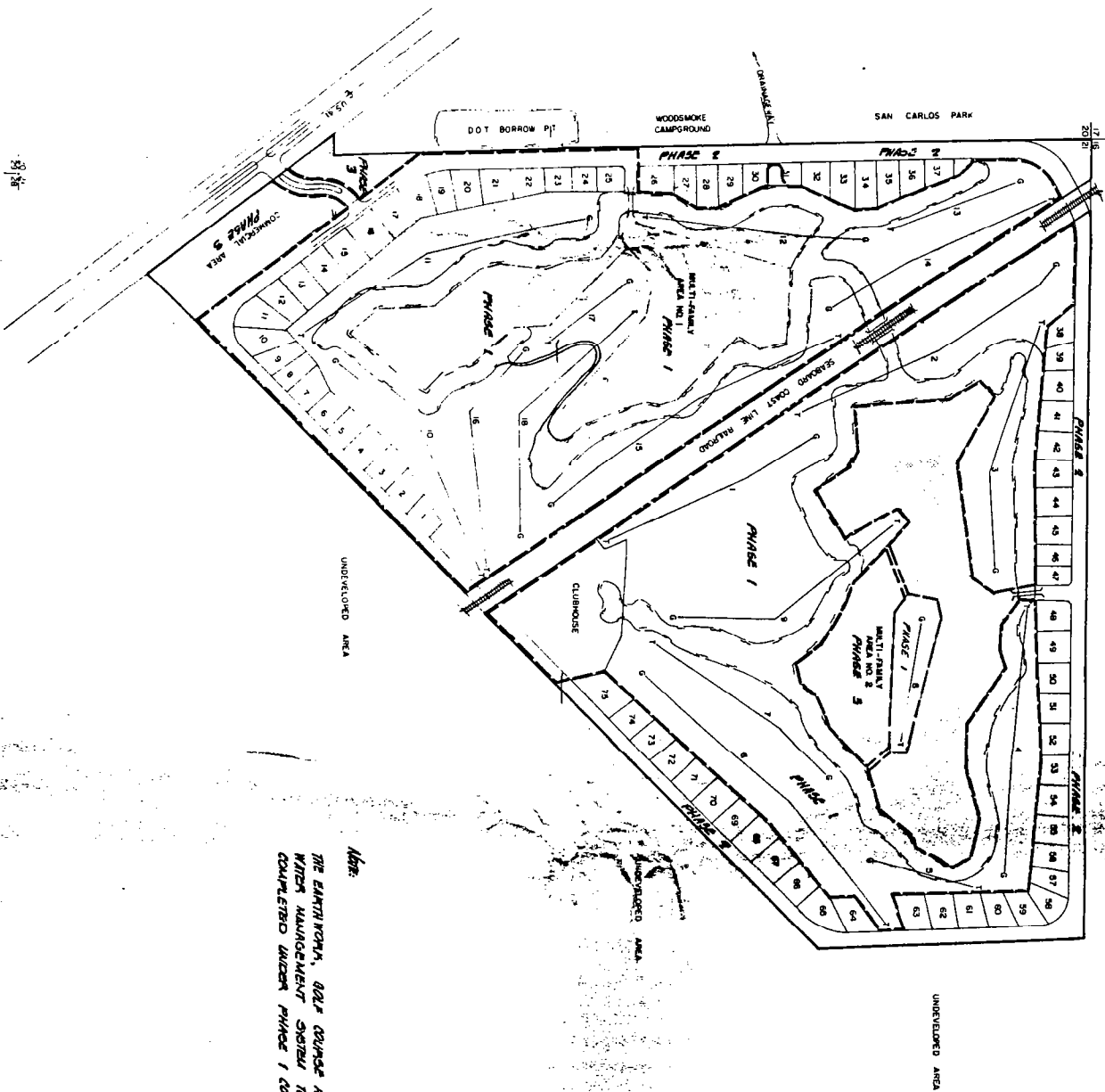
ENGINEER,
INK ENGINEERING, INC.
CIVIL & STRUCTURAL ENGINEERS - SURVEYORS
260 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA 33903
813-995-8500

FOR DECLINANT DEVELOPMENT ORDER
RONALD KEAFOOT
FLA REG. NO. 20768



1/10/01

5/8/04



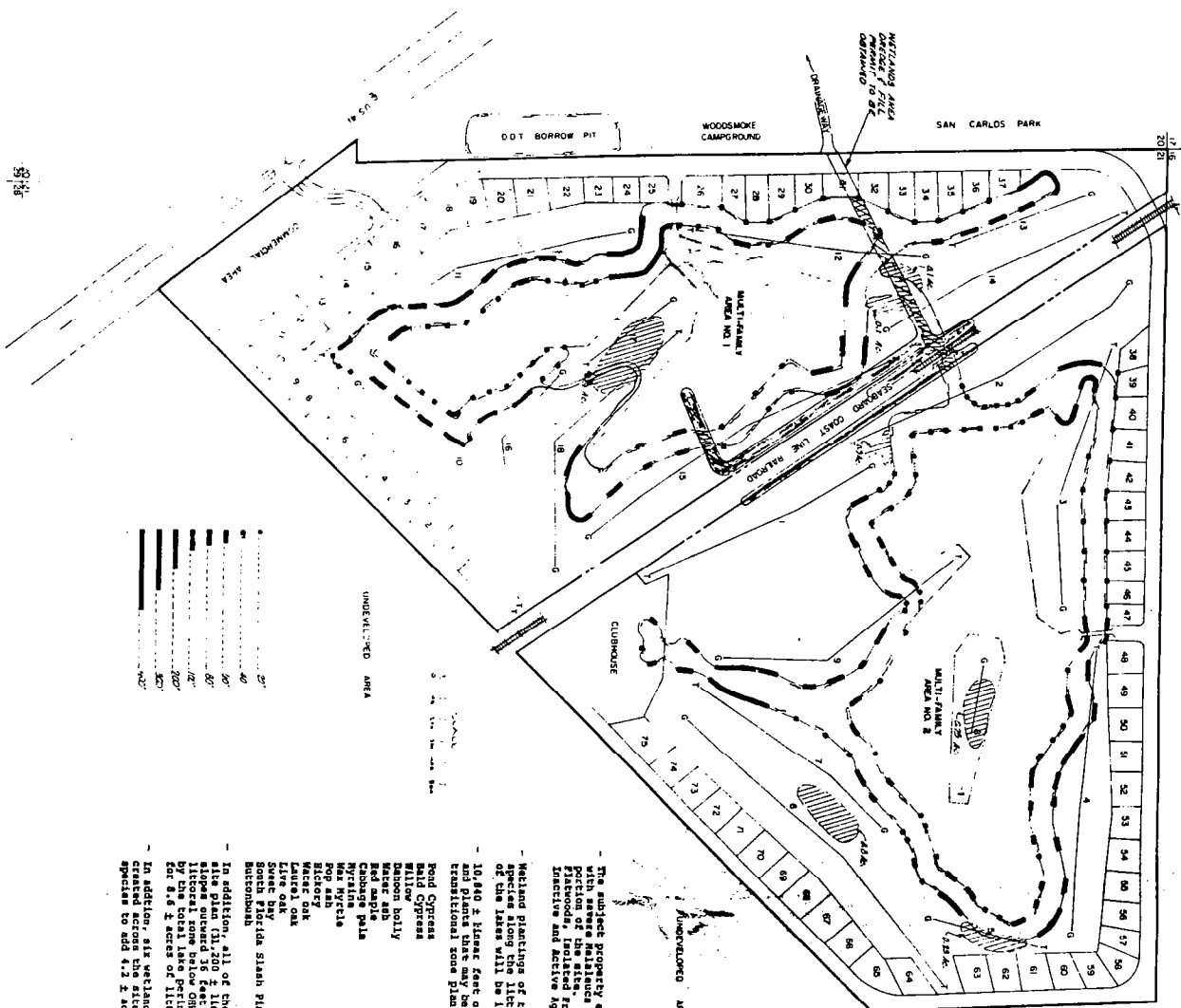
Note:
THE EARTHWORK, GOLF COURSE AND
WATER MANAGEMENT SYSTEM TO BE
COMPLETED UNDER PHASE 1 CONSTRUCTION.

The Vintage Limited Partnership
c/o The Vintage Limited Partnership
6110 Corporate Center, Suite 514
Ft. Myers, Florida 33907
813-482-1100

DWG. NO. 8433		DATE 4/16/84		SCALE 1"=300'		DESIGN R.K.		DRAWN T.G.		CHECK T.G.		APPROVED T.G.	
PHASING THE VINTAGE-GOLF & COUNTRY CLUB SECTION 21, T46S, R25E LEE COUNTY, FLORIDA													
INK ENGINEERING INC. 880 PROFESSIONAL PLACE NORTH FORT MYERS, FLORIDA PHONE (813) 551-6500 FAX (813) 551-6500 FOR PRELIMINARY DEVELOPMENT ORDER													
FLA. P.E. No. 20768													

LAKK SCO-ZONE

HORIZ. AND VERTICAL SCALE: 1"=20'



SAN CARLOS PARK

SCALE 1-500

[illegible]

INK ENGINEERING INC.
280 PROFESSIONAL PLACE
NORTH FORT MYERS FLORIDA
33823 813-995-8500
Preliminary Development Order

FILE # 20264

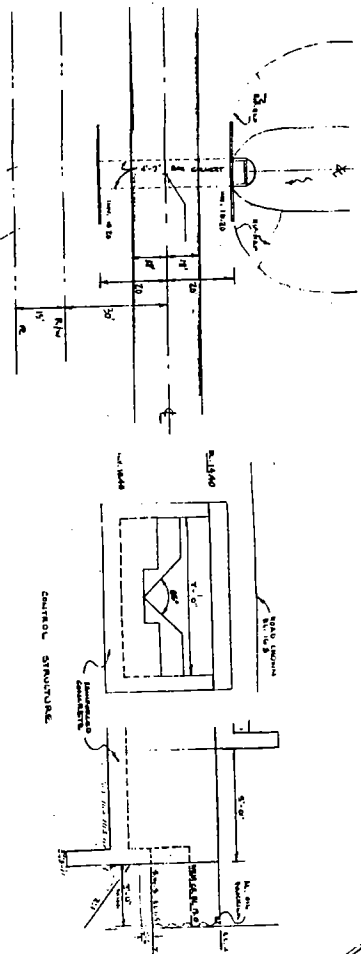
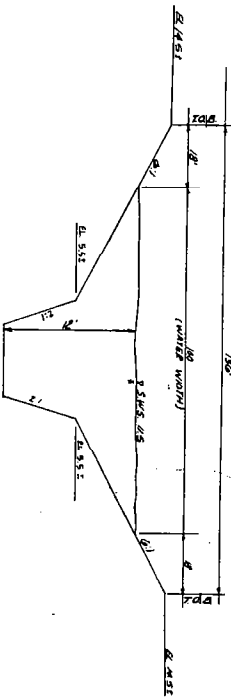
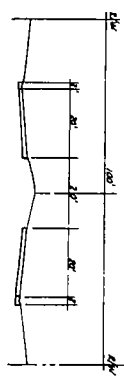
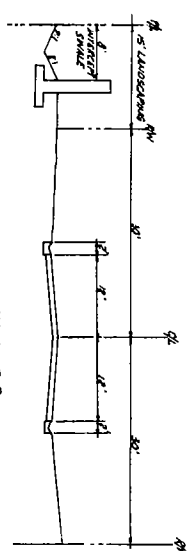
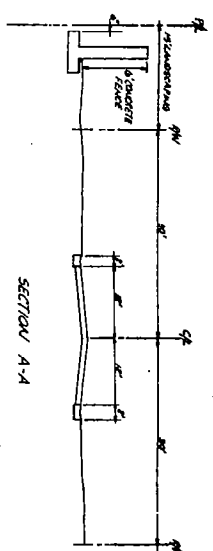
WETLAND MITIGATION PLAN
THE VINTAGE-GOLF & COUNTRY CLUB
SECTION 21, T46S, R25E
LEE COUNTY, FLORIDA

DATE	4/16/04
SCALE	1"=300'
DESIGN	R.K
DRAWN	T.G.
CHECK	
APPROVED	

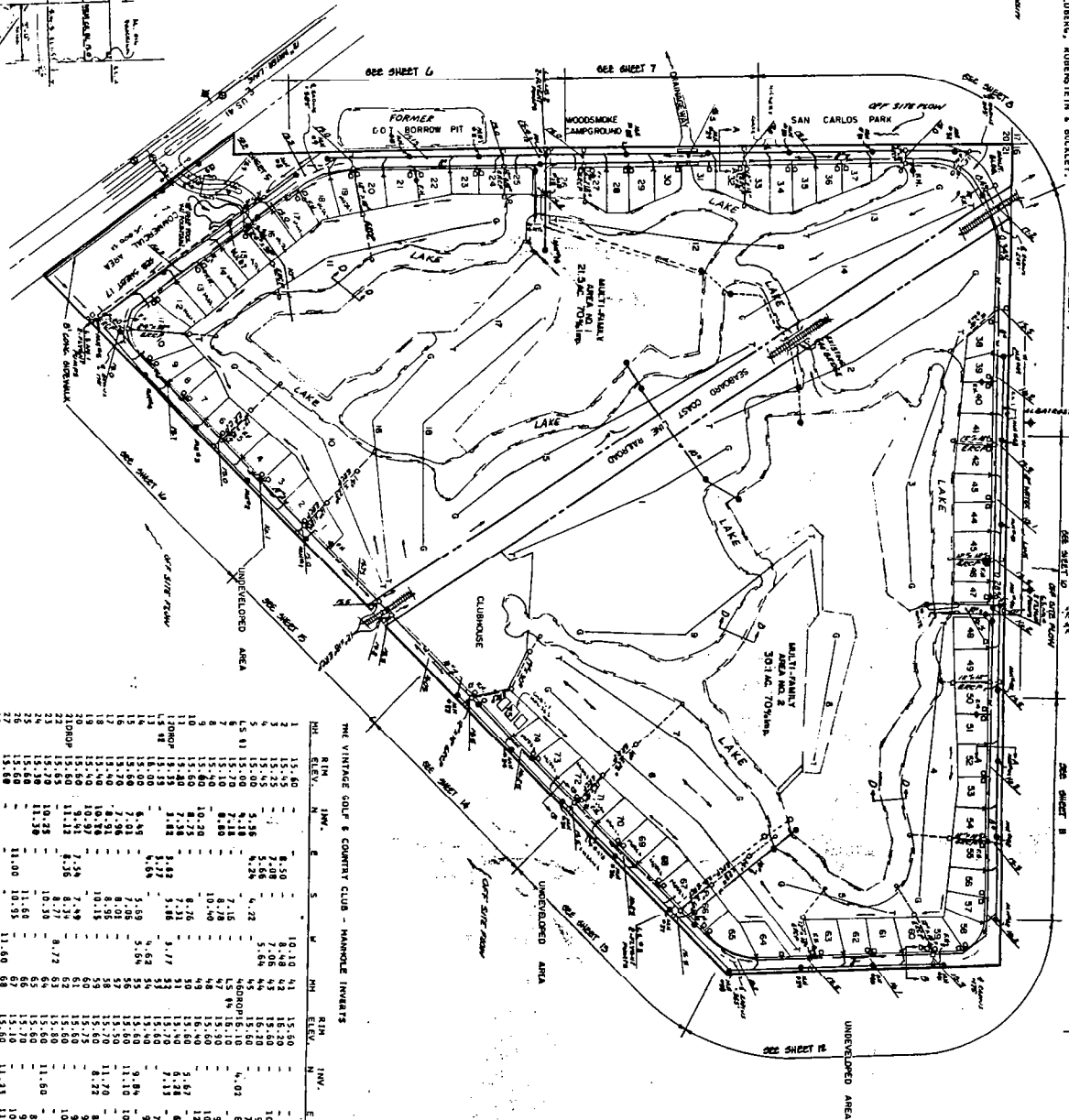
DATE	DESCRIPTION	BY

The Vintage Limited Partnership
The Banyan Group, General Partner
6120 Corporate Court, S.W.
Ft. Myers, Florida 33907
813-482-1500

8433
3 or



NOTES:
 1. ALL UTILITIES SHALL BE DEPTH TO 10 FEET.
 2. ALL UTILITIES SHALL BE DEPTH TO 10 FEET.
 3. ALL UTILITIES SHALL BE DEPTH TO 10 FEET.
 4. ALL UTILITIES SHALL BE DEPTH TO 10 FEET.
 5. ALL UTILITIES SHALL BE DEPTH TO 10 FEET.
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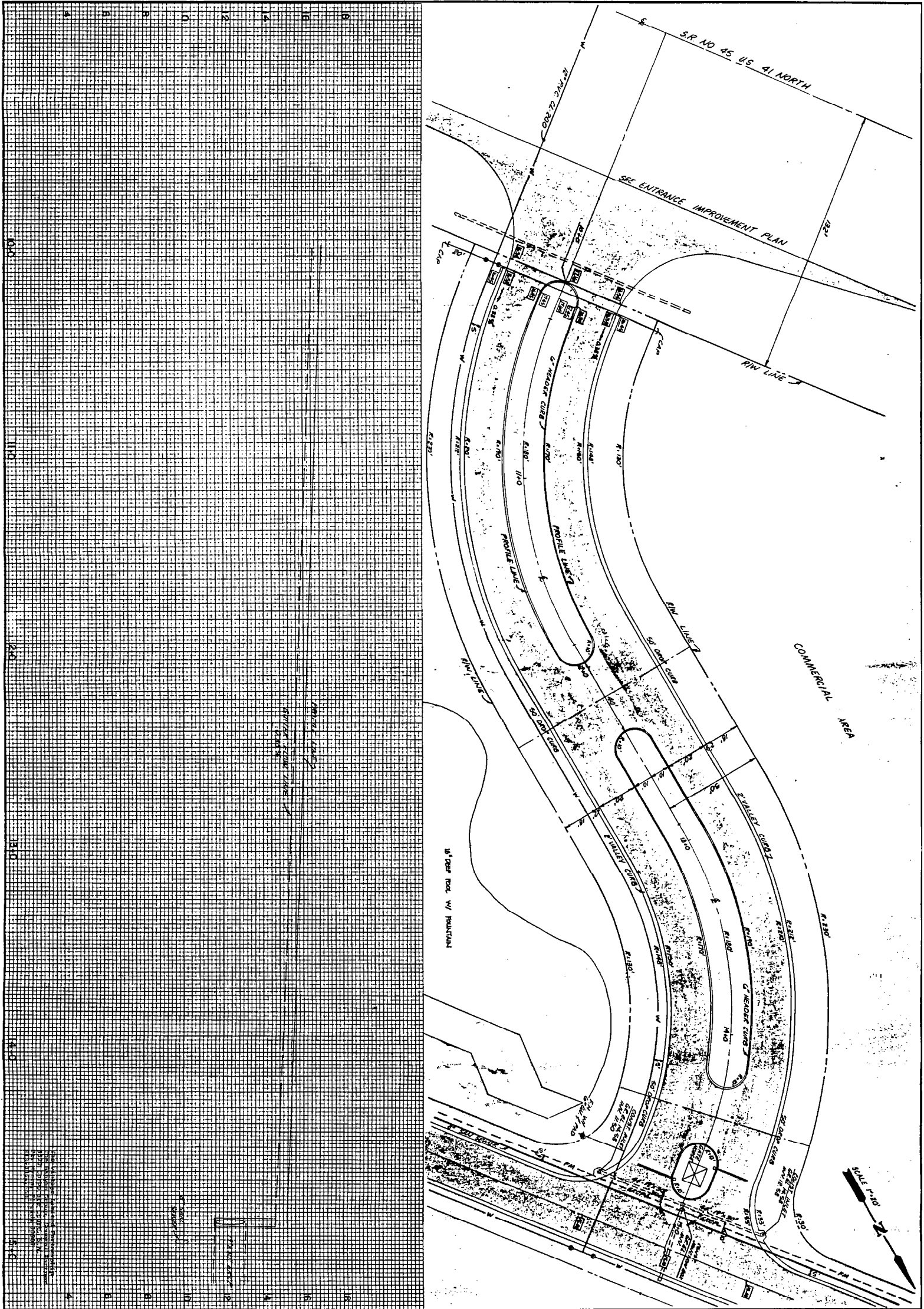


TRAFFIC ANALYSIS

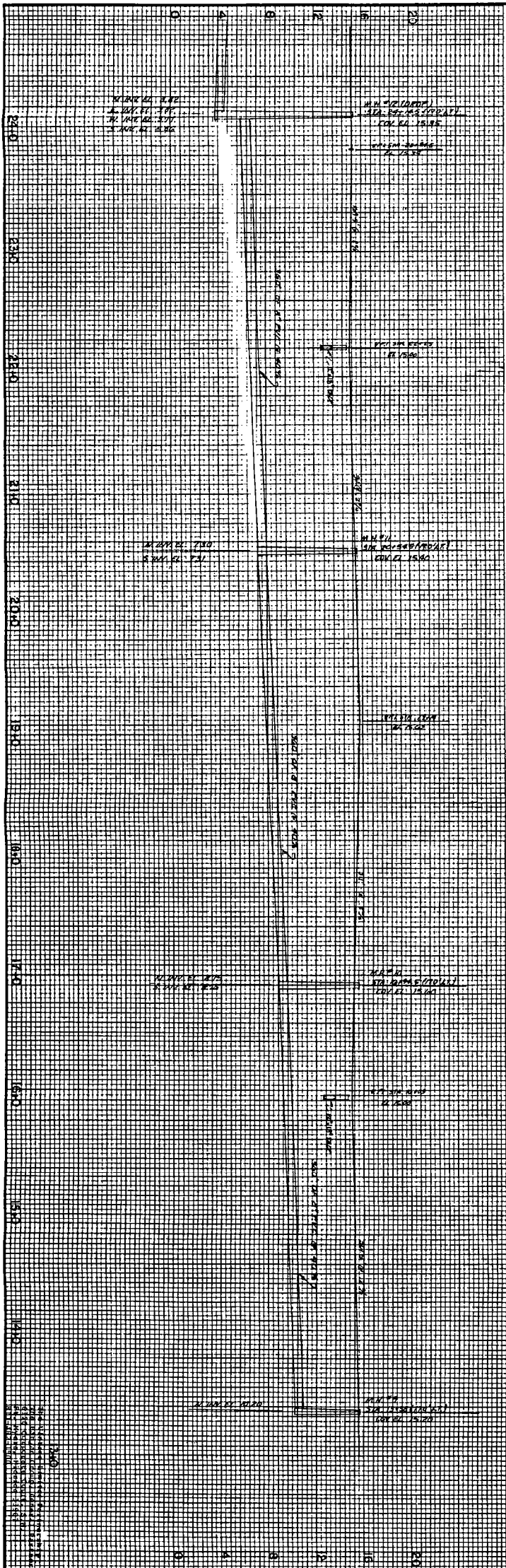
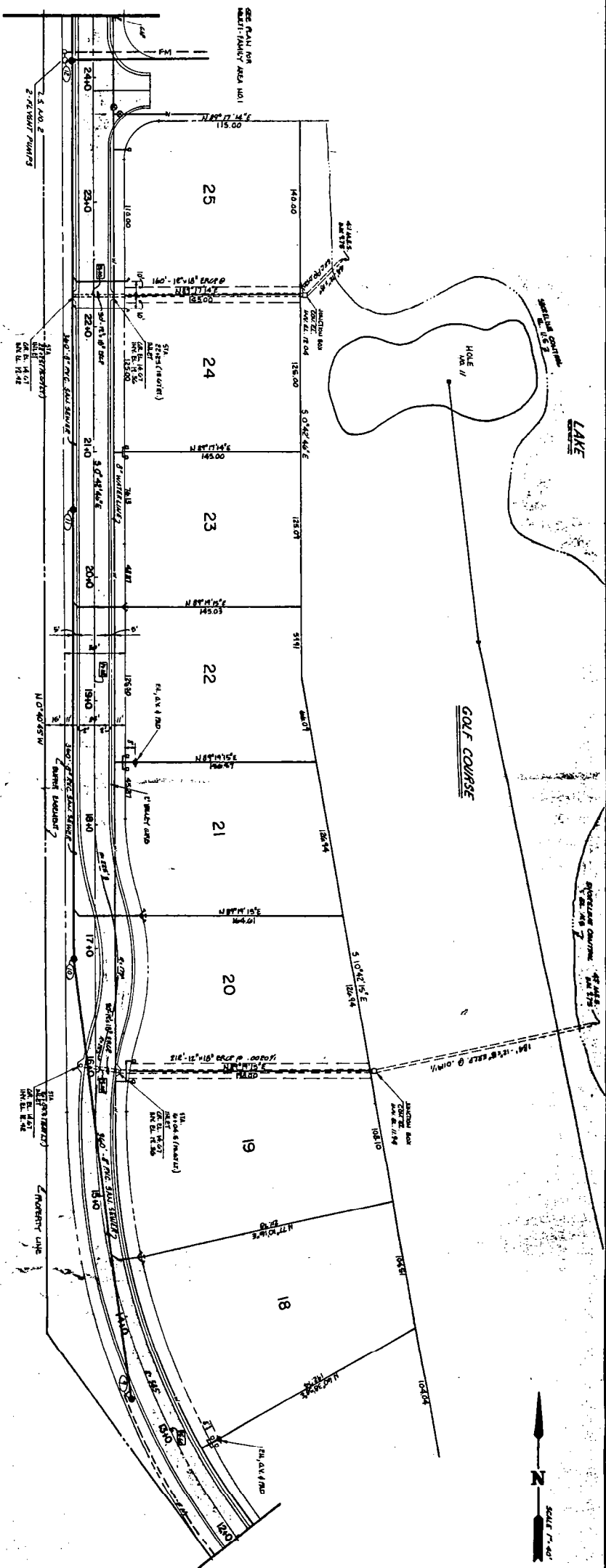
SIZE	TRIPS PER DAY	TRIPS PER HOUR	TRIPS PER MINUTE
COMMERCIAL	165,000	13,227	1,567
MULTI-FAMILY	473	3,572	405
SINGLE-FAMILY	73	915	110

THE VINTAGE-GOLF & COUNTRY CLUB - MANHOLE INVERTS

MANHOLE NO.	INVERT ELEV.	MANHOLE NO.	INVERT ELEV.	MANHOLE NO.	INVERT ELEV.
1	15.60	11	15.60	21	15.60
2	15.55	12	15.55	22	15.55
3	15.50	13	15.50	23	15.50
4	15.45	14	15.45	24	15.45
5	15.40	15	15.40	25	15.40
6	15.35	16	15.35	26	15.35
7	15.30	17	15.30	27	15.30
8	15.25	18	15.25	28	15.25
9	15.20	19	15.20	29	15.20
10	15.15	20	15.15	30	15.15
11	15.10	21	15.10	31	15.10
12	15.05	22	15.05	32	15.05
13	15.00	23	15.00	33	15.00
14	14.95	24	14.95	34	14.95
15	14.90	25	14.90	35	14.90
16	14.85	26	14.85	36	14.85
17	14.80	27	14.80	37	14.80
18	14.75	28	14.75	38	14.75
19	14.70	29	14.70	39	14.70
20	14.65	30	14.65	40	14.65
21	14.60	31	14.60	41	14.60
22	14.55	32	14.55	42	14.55
23	14.50	33	14.50	43	14.50
24	14.45	34	14.45	44	14.45
25	14.40	35	14.40	45	14.40
26	14.35	36	14.35	46	14.35
27	14.30	37	14.30	47	14.30
28	14.25	38	14.25	48	14.25
29	14.20	39	14.20	49	14.20
30	14.15	40	14.15	50	14.15
31	14.10	41	14.10	51	14.10
32	14.05	42	14.05	52	14.05
33	14.00	43	14.00	53	14.00
34	13.95	44	13.95	54	13.95
35	13.90	45	13.90	55	13.90
36	13.85	46	13.85	56	13.85
37	13.80	47	13.80	57	13.80
38	13.75	48	13.75	58	13.75
39	13.70	49	13.70	59	13.70
40	13.65	50	13.65	60	13.65
41	13.60	51	13.60	61	13.60
42	13.55	52	13.55	62	13.55
43	13.50	53	13.50	63	13.50
44	13.45	54	13.45	64	13.45
45	13.40	55	13.40	65	13.40
46	13.35	56	13.35	66	13.35
47	13.30	57	13.30	67	13.30
48	13.25	58	13.25	68	13.25
49	13.20	59	13.20	69	13.20
50	13.15	60	13.15	70	13.15
51	13.10	61	13.10	71	13.10
52	13.05	62	13.05	72	13.05
53	13.00	63	13.00	73	13.00
54	12.95	64	12.95	74	12.95
55	12.90	65	12.90	75	12.90
56	12.85	66	12.85	76	12.85
57	12.80	67	12.80	77	12.80
58	12.75	68	12.75	78	12.75
59	12.70	69	12.70	79	12.70
60	12.65	70	12.65	80	12.65
61	12.60	71	12.60	81	12.60
62	12.55	72	12.55	82	12.55
63	12.50	73	12.50	83	12.50
64	12.45	74	12.45	84	12.45
65	12.40	75	12.40	85	12.40
66	12.35	76	12.35	86	12.35
67	12.30	77	12.30	87	12.30
68	12.25	78	12.25	88	12.25
69	12.20	79	12.20	89	12.20
70	12.15	80	12.15	90	12.15
71	12.10	81	12.10	91	12.10
72	12.05	82	12.05	92	12.05
73	12.00	83	12.00	93	12.00
74	11.95	84	11.95	94	11.95
75	11.90	85	11.90	95	11.90
76	11.85	86	11.85	96	11.85
77	11.80	87	11.80	97	11.80
78	11.75	88	11.75	98	11.75
79	11.70	89	11.70	99	11.70
80	11.65	90	11.65	100	11.65



PLAN / PROFILE SHEET THE VINTAGE GOLF & COUNTRY CLUB SECTION 21, T 46 S., R 25 E. LEE COUNTY, FLORIDA		DATE 9/16/84 SCALE 1"=100' DRAWN R.K. CHECKED T.G. APPROVED R.K.	INK ENGINEERING INC. 280 PROFESSIONAL PLACE NORTH FORT MYERS, FLORIDA 33903 (813) 995-4800 FOR PRELIMINARY DEVELOPMENT ORDER FILE NO. 20768
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PLAN / PROFILE SHEET

THE VINTAGE GOLF & COUNTRY CLUB
SECTION 21, T 46 S., R 25 E.
LEE COUNTY, FLORIDA

DATE	4/12/04
SCALE	1"=40'
DESIGN	R.A.
DRAWN	T.G.
CHECK	R.A.
APPROVED	

DATE	4/12/04	ADDED DATA	T.G.
DATE		DESCRIPTION	BY

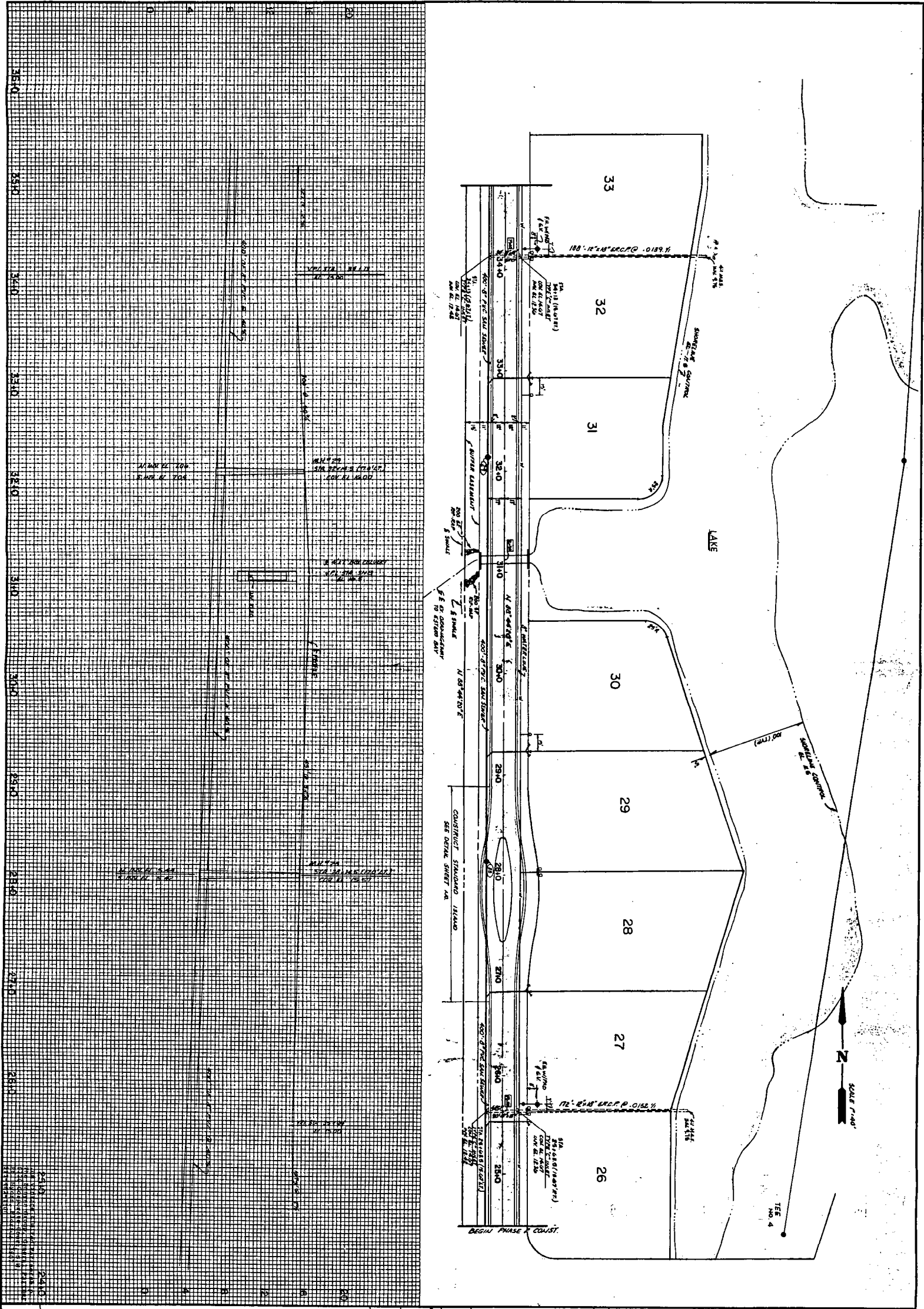
INK ENGINEERING INC.
250 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA 33903

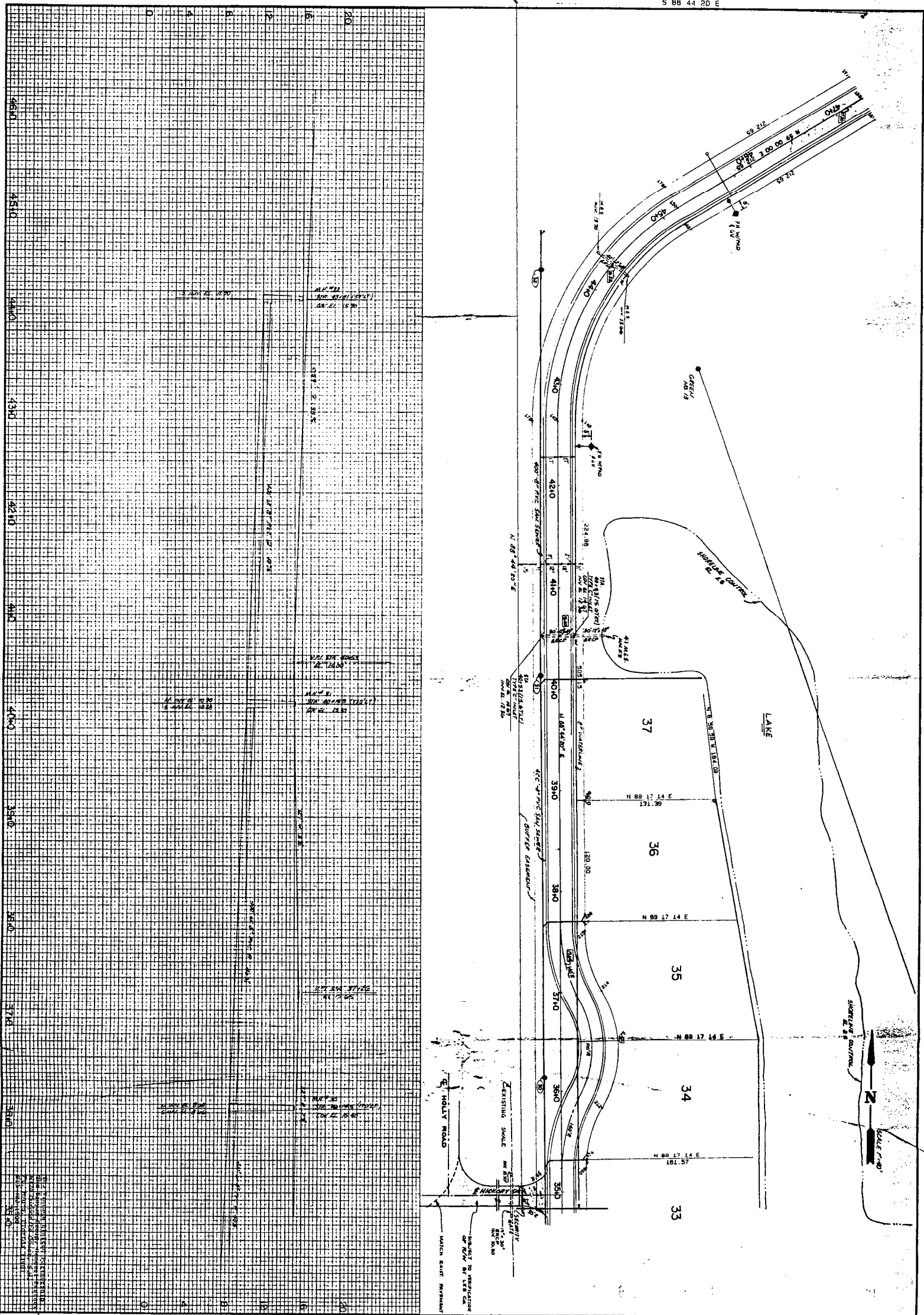
FOR PRELIMINARY DEVELOPMENT ORDER

815-975-0000

P.L.A. P.E. No. 22760

DWG. NO.
8433
6" x 9"





PLAN / PROFILE SHEET

THE VINTAGE GOLF & COUNTRY CLUB PHASE II
SECTION 21, T 46 S., R 25 E. RECEIVED
LEE COUNTY, FLORIDA AUG 17 1984

RECEIVED
AUG 17 1984

DATE	6/18/24
SCALE	1"=40'
DESIGN	RK
DRAWN	TG
CHECK	RK
APPROVED	

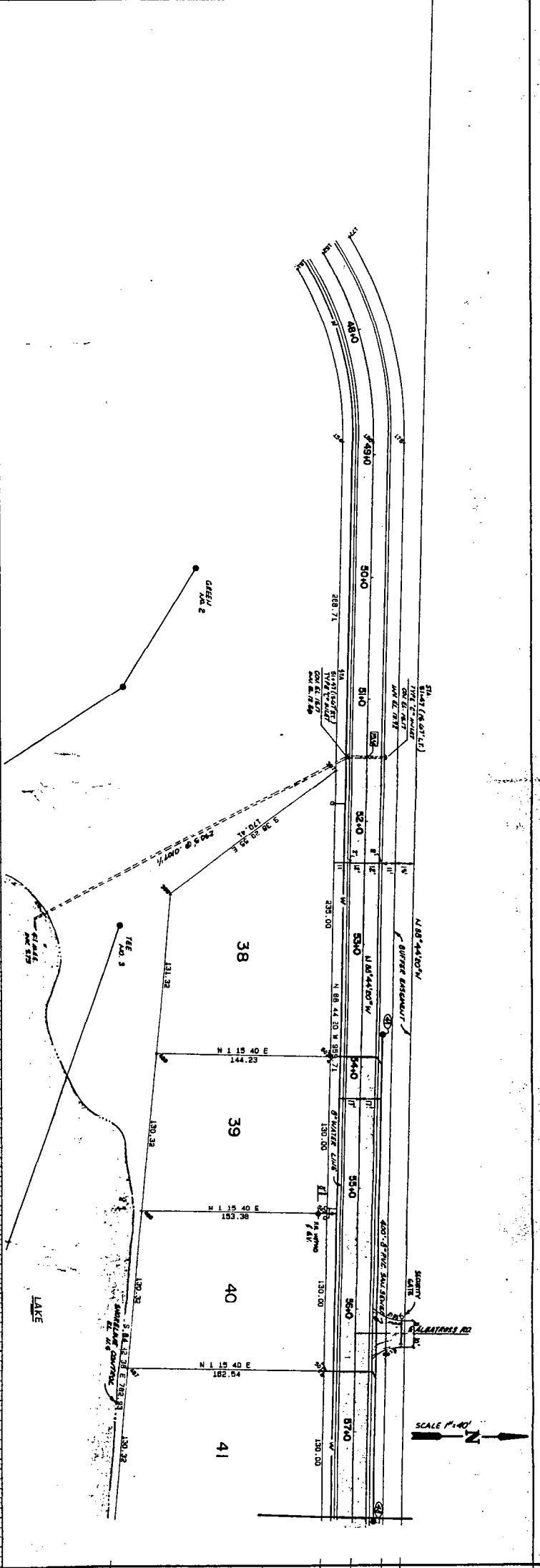
RECEIVED					
8/17/84	CONNECT MICROBY DRIVE				DJK
8/17/84	ADDED ENTRANCE TURNOUT				TG
DATE	DESCRIPTION				BY

INK ENGINEERING INC.
280 PROFESSIONAL PLACE
NORTH FORT MYERS FLORIDA

FLA P E N C

ORIGINAL SURVEY	BY	DATE
NO		
NO		
NO		
NO		

FINAL SURVEY	BY	DATE
NO		
NO		
NO		
NO		



SCALE 1"=40'

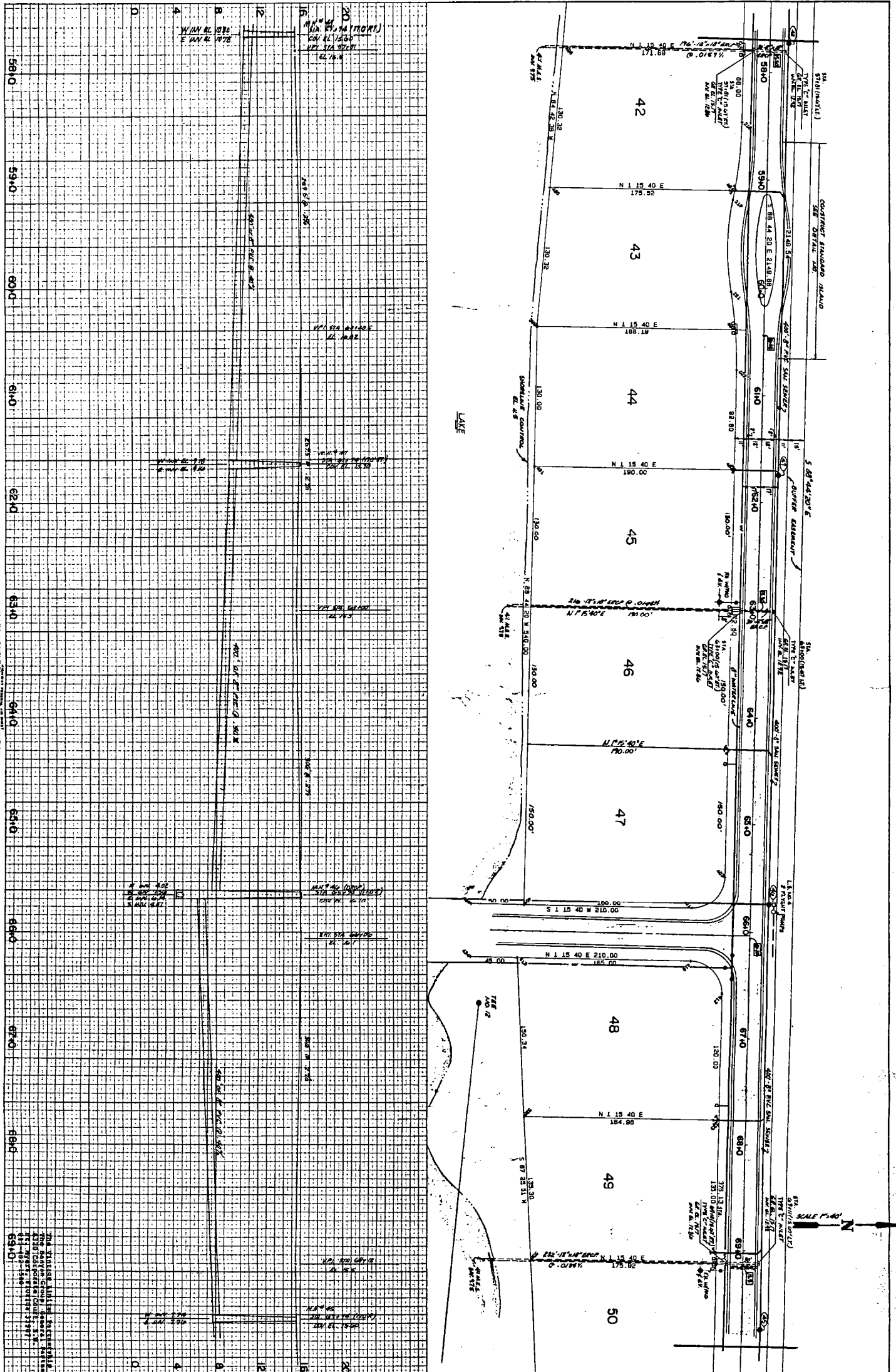
PLAN / PROFILE SHEET		DATE	6/18/84
THE VINTAGE GOLF & COUNTRY CLUB PHASE II		SCALE	1"=40'
SECTION 21, T 46 S., R 25 E.		DESIGN	R.K.
LEE COUNTY, FLORIDA		DRAWN	T.G.
		CHECK	R.K.
		APPROVED	
		DATE	
		DESCRIPTION	
		BY	

INK ENGINEERING, INC.
200 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA

PLA P.E. NO.

ORIGINAL SURVEY	REVIEWED	DATE
NO.	NO.	
NO.	NO.	
NO.	NO.	

FINAL SURVEY	REVIEWED	DATE
NO.	NO.	
NO.	NO.	
NO.	NO.	



THE VINTAGE GOLF & COUNTRY CLUB PHASE II
SECTION 21, T 46 S., R 25 E.
LEE COUNTY, FLORIDA

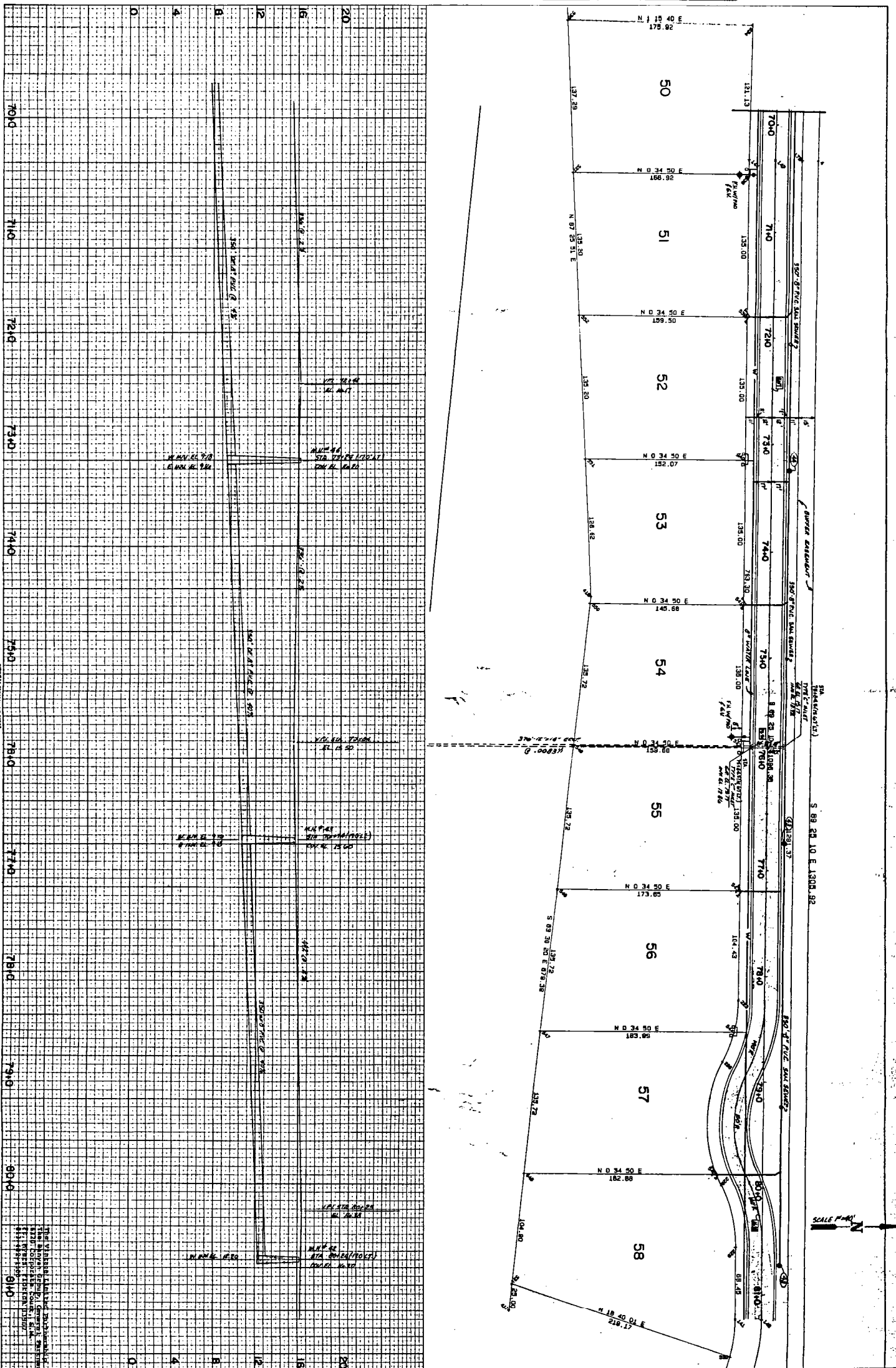
DATE	6/18/04
SCALE	1"=40'
DRAWN	E.E.
CHECK	R.K.
APPROVED	

DATE	DESCRIPTION	BY

INK ENGINEERING INC.
500 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA

ORIGINAL SURVEY	DATE
SURVEYED	
PLOTTED	
TEMPERATURE	
NOTE BOOK	
NO.	
AREA	
AREA CHECKED	

FINAL SURVEY	DATE
SURVEYED	
PLOTTED	
TEMPERATURE	
NOTE BOOK	
NO.	
AREA	
AREA CHECKED	



PLAN / PROFILE SHEET
 THE VINTAGE GOLF & COUNTRY CLUB PHASE II
 SECTION 21, T 46 S., R 25 E.
 LEE COUNTY, FLORIDA

DATE	6/18/84
SCALE	1"=40'
DESIGN	R.K.
DRAWN	T.G.
CHECK	R.K.
APPROVED	

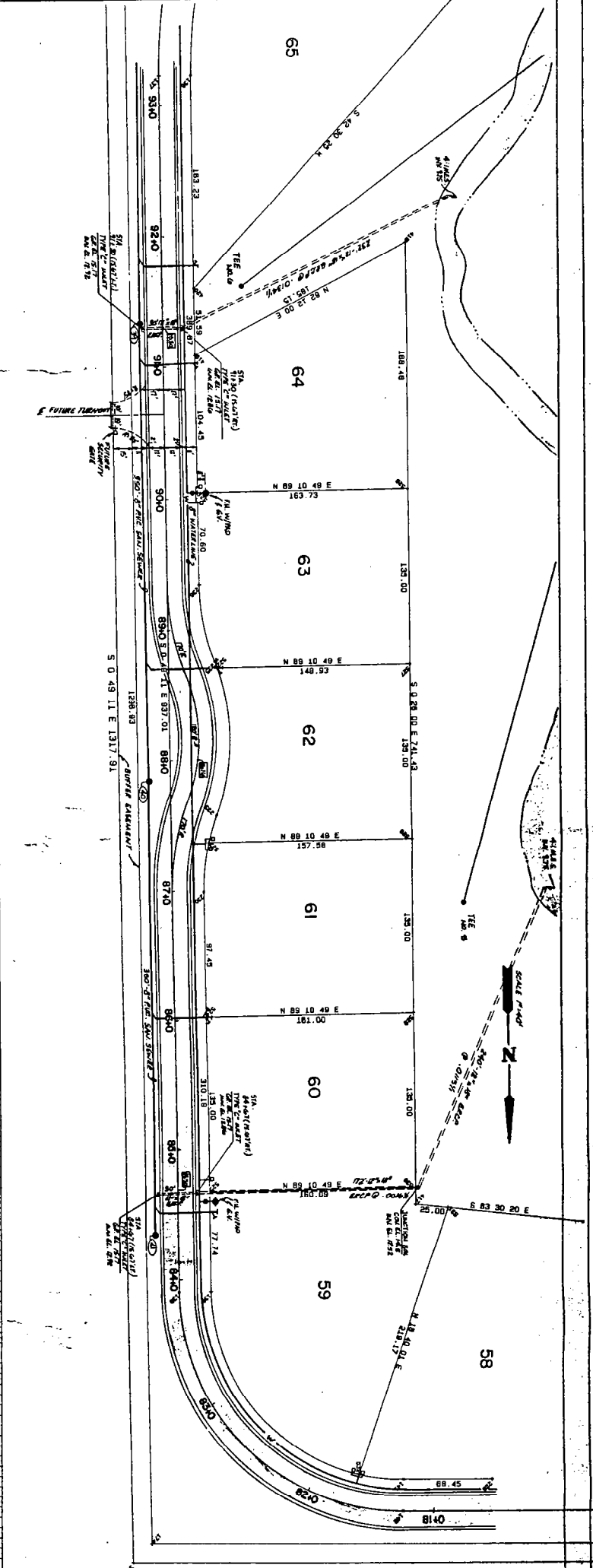
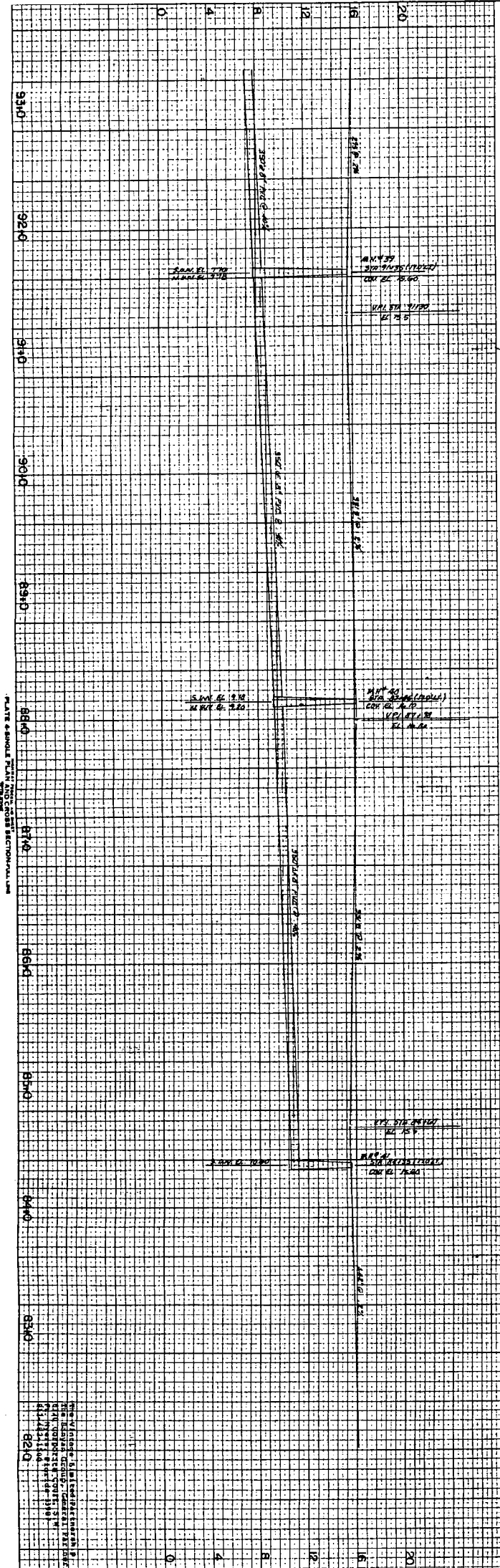
DATE	DESCRIPTION	BY

INK ENGINEERING, INC.
 380 PROFESSIONAL PLACE
 NORTH FORT MYERS, FLORIDA

DWG. NO.
 8433
 11"

ORIGINAL SURVEY	BY	DATE
SURVEYED		
PLOTTED		
TEMPLATE		
AREAS		
AREAS CHECKED		

FINAL SURVEY	BY	DATE
SURVEYED		
PLOTTED		
TEMPLATE		
AREAS		
AREAS CHECKED		



PLAN / PROFILE SHEET
 THE VINTAGE GOLF & COUNTRY CLUB PHASE II
 SECTION 21, T 46 S., R 25 E.
 LEE COUNTY, FLORIDA

DATE	6/10/84
SCALE	1"=40'
DESIGN	R.K.
DRAWN	T.G.
CHECK	R.K.
APPROVED	

DATE	DESCRIPTION	BY
	CURTIN FUTURE TEE/OUT ADDED	TG

INK ENGINEERING INC.
 280 PROFESSIONAL PLACE
 NORTH FORT MYERS, FLORIDA

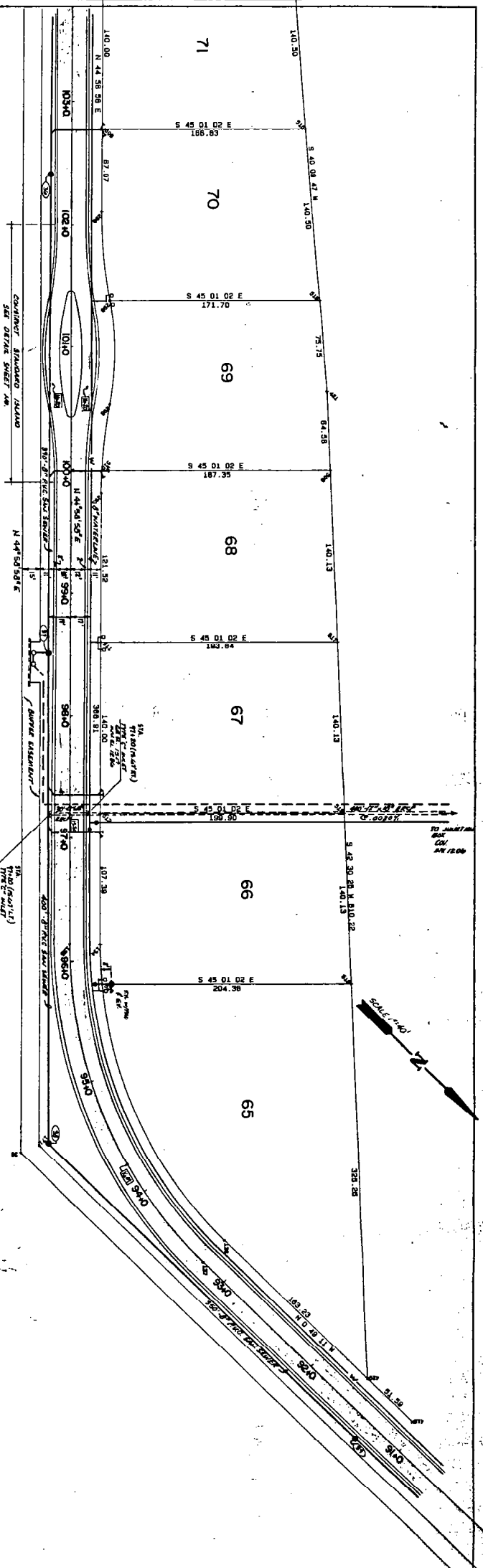
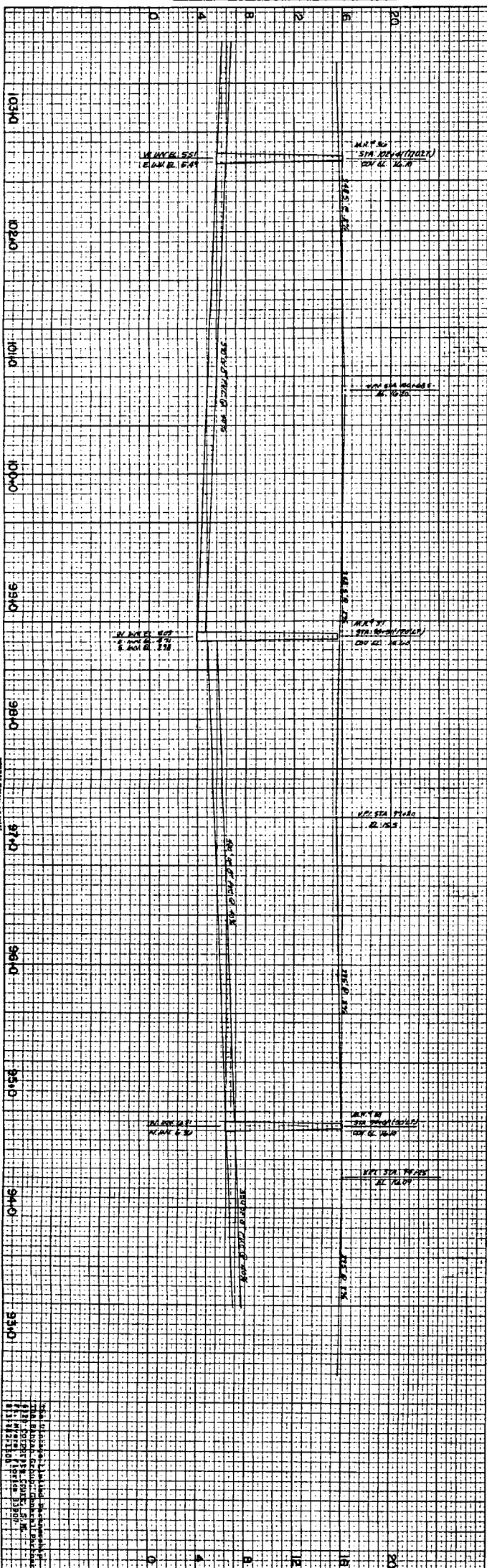
PL. P. 26

DWG. NO.
 8433

20'

ORIGINAL SURVEY	BY	DATE
SURVEYED		
PLATTED		
NOTE BOOK		
NO.		

FINAL SURVEY	BY	DATE
SURVEYED		
PLATTED		
NOTE BOOK		
NO.		



PLAN & PROFILE SHEET

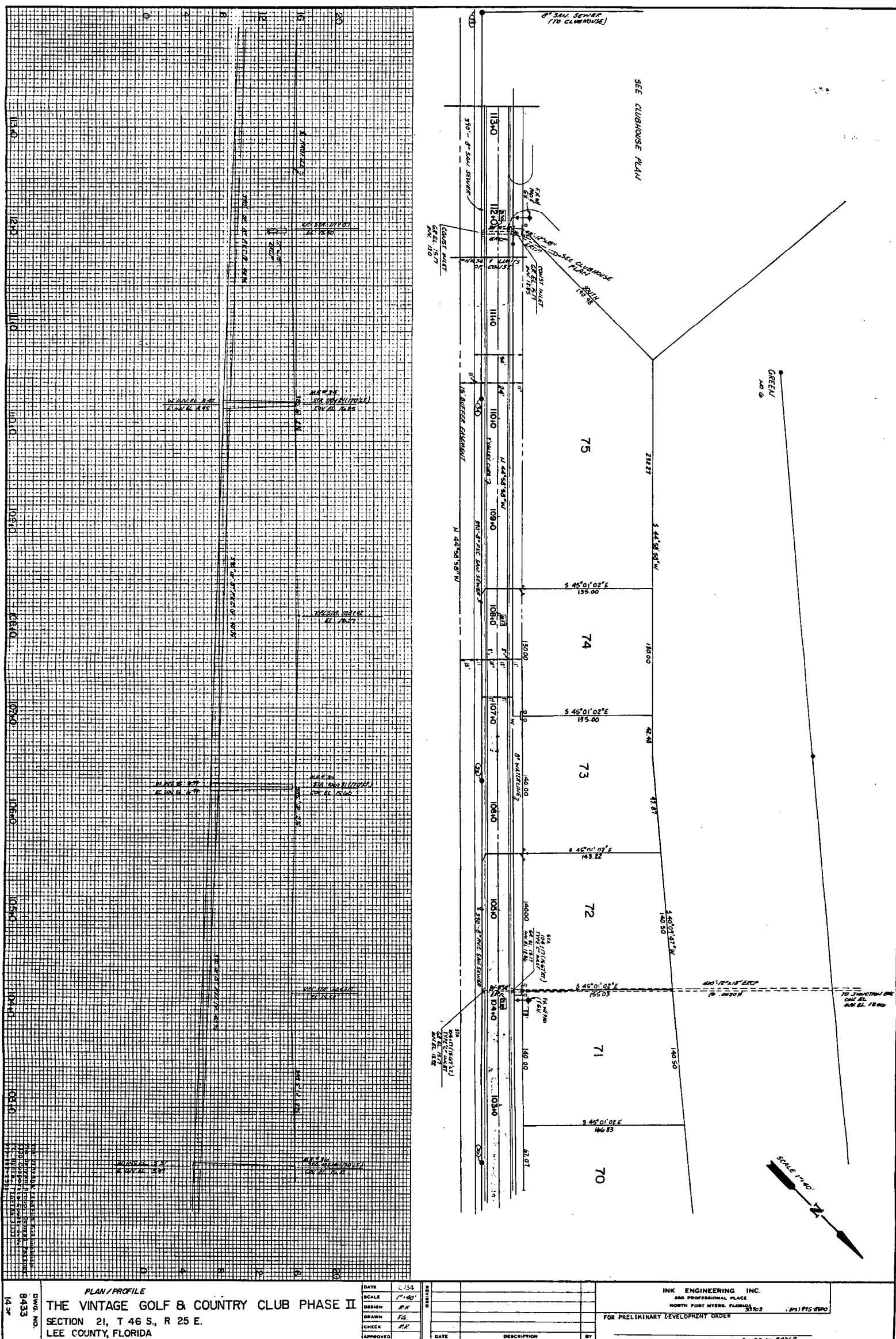
THE VINTAGE GOLF & COUNTRY CLUB PHASE II
SECTION 21, T 46 S, R 25 E.
LEE COUNTY, FLORIDA

DATE	6/18/84
SCALE	1"=40'
DESIGN	R.K.
DRAWN	T.G.
CHECK	R.K.
APPROVED	

DATE	DESCRIPTION	BY

INK ENGINEERING INC.
840 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA

PL. 9 E. 86



DATE	4/10/84
SCALE	1"=40'
DESIGN	R.K.
DRAWN	T.G.
CHECK	R.K.
APPROVED	

DATE	6-20-76

BOOKED DATE

DESCRIPTION

10

FOR					

RELIMINAR

IN KENNEDY
200 PAGES
NORTH
DEVELOPMENT

INTELLIGENCE
ANALYSIS
REPORT

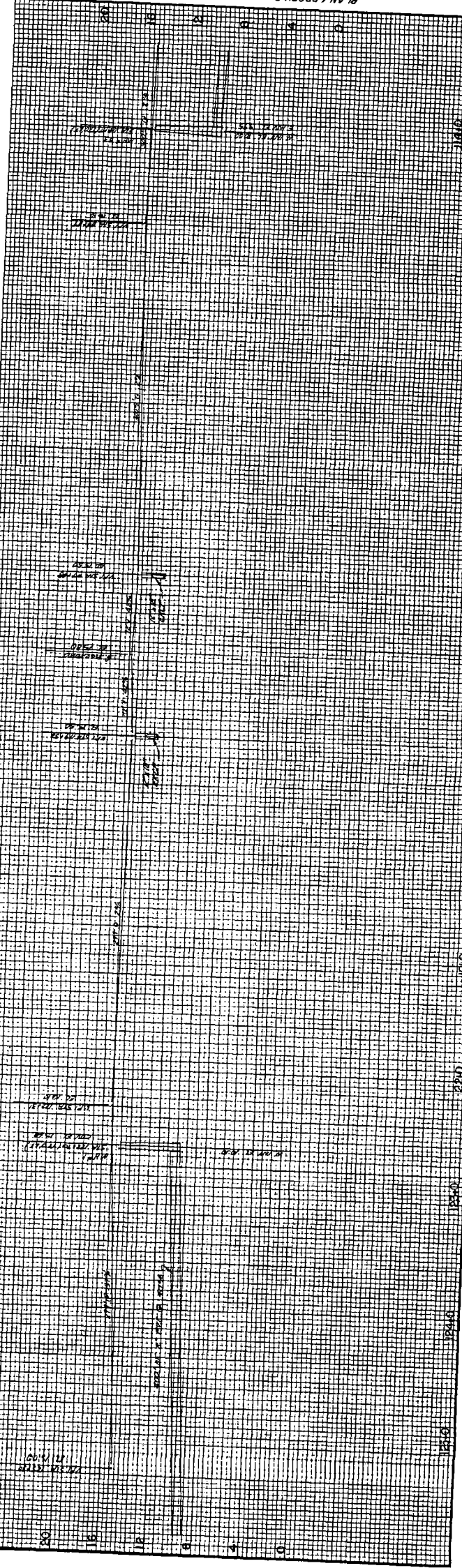
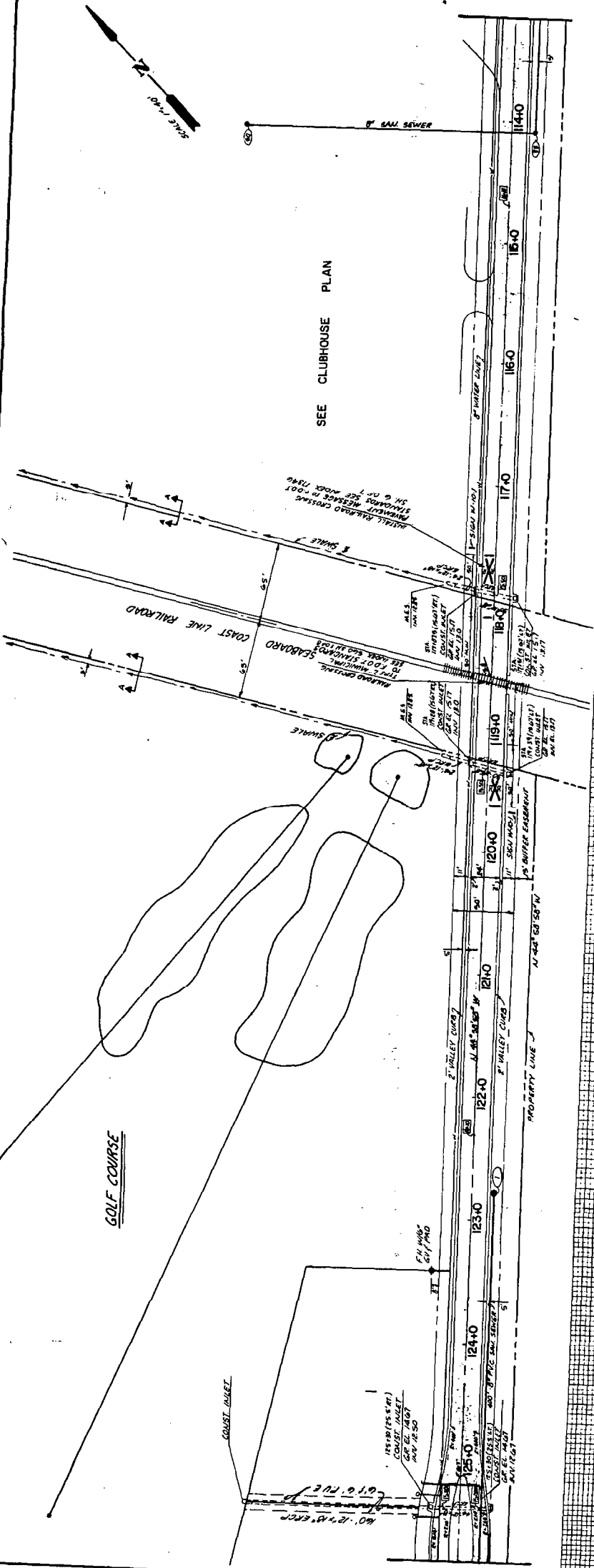
INC.
CZ
MIDVA
80668

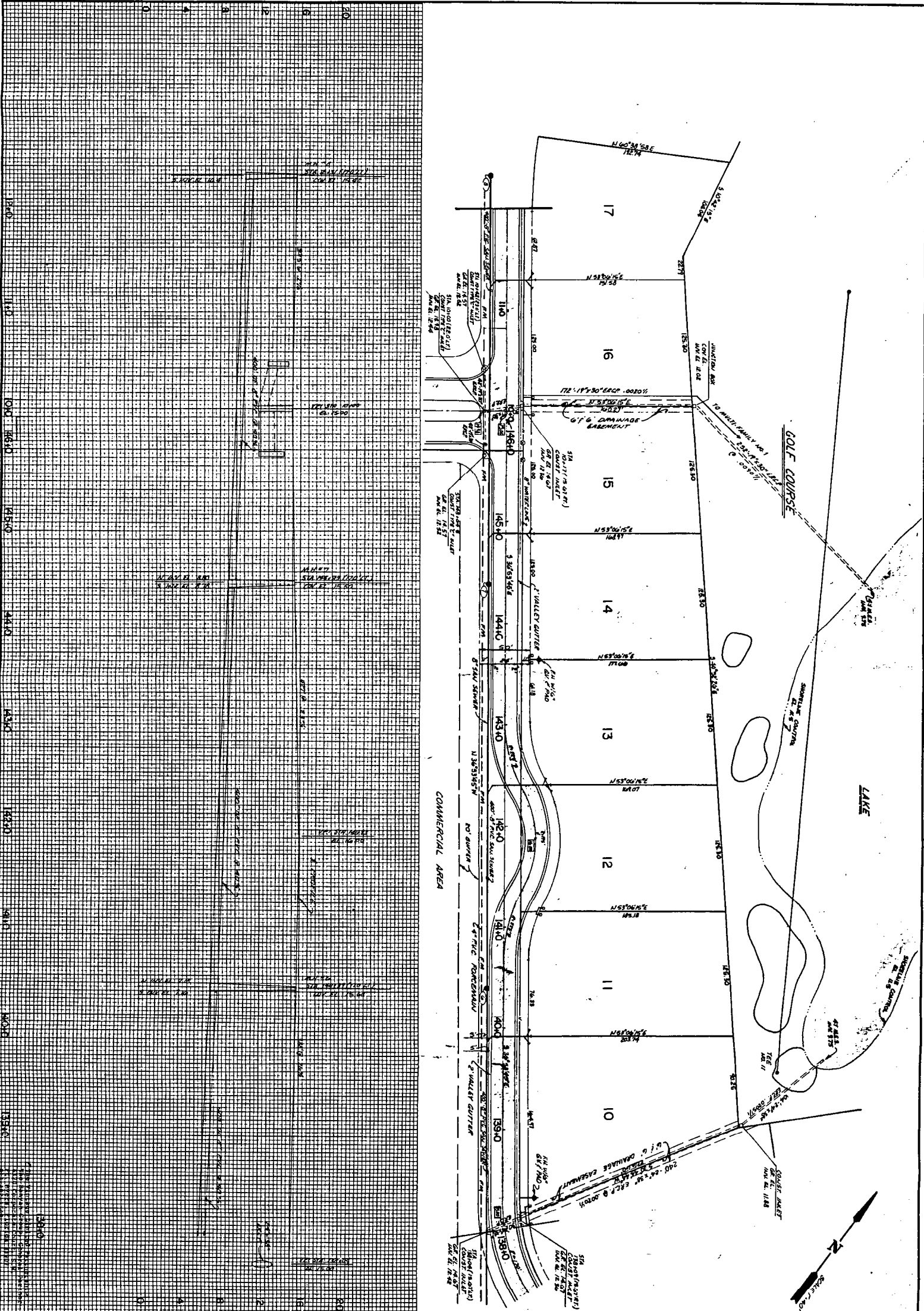
FOR PRELIMINARY DEVELOPMENT ORDERS
38908 (073) 775-0500
280 PROFESSIONAL PLCT
NORTH FORT WORTH, FLORIDA
INK ENGINEERING INC.

Figure 1



100





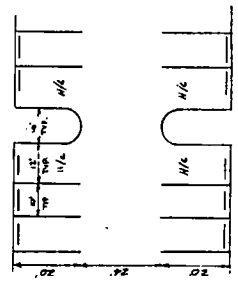
PLAN / PROFILE SHEET THE VINTAGE GOLF & COUNTRY CLUB SECTION 21, T 46 S., R 25 E. LEE COUNTY, FLORIDA		DATE 4/10/83 SCALE 1"=40' DESIGN R.R. DRAWN T.G. CHECK R.R. APPROVED	4/10/83 DATE DESCRIPTION ADDED DATA	BY T.G.	INK ENGINEERING INC. 280 PROFESSIONAL PLACE NORTH PORT HAVEN, FLORIDA 32861 (904) 895-4600 FOR PRELIMINARY DEVELOPMENT ORDER P.L. P.E. No. 27708
---	--	---	--	------------	---

MULTI-FAMILY AREA NO. 1
 THE VINTAGE-GOLF & COUNTRY CLUB
 SECTION 21, T45S, R25E
 LEE COUNTY, FLORIDA

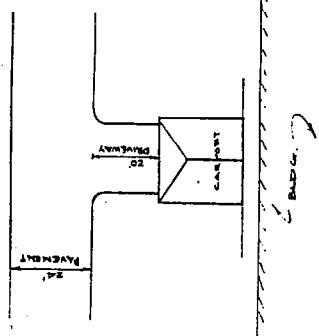
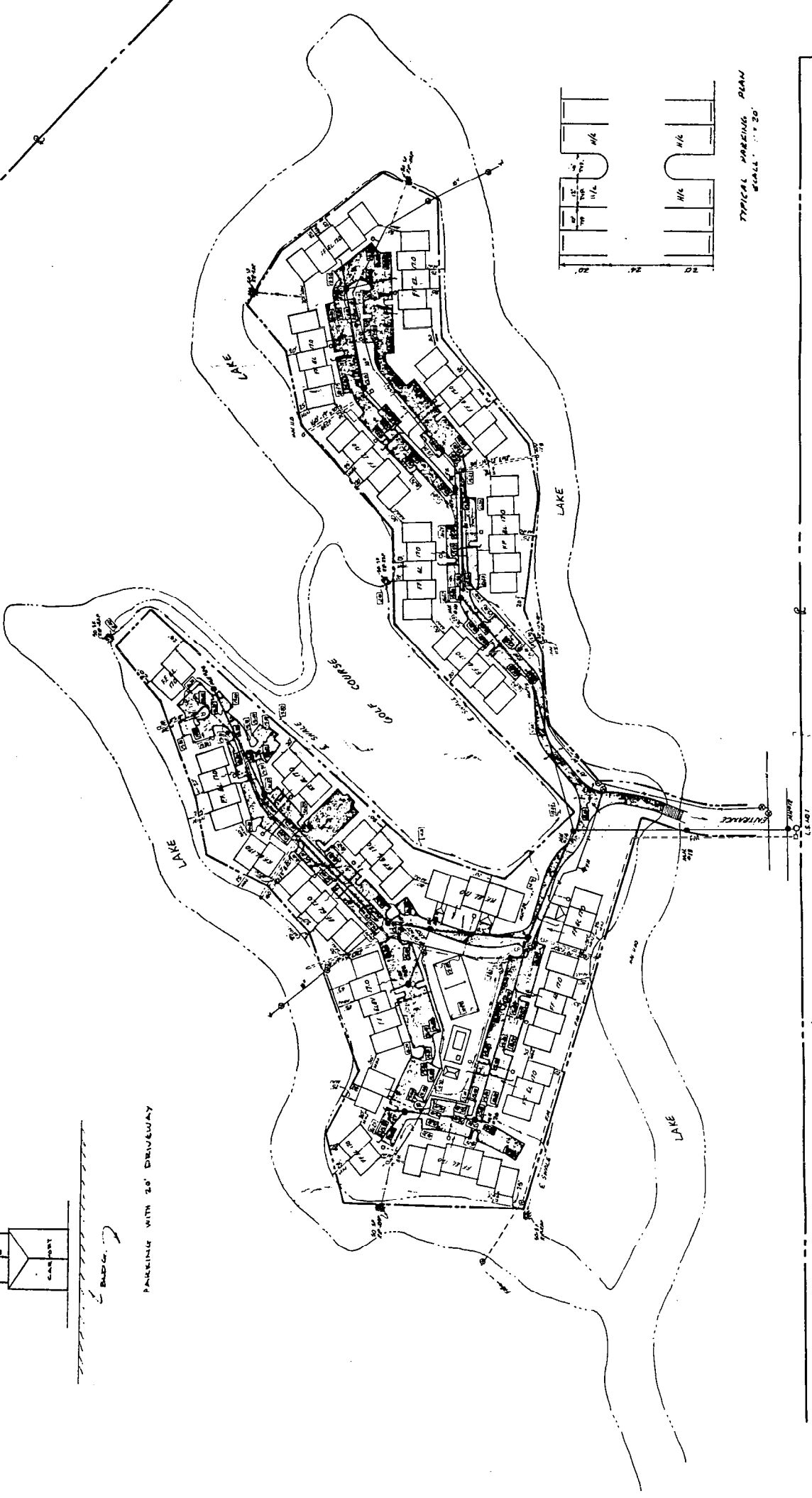
DATE	REVISION	DESCRIPTION	BY
4/10/84	1	APPROVED	
		DESIGNED	
		CHECKED	
		SCALE	
		DATE	

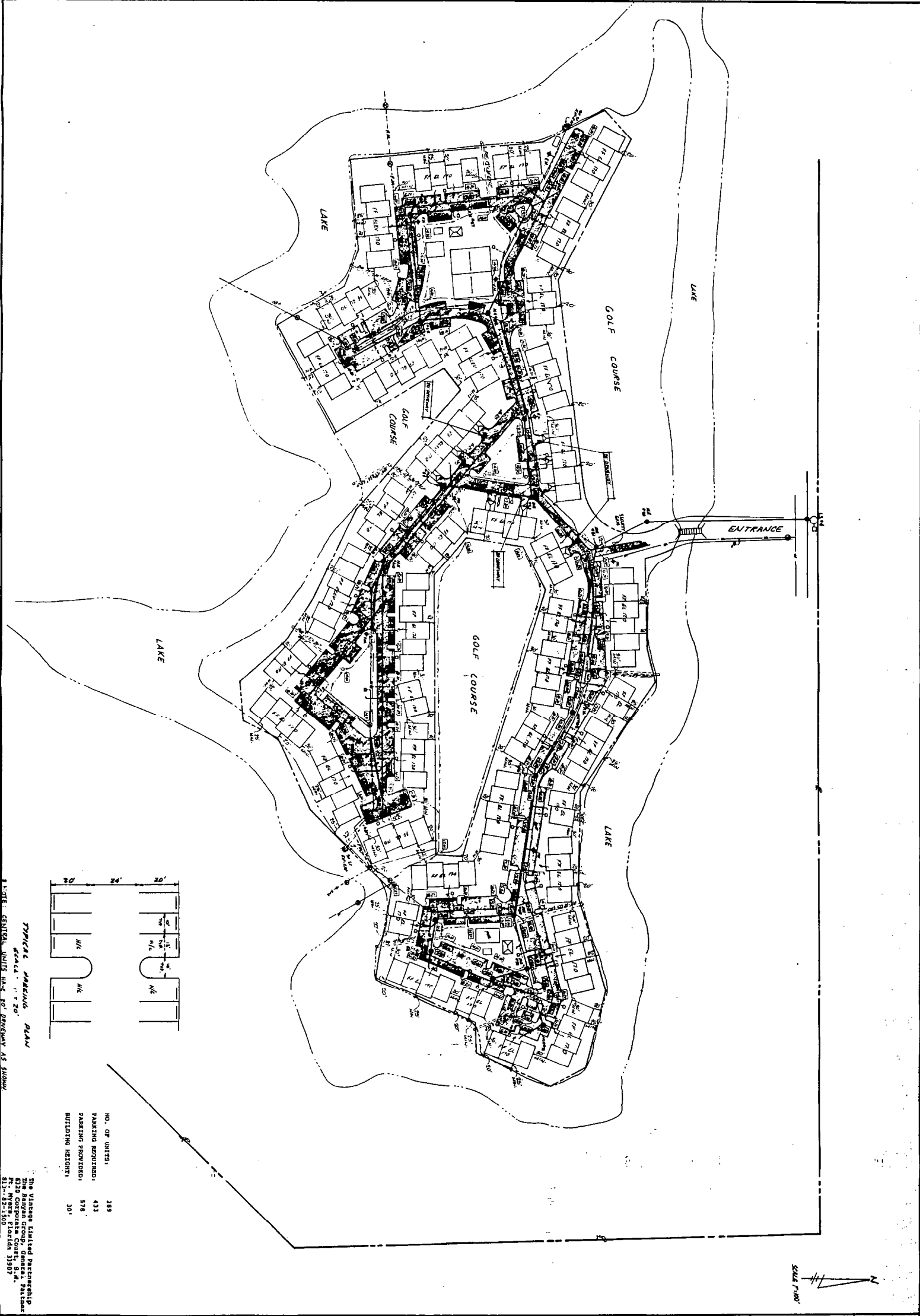
INX ENGINEERING INC.
 AND PROFESSIONAL PLANS
 1801 1ST AVENUE, SUITE 200
 FT. MYERS, FLORIDA 33902
 FOR PRELIMINARY DEVELOPMENT ORDER

TYPICAL PARKING PLAN
 SCALE: 1" = 20'

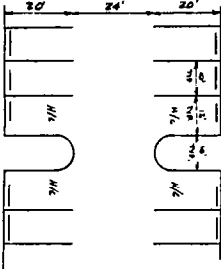


NO. OF UNITS:	156
PARKING REQUIRED:	219
PARKING PROVIDED:	312
BUILDING HEIGHT:	30'





SCALE 1"=100'



1. NOTE: CENTRAL UNITS HAVE 20' DRIVEWAY AS SHOWN

NO. OF UNITS: 289
PARKING REQUIRED: 433
PARKING PROVIDED: 576
BUILDING HEIGHT: 30'

THE VINTAGE LIMITED PARTNERSHIP
2570 CORPORATE COURT, S.W.
FORT MYERS, FLORIDA 33907
813-821-1500

MULTI-FAMILY AREA NO. 2
THE VINTAGE-GOLF & COUNTRY CLUB
SECTION 21, T46S, R25E
LEE COUNTY, FLORIDA

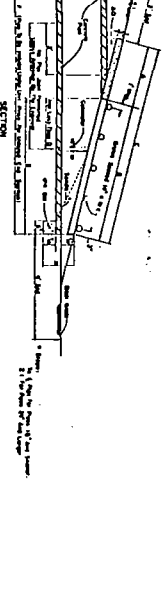
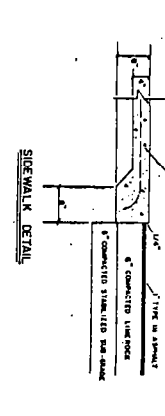
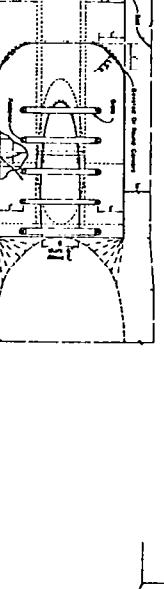
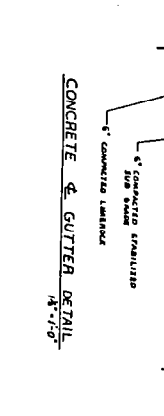
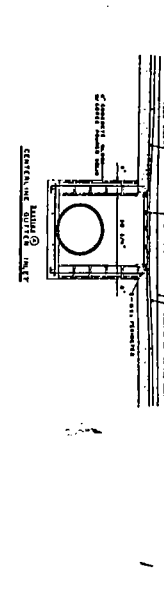
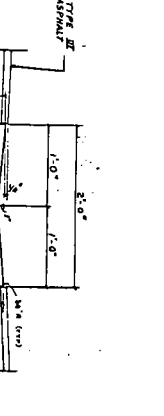
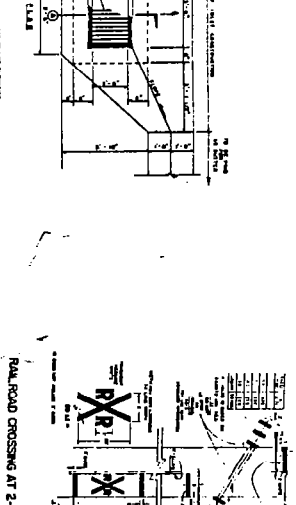
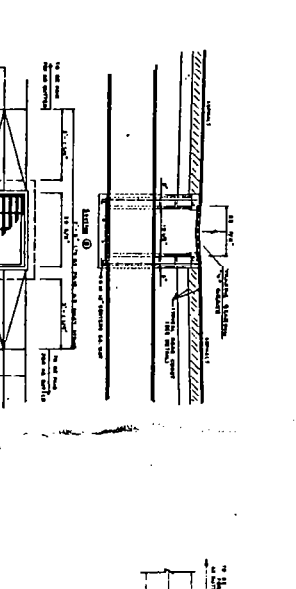
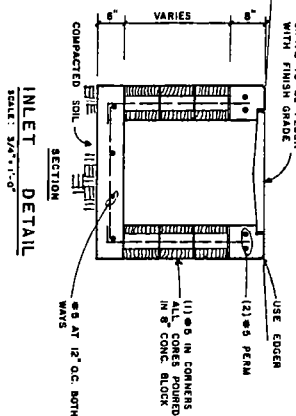
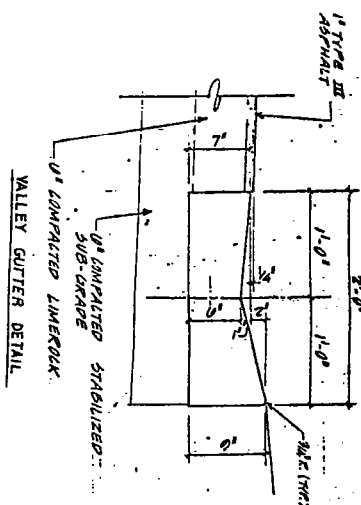
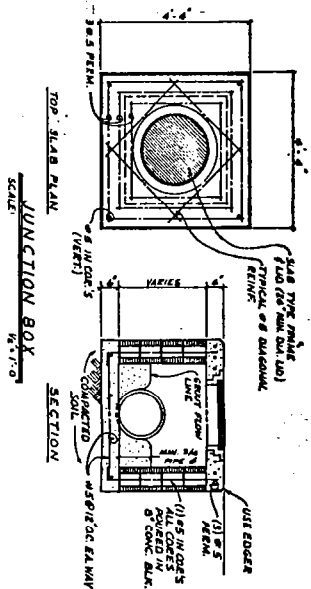
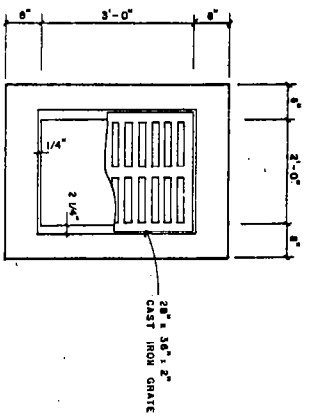
DATE	4/16/04
SCALE	1"=100'
DRAWN	RK
CHECK	
APPROVED	

DATE	6/16/04	ADD	SEC DATE	BY
DATE	6/16/04	20' DRIVEWAY ADDED TO CENTRAL UNITS		BY

INK ENGINEERING INC.
800 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA
(813) 775-8400 33703
FOR PRELIMINARY DEVELOPMENT ORDER

DWG NO.
8433

PLA. DE. NO. 20324



DRAINAGE DETAILS

THE VINTAGE GOLF & COUNTRY CLUB

SECTION 21, T 46S., R 25E.

LEE COUNTY, FLORIDA

DATE	9/10/81
SCALE	AS SHOWN
DRAWN	AK
CHECK	AK
APPROVED	

INK ENGINEERING INC.

250 PROFESSIONAL PLACE

NORTH FORT MYERS, FLORIDA 33901

(813) 715-8500

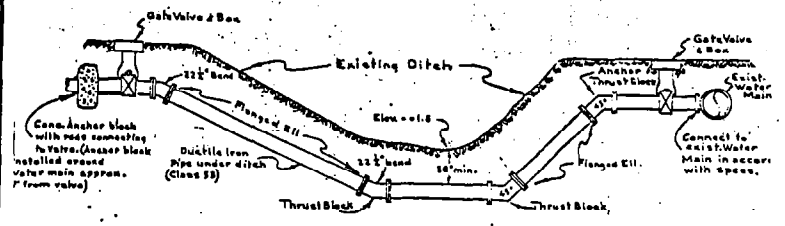
FOR PRELIMINARY DEVELOPMENT ORDER

DWG. NO. 8433

22 OF 22

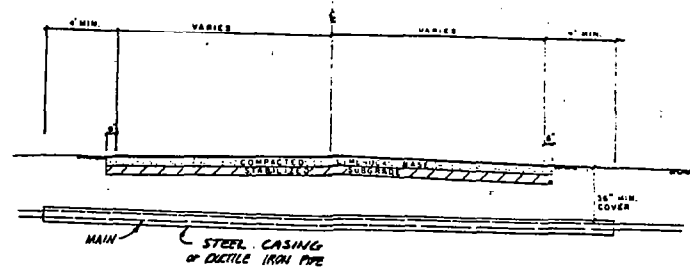
PL. P. 20760

PL. P. 20760

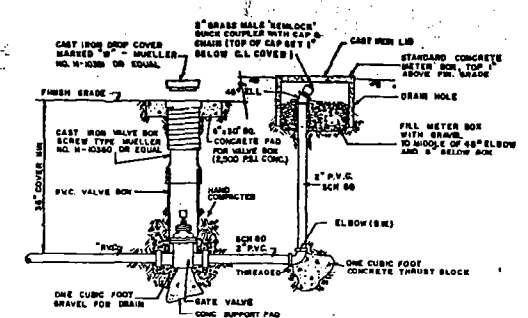
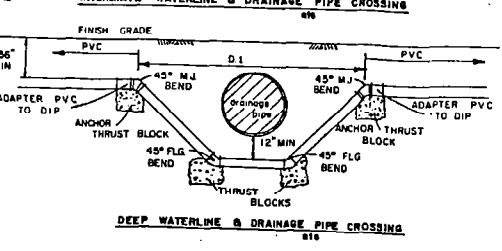
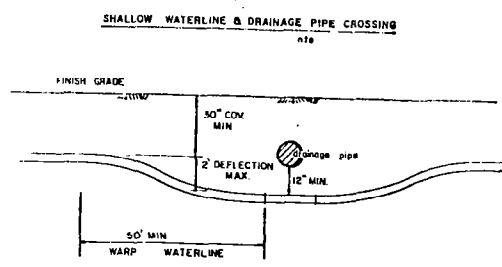
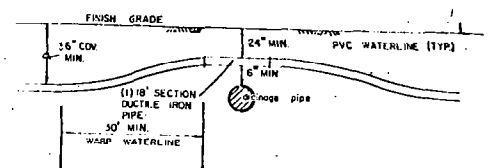


DRAINAGEWAY CROSSING DETAIL

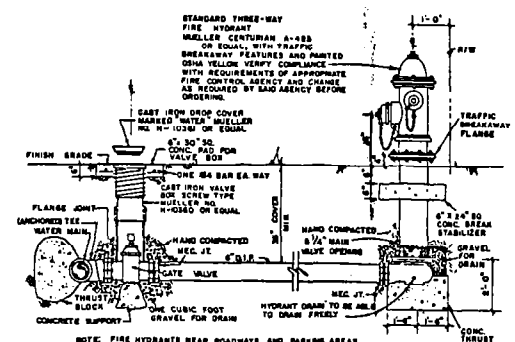
NOTE: Mesh Joint C.I. Ells can be substituted for Flanged Ells. However these must have anchor and thrust blocks installed with the Mesh Joint Ells padded together from ell to ell complete where possible.



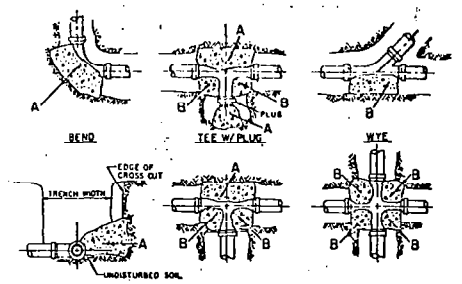
WATER MAIN DETAIL (UNDER ROAD CROSSING)



FLUSH VALVE AND VALVE BOX DETAIL



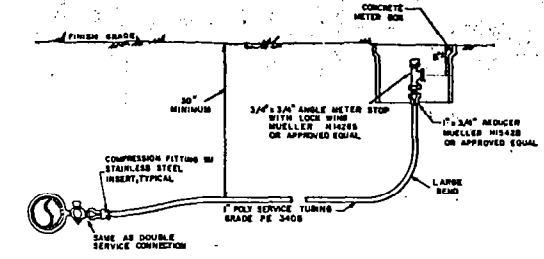
FIRE HYDRANT WITH TYPICAL GATE VALVE



PIPE SIZE	2"	4"	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"
A"	1	15	3	6	9	12	16	20	21	22	30	50
B"	1	1	2	4	5	8	10	12	14	15	18	30

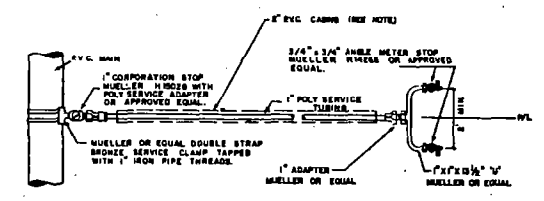
NOTES:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND ERECT THRUST BLOCK TO UNDISTURBED MATERIAL. JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. CONCRETE SHALL BE CLASS "C".

THRUST BLOCKS



SECTION - SINGLE SERVICE

NOTE: ALL SERVICE MAIN CROSSINGS UNDER ROADWAY MUST BE PLACED INSIDE 1" SCHEDULE 40 PVC CASING EXTENDING 2'-0" BEYOND ROADWAY.



WATER SERVICE

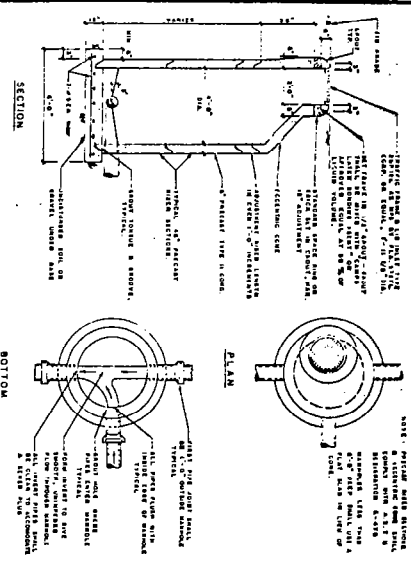
NOTE: ALL SERVICE MAIN CROSSINGS UNDER ROADWAY MUST BE PLACED INSIDE 1" SCHEDULE 40 PVC CASING EXTENDING 2' BEYOND ROADWAY.

SPECIFICATION - WATER

- GATE VALVES 2" AND LARGER SHALL BE STANDARD IRON BODY, BRONZE SEATS, FULLY BRONZE MOUNTED, RESILIENT SEAT, NON-RISING STEM, WITH 2" SQUARE OPERATION NUTS. MECHANICAL JOINT OR RING-TITE ENDS. CLASS 200 A.W.W.A. STANDARD; MUELLER COMPANY OR APPROVED EQUAL. VALVE BOX AND CONCRETE SLAB SHALL BE INSTALLED PER DETAIL AND INCLUDED IN G.V. UNIT PRICE.
- PVC PIPE SHALL BE "FLUID-TITE" PIPE, 200 PSI AS MANUFACTURED BY CERTAINTED OR APPROVED EQUAL. PVC PIPE SHALL BE NSF APPROVED, CONFORMING TO A.S.T.M. RESIN SPECIFICATION D-1784-65T. ALL PIPE MUST MEET REQUIREMENTS SET FORTH IN THE NATIONAL SANITATION FOUNDATION STANDARD CS-25-63, AND BEARING BE MECHANICAL JOINT CAST IRON.
- POLY SERVICE TUBING SHALL BE MANUFACTURED FROM ULTRA-HIGH MOLECULAR WEIGHT POLYETHYLENE (AVERAGE MOLECULAR WEIGHT OF 1,750,000) DEFINED BY ASTM D-1248-72 PE 3508, TYPE III, CLASS C, GRADE P34. PIPE SHALL BE MADE OF ALL VIRGIN MATERIAL AND SHALL CONFORM TO COMMERCIAL STANDARD CS-25-63. ADAPTING FITTINGS SHALL BE OF BRASS MATERIAL.
- WATER MAINS MUST BE IN SEPARATE TRENCH FROM SEWERS, PREFERABLY 10 FEET HORIZONTAL SEPARATION. VERTICAL SEPARATION FROM TOP OF SEWER TO THE BOTTOM OF THE WATER = 18 INCHES MINIMUM. IF LESS, OR IF WATER CROSSES UNDER SEWER, THE SEWER MAIN SHALL BE 20 FEET OF CAST IRON PIPE CENTERED ON POINT OF CROSSING. THIS INCLUDES SEWER SERVICE CROSSINGS.
- LEAKAGE MAX - 20 G.P.D./INCH DIAMETER AT THE REQUIRED 150 TEST PRESSURE, TO BE MAINTAINED FOR MINIMUM OF 1 HOUR.
- STERILIZATION - ALL LINES SHALL BE STERILIZED WITH A CONCENTRATION OF 40-50 P.P.M. CL₂ AND HELD FOR 8 HOUR PERIOD. LEE COUNTY HEALTH DEPARTMENT SHALL BE NOTIFIED FOR WATER SAMPLING.
- CLASS "B" CONCRETE 3,500 PSI.
- THE CONTRACTOR SHALL KEEP ONE RECORD COPY OF ALL SPECIFICATIONS, DRAWINGS, ADDENDA, MODIFICATIONS AND SHOP DRAWINGS AT THE SITE IN GOOD ORDER AND LOCATIONS OF ALL VALVES, FITTINGS AND SERVICES SHALL BE DIMENSIONED ON THE DRAWINGS AND PRESENTED TO THE ENGINEER UPON PROJECT COMPLETION FOR RECORD DRAWINGS. (SIMILAR FOR SEWER SERVICE)
- DUCTILE IRON PIPE OR APPROVED EQUAL SHALL BE USED UNDER ALL ROAD CROSSINGS.

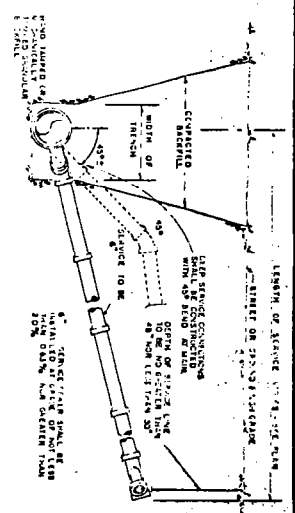
WATER-DETAILS
THE VINTAGE GOLF & COUNTRY CLUB
SECTION 21, T 46 S., R 25 E.
LEE COUNTY, FLORIDA

INK ENGINEERING INC.
AND PROFESSIONAL PLACE
NORTH LEE COUNTY, FLORIDA 33993
FOR PRELIMINARY DEVELOPMENT ORDER



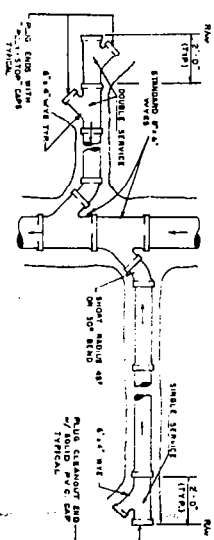
TYPICAL PRECAST MANHOLE

SCALE: 1/4" = 1'-0"



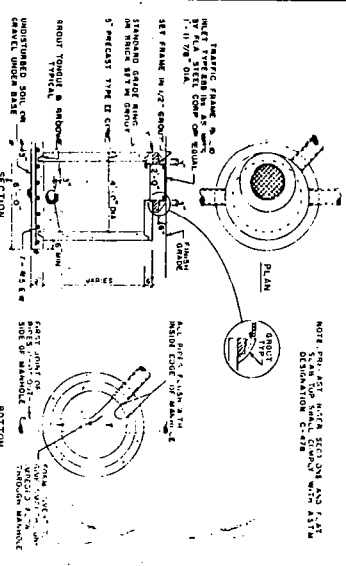
STANDARD SEWER SERVICE LATERAL

SCALE: 1/4" = 1'-0"



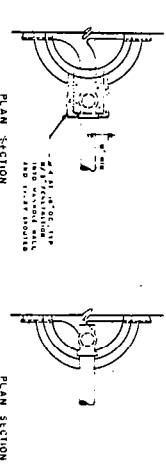
STANDARD SEWER SERVICE LATERAL

SCALE: 1/4" = 1'-0"



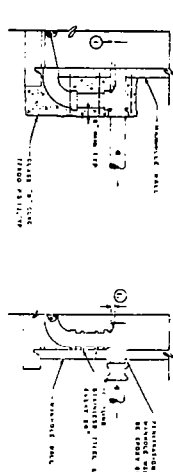
TYPICAL MANHOLE

SCALE: 1/4" = 1'-0"



TYPICAL MANHOLE

SCALE: 1/4" = 1'-0"



TYPICAL MANHOLE

SCALE: 1/4" = 1'-0"

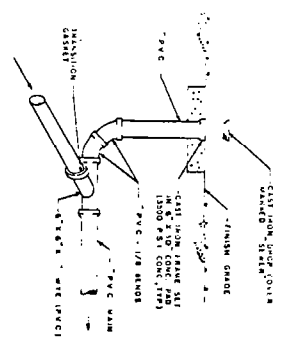
NOTES: 1. FORM A CONCRETE 'DAM' WITH 'EMBECCO' OR EQUAL GROUT DEPTH TO EQUAL 1/4 PIPE DIAMETER. 2. LINES ARE SHOWN WHEN INCOMING AND OUTGOING. 3. EXTERIOR DROP PIPES TO BE USED AT ALL MANHOLES LEADING TO LIFT STATIONS.

TYPICAL EXTERIOR DROP PIPE

SCALE: 1/4" = 1'-0"

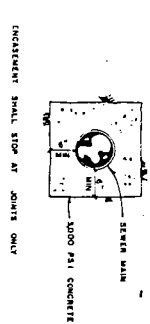
TYPICAL INTERIOR DROP PIPE

SCALE: 1/4" = 1'-0"



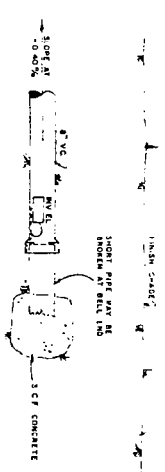
CLEANOUT DETAIL

SCALE: 1/4" = 1'-0"



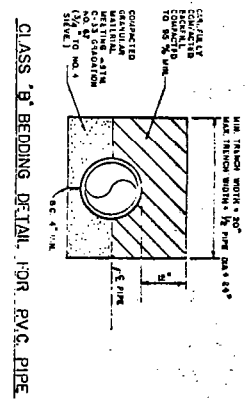
SEWER MAIN ENCASEMENT DETAIL

SCALE: 3/4" = 1'-0"



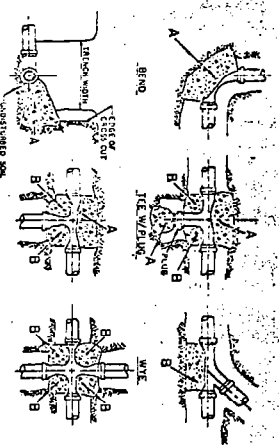
SEWER MAIN STUB-OUT FOR FUTURE EXTENSION

SCALE: 1/4" = 1'-0"



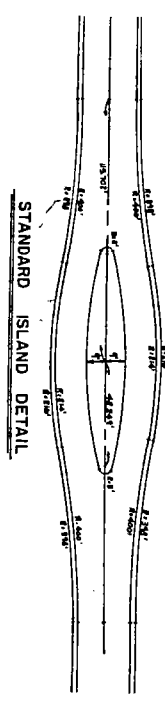
CLASS "B" BEDDING DETAIL FOR PVC PIPE

SCALE: 1/4" = 1'-0"



THRUST BLOCKS

SCALE: 1/4" = 1'-0"



STANDARD ISLAND DETAIL

SCALE: 1/4" = 1'-0"

PIPE SIZE	2'	4'	6"	8"	10"	12"	14"	16"	18"	20"	24"	30"
A	1	1	1	1	1	1	1	1	1	1	1	1
B	1	1	1	1	1	1	1	1	1	1	1	1

NOTES: 1. THRUST BLOCKS SHALL BE CONCRETE OR STEEL. 2. THRUST BLOCKS SHALL BE CONCRETE OR STEEL. 3. THRUST BLOCKS SHALL BE CONCRETE OR STEEL.

DATE	DESCRIPTION	BY
11/11/10	DESIGN	AK
11/11/10	SCALE	AK
11/11/10	DRAWN	AK
11/11/10	CHECK	AK
11/11/10	APPROVED	AK

INK ENGINEERING INC.
200 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA 33903
888-755-2820
FOR PRELIMINARY DEVELOPMENT ORDER
PLS. P.E. NO. 20762

DWG. NO. 8433
24 of 24

SEWER - DETAILS
THE VINTAGE GOLF & COUNTRY CLUB
SECTION 21, T46S, R 25 E.
LEE COUNTY, FLORIDA

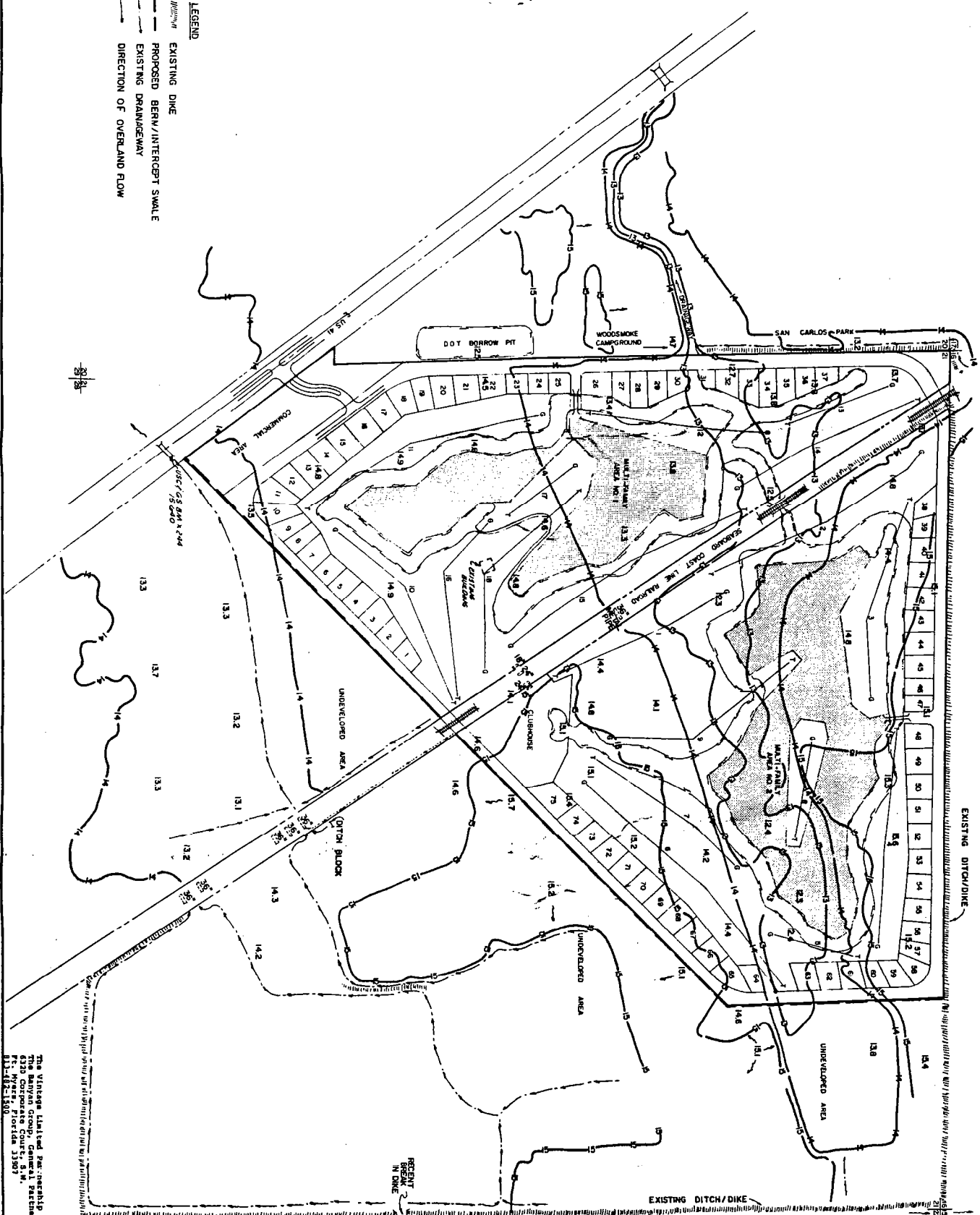
LEGEND

— EXISTING DIKE

— PROPOSED BERM/INTERCEPT SWALE

— EXISTING DRAINAGEWAY

— DIRECTION OF OVERLAND FLOW



THE VINTAGE LIMITED, INC. (INCORPORATED)
 6320 CORPORATE COURT, S.W.
 FT. MYERS, FLORIDA 33907
 813-938-1300

TOPOGRAPHIC MAP
THE VINTAGE-GOLF & COUNTRY CLUB
 SECTION 21, T46S, R25E
 LEE COUNTY, FLORIDA

DATE	1/14/04
SCALE	1"=300'
DESIGN	R.K.
DRAWN	T.G.
CHECK	
APPROVED	

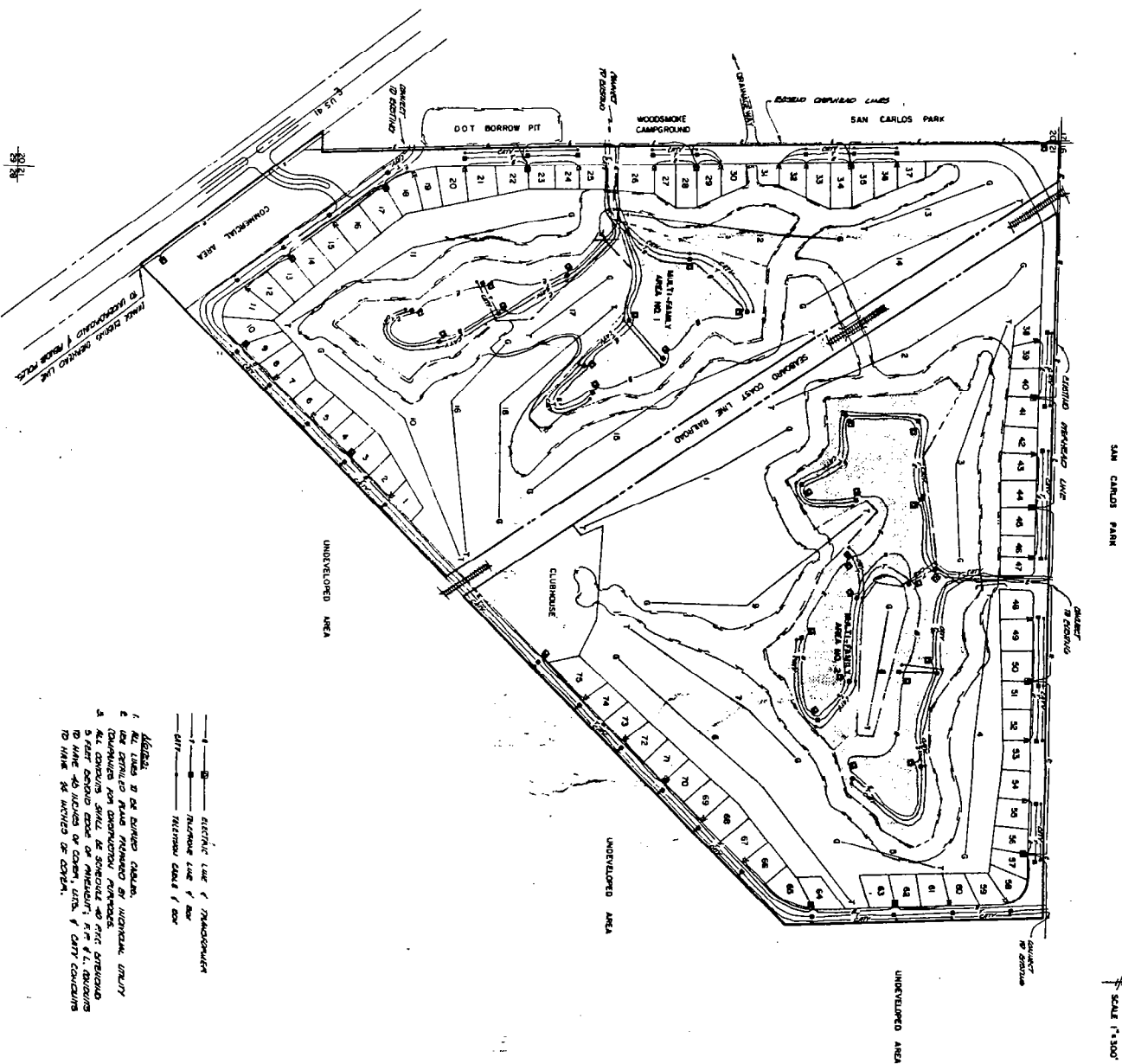
DATE	DESCRIPTION	BY

INK ENGINEERING, INC.
 280 PROFESSIONAL PLACE
 NORTH FORT MYERS, FLORIDA 33903
 813-938-9230

FUR PRELIMINARY DEVELOPMENT ORDER

PLA P.E. NO. 20768

DWG. NO. **8433**
 25 OF 25



1. ALL UTILITIES TO BE SHOWN ON PLAN.
2. ALL UTILITIES TO BE SHOWN ON PLAN.
3. ALL UTILITIES TO BE SHOWN ON PLAN.
4. ALL UTILITIES TO BE SHOWN ON PLAN.
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8. ALL UTILITIES TO BE SHOWN ON PLAN.
9. ALL UTILITIES TO BE SHOWN ON PLAN.
10. ALL UTILITIES TO BE SHOWN ON PLAN.

The Vintage Limited Partnership
The Vintage Group, General Partner
210 Corporate Center, S.W.
Fort Myers, Florida 33901
813-937-1500

POWER / COMMUNICATIONS PLAN
THE VINTAGE-GOLF & COUNTRY CLUB
SECTION 21, T46S, R25E
LEE COUNTY, FLORIDA

DATE	4/1/84
SCALE	1"=300'
DRAWN	R.K.
CHECK	T.G.
APPROVED	
DATE	
DESCRIPTION	
BY	

INK ENGINEERING INC.
960 PROFESSIONAL PLACE
NORTH FORT MYERS, FLORIDA 33903
FOR PRELIMINARY DEVELOPMENT ORDER

NOTES

1. SITE TO BE SURROUNDED WITH A 15' BUFFER WHICH WILL INCLUDE A MINIMUM OF:
2. 4 - 6' HIGH TREES & 10 - 3' HIGH SHRUBS PER 100 LINEAR FEET.
3. SEE FOLLOWING SHEETS FOR BUFFERING AND LANDSCAPING OF PARKING AREAS.
4. ALL SINGLE FAMILY LOTS WILL HAVE A MINIMUM OF 2 TREES (6' HIGH) PER LOT PER STREET FRONTAGE.
5. TREES AND SHRUBS FOR ALL PLANTINGS WILL BE TAKEN FROM THE LIST BELOW.
6. ALL NATIVE TREES REMOVED TO ALLOW FOR GOLF COURSE WILL BE REPLACED WITH NATIVE (6' HIGH) TREES AS INDICATED IN THE LIST BELOW. TREES TO BE LOCATED IN ROUGHS OF GOLF COURSE ~~20000~~

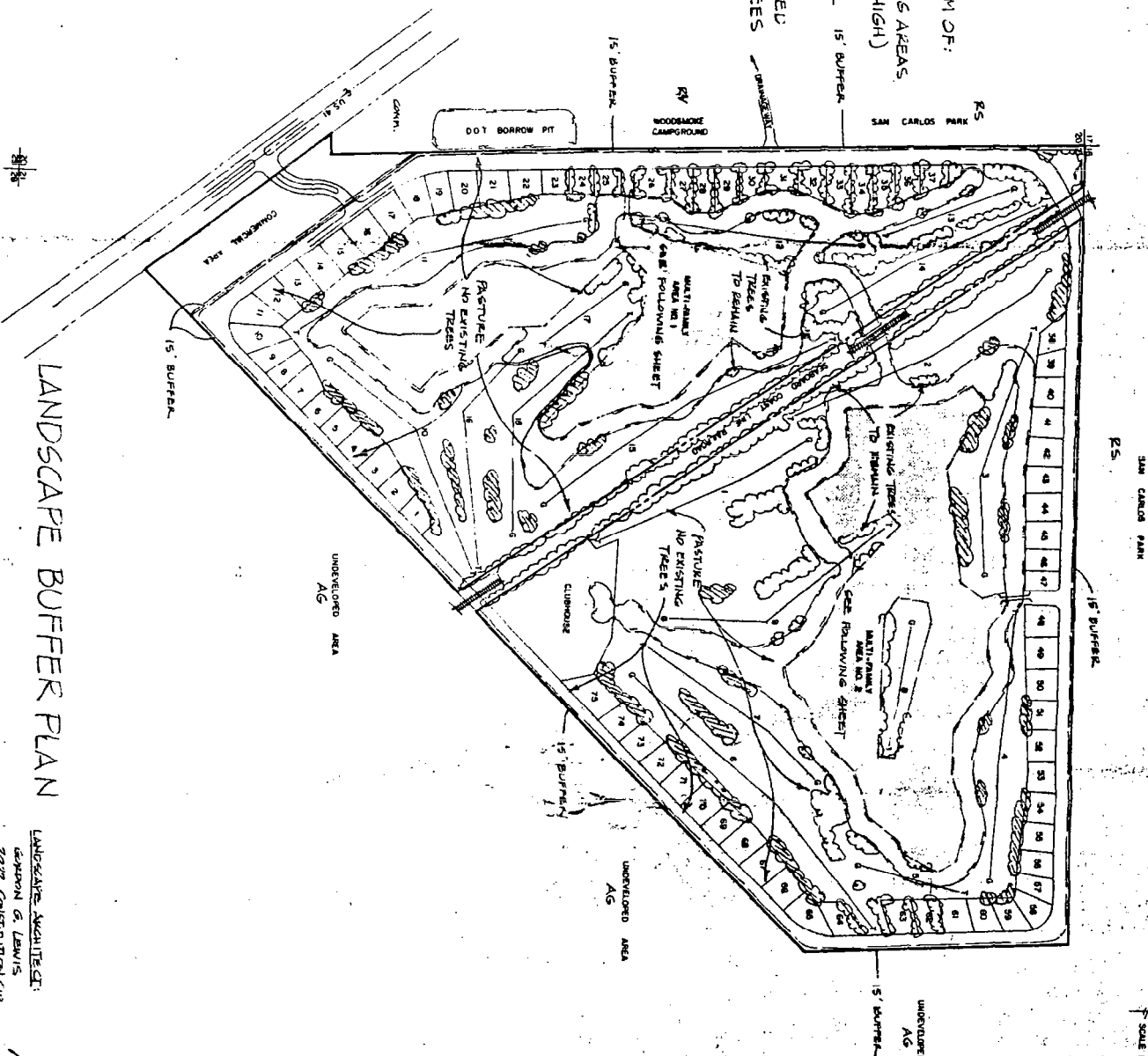
PLANT LIST

TREES

BALD CYPRESS
BAMBOO
BOTTLEBRUSH
CABBAGE PALM
CAROLOWOOD
GRAPEMYRTLE
LIVE OAK
MAHOGANY
SILK OAK
SOUTHERN WAX MYRTLE
WATER OAK

SHRUBS

ALAHANDA
CLEYERA
GARDENIA
HIBISCUS
LIGULSTRUM
OLEANDER
RAMPAS GRASS
PHOTENIA
PITTOSPORUM
RUMBAGO
SEA GRAPE



LANDSCAPE BUFFER PLAN

THE VINTAGE LIMITED, INCORPORATED
2022 CONSTRUCTION CIR.
FT. MYERS, FL. 33906
(813) 481-6566 481-0170

LANDSCAPE ARCHITECT:

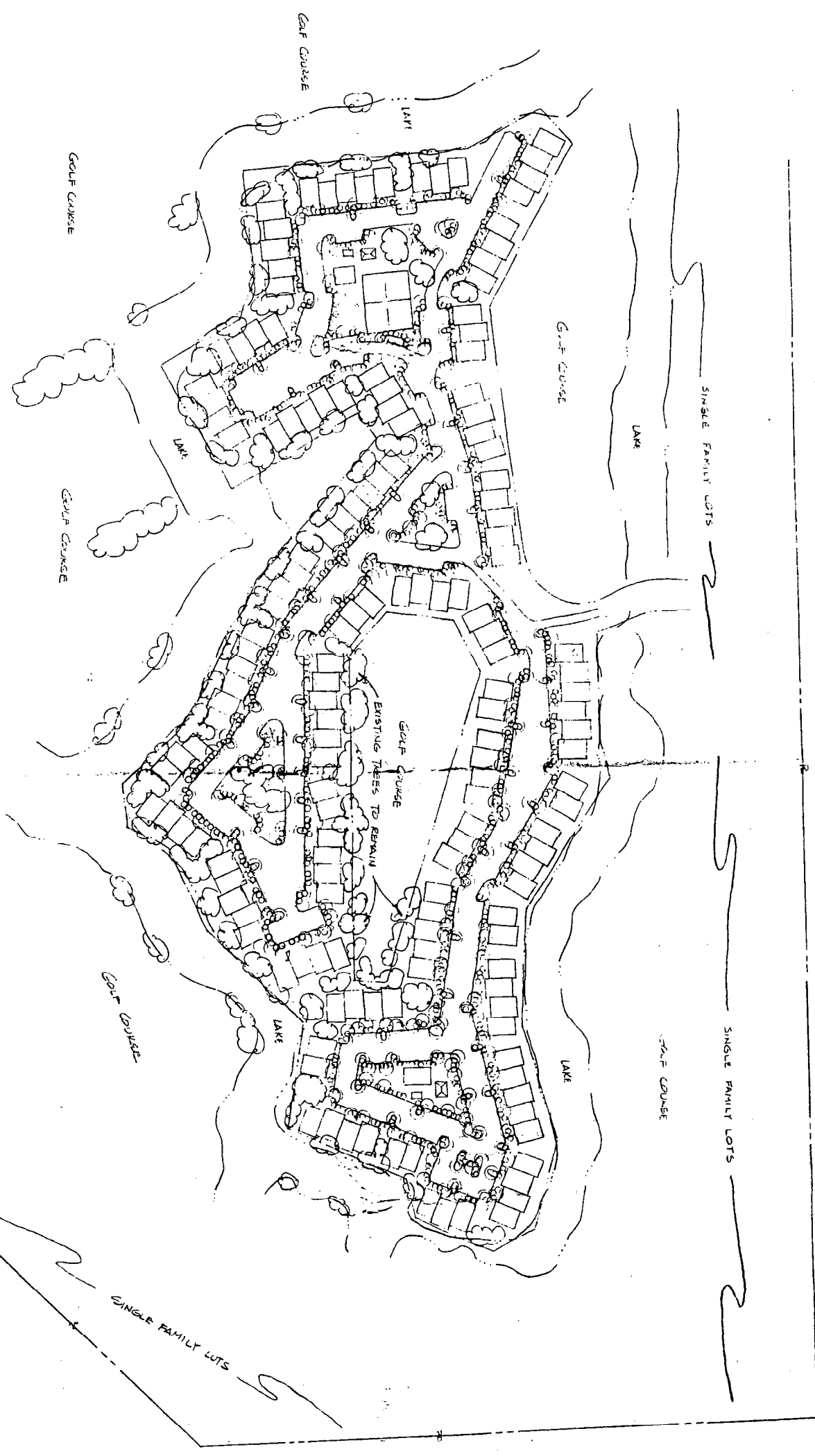
WILLIAM G. LEWIS
2022 CONSTRUCTION CIR.
FT. MYERS, FL. 33906
(813) 481-6566 481-0170

LANDSCAPING PLAN
THE VINTAGE-GOLF & COUNTRY CLUB
SECTION 21, T46S, R25E
LEE COUNTY, FLORIDA

DATE 4-9-84
SCALE 1"=500
DESIGN R.K.
DRAWN T.G.
CHECK C.L.
APPROVED

INK ENGINEERING INC.
200 PROFESSIONAL PLACE
FOR PRELIMINARY DEVELOPMENT ONLY

8433
27



MULTI-FAMILY AREA NO. 2.
LANDSCAPE & BUFFER PLAN

THE VINTAGE LANDSCAPE ARCHITECTS
3310 Corporate Center, Suite 200
Fort Myers, Florida 33907
813-487-1500

#1065
LANDSCAPE ARCHITECT
GORDON G. LEWIS
2023 CONSTITUTION CIRCLE
FORT MYERS, FL. 33908
TEL: 487-5533, 413-0170

MULTI-FAMILY AREA NO. - LANDSCAPING PLAN
THE VINTAGE-GOLF & COUNTRY CLUB
SECTION
LEE COUNTY, FLORIDA

DATE:	4-10-94	REVISIONS			
SCALE:	1"=100'				
DESIGN:	GGL				
DRAWN:	SW				
CHECK:	GGL				
APPROVED:	GGL				
DATE		DESCRIPTION			BY

INK ENGINEERING, INC.
200 PROFESSIONAL PL
NORTH FORT MYERS, FL
(813) 495-0500 33903
FOR PRELIMINARY DEVELOPMENT ORDER